



CITY OF MEDINA
Community Development Department
132 N. Elmwood Ave. Medina, OH 44256
Phone: 330-722-9056 Fax: 330-764-4385

MEMORANDUM

DATE: March 2, 2023
TO: Planning Commission
FROM: Andrew Dutton, Community Development Director
SUBJECT: Discussion Item - 716 North Court Street Redevelopment

The existing site at 716 North Court Street has been vacant for an extended period of time and was most recently a restaurant. The site includes a commercially zoned property on the west side (C-1 and C-3) and a residentially zoned property on the east side (R-3). Olio Development has submitted a preliminary proposal to redevelop the site for an urgent care facility. The site plan is similar to the existing site with the building situated on the west side of the site near North Court Street and parking on the north and east sides of the site near North Broadway Street.

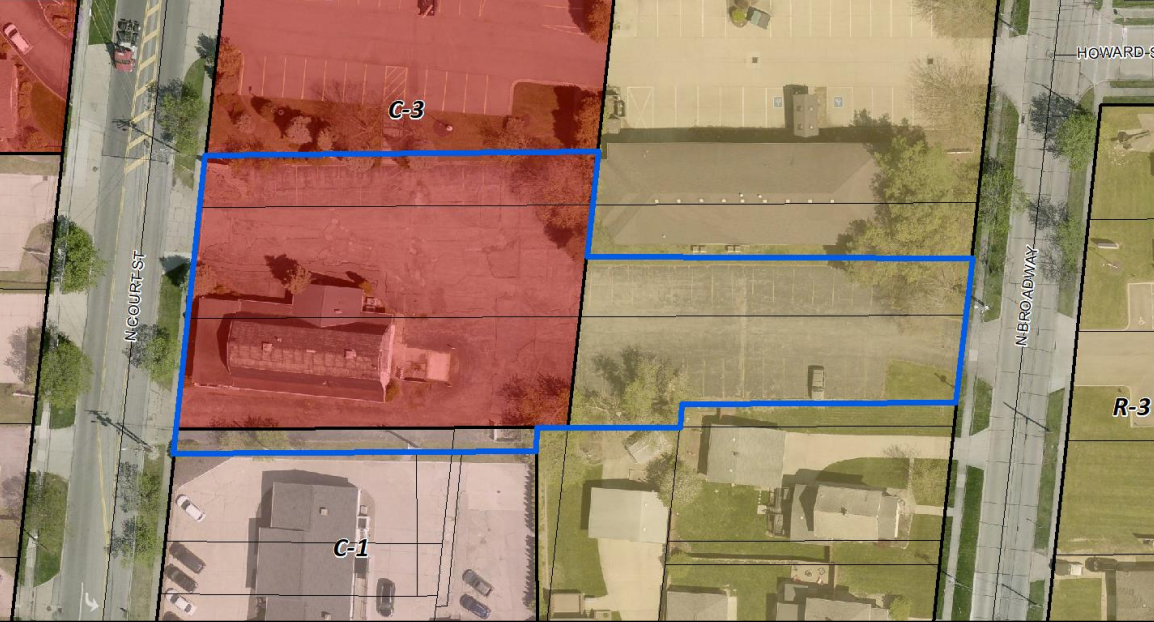
There has been discussion between staff and Olio Development regarding proposed building elevations. Initial building elevations illustrated a typical commercial building with a flat roof, rectangular shape, EIFS exterior, and a rear entrance. Revised building elevations included a pitched roof with a dormer, enhanced entrance features, and brick/board and batten materials. However, the revised building elevations were not acceptable to the urgent care client.

Section 1109.04 includes Design Guidelines applicable to all new commercial buildings. A copy of the text has been provided with highlighted areas, but in general, the section states:

- The height, width, and general proportions of the structure shall complement and be harmonious with adjacent buildings
- Architectural details and ornamentation shall be meaningful to the overall design, have appropriate size and scale, and be harmonious with adjacent structures
- The front entrance shall be visible from the street
- Materials shall be appropriate and compatible with adjacent structures
- A stucco appearance is discouraged, except as an accent material

As the area is a transition between residential and commercial areas, adjacent commercial structures have pitched roofs, brick or siding exteriors, and are often residential conversions. Pictures of adjacent buildings on North Court Street have been provided.

Olio Development has requested to discuss the project with the Planning Commission with a focus on options for exterior elevations. Please let me know if you have any questions or need any further information regarding the discussion request.



N COURT ST

C-3

C-1

N BROADWAY

HOWARD-S

R-3

1109.04 DESIGN REVIEW GUIDELINES.

(c) Design Review Guidelines.

The following standards shall apply to the design and appearance of all new construction or building renovation (other than for single family residential structures). As a consideration, during any plan review, the Planning Commission shall determine if the proposal complies with the following standards:

- (1) The height, width and general proportions of the structure shall complement adjacent buildings so that an overall harmonious appearance is created and maintained.
- (2) The architecture of a commercial building should not act as a recognizable logo for a national corporation or franchise. The building architecture is deemed to be a "logo" when the specific business occupying the proposed building could still be easily identified if all the allowable signs were to be removed
- (3) Architectural details and ornamentation shall be meaningful to the overall design and appropriate for the size and scale of proposed structures, and harmonious with other architectural details and ornamentation on adjacent structures.
- (4) Blank walls (without openings) shall not be permitted on public faces of any building.
- (5) The use of long unbroken building facades shall be avoided. Front building facades shall exhibit the use of recesses, fenestration, pilasters, or other architectural features deemed appropriate to provide character.
- (6) The front door or main entrance to a building shall be visible from the street. An entrance to a public building shall be clear and visible and not obscured by building masses.
- (7) Materials shall be appropriate for the structure and the use therein. Materials shall be weather-resistant. The materials shall be compatible with and not in stark contrast to the materials used on adjacent structures.
- (8) Colors and textures shall be appropriate for the size and scale of the proposed structure and shall be harmonious with adjacent structures. Building colors shall consist of earth-tones. Bright, chromatic, colors are discouraged.
- (9) The materials, colors, and finishes used for screening roof top mechanical equipment and other surface equipment shall be consistent with the primary structure and, to the extent practicable; such screening shall be designed as an integral part of the architecture of the building.
- (10) The following styles and materials are inappropriate and shall be discouraged from use:
 - A. Mansard roofs for one-story structures in an area that is residential in character,
 - B. Pre-engineered metal buildings and "pole buildings",
 - C. Exposed concrete or cinder block on the front or sides of any building (except split face, ½ high or other special "architecturally patterned" block),
 - D. Stucco appearance, unless it is utilized with bands of accent color, recessed or protruding belt courses, wide reveals, or combinations thereof,
 - E. Sheet metal siding, except as rain gutter/downspouts; exposed unstained wood; exposed steel nails; vinyl siding; and flimsy vertical wood siding (e.g., T-111),
 - F. Bright or primary colors, and/or awnings which are in stark contrast to other structures in the surrounding area and/or the design of the proposed structure.
- (11) Roof materials should be asphalt, fiberglass and slate. Clay tile and/or ribbed metal may have merit as a variation, but will be very carefully considered in contrast to adjacent materials.

- (12) Landscaping shall be designed to:
 - A. Maintain an appropriate proportion of deciduous and non-deciduous trees.
 - B. Be in such locations, scale and quantity to be integrated with the building design.
 - C. Clearly designate entrances and exits.
 - D. Reasonably screen paved area from the street through the use of mounding, the land's natural topography, and/or adequate vegetation.
- (13) Parking, to the extent feasible, shall be located behind the front wall of the building. Only circulation drives, when necessary, will be permitted in front of the building.
- (14) Approaches, drives and parking areas shall be of appropriate size and scale in relation to the appearance of the proposed development from public rights-of-way, adjacent property and the internal portion of the site itself. Such appropriate scale shall be achieved by the width of approaches and drives, by having adequate but not excessive parking, and by using landscaping within large parking areas. Curbing and adequate landscaping shall be provided between driveway aprons.
- (15) Mechanical equipment, waste receptacles, and other similar appurtenant or accessory structures shall be located to minimize the impact on the building and the community.



Existing Building



Existing Building





Buildings Across the Street



Building Across the Street

Working Session

716 N Court Street

03.09.23



GOALS FOR WORKING SESSION

1. Walk through of exterior design & design elements.
2. Understand board members position on exterior elevations presented as it relates to design code



MEET OUR **TEAM**

Development Team

Eric Ongaro, President, OLIO

Steve Passov, President, Passov Group

Jara Barreto, Design Manager, OLIO

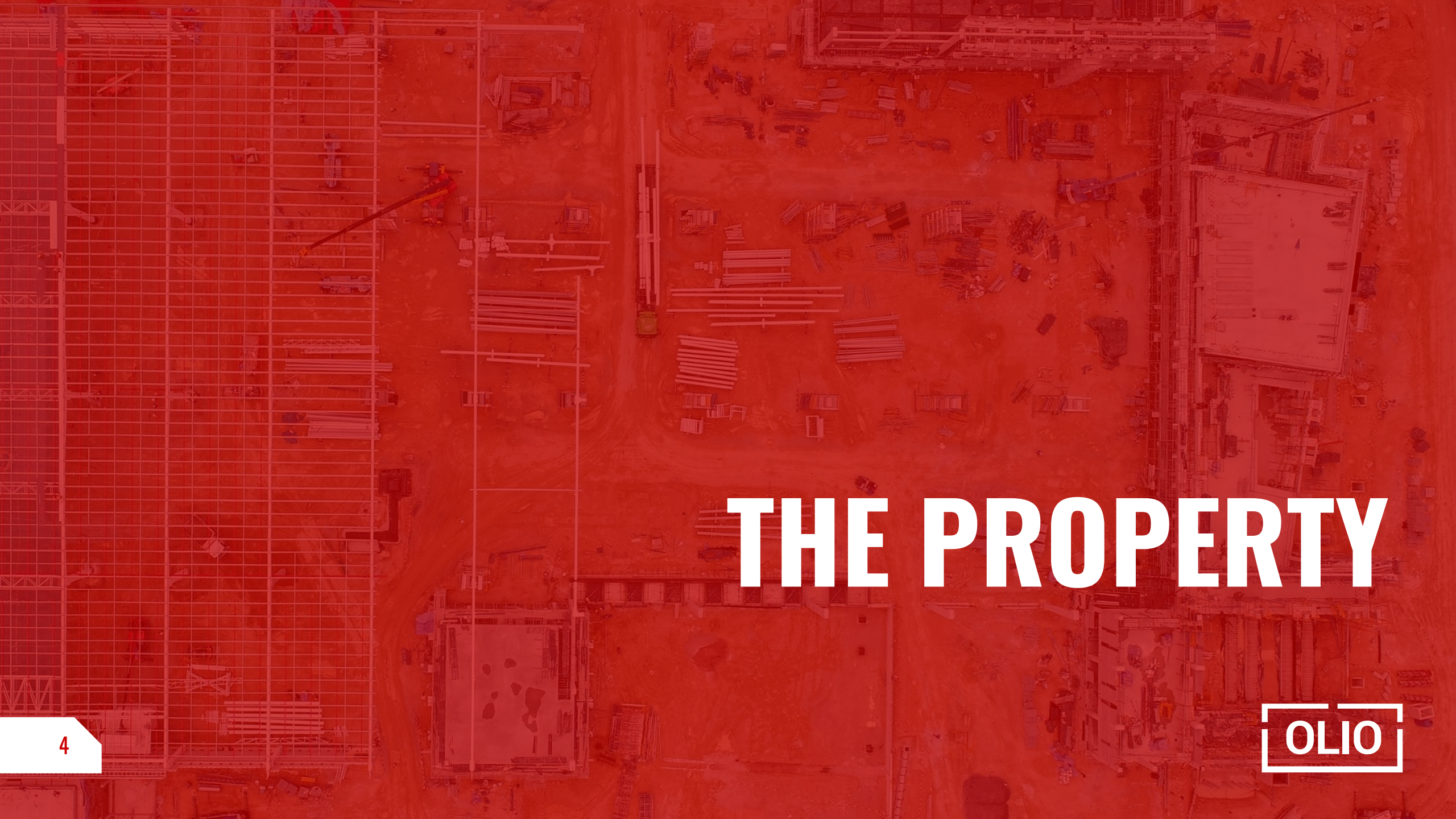
Tim Kaskewsky – Principle, Fasten

Design, Architect



PASSOV GROUP
COMMERCIAL BROKERAGE





THE PROPERTY



Project Scope: Redevelopment of a vacant property located at 716 N Court Street Medina, Ohio

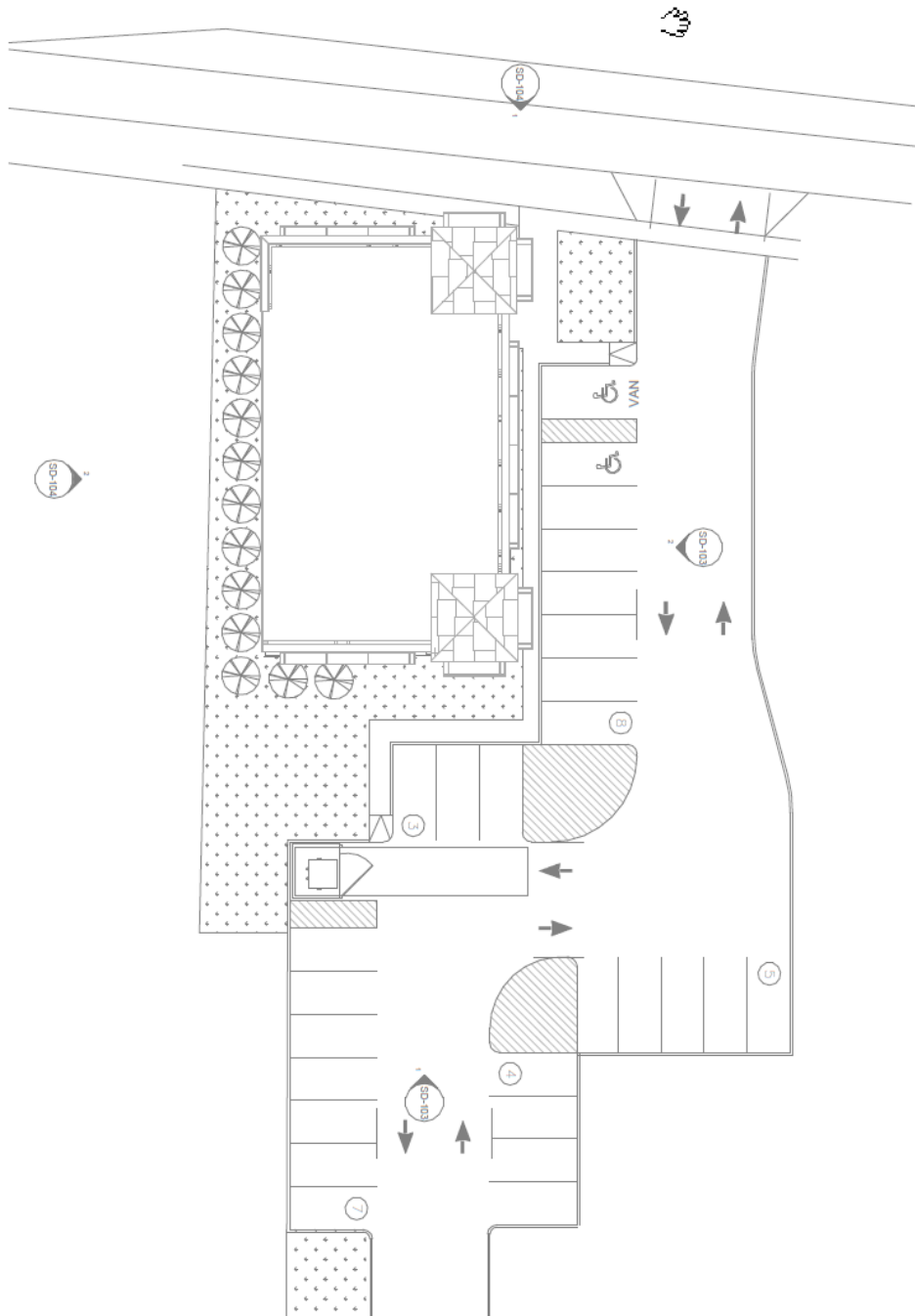
- Demolition of existing vacant building
- Redesign of parking lot
- Reduction of parking spaces
- Construction of dumpster enclosure
- New landscaping





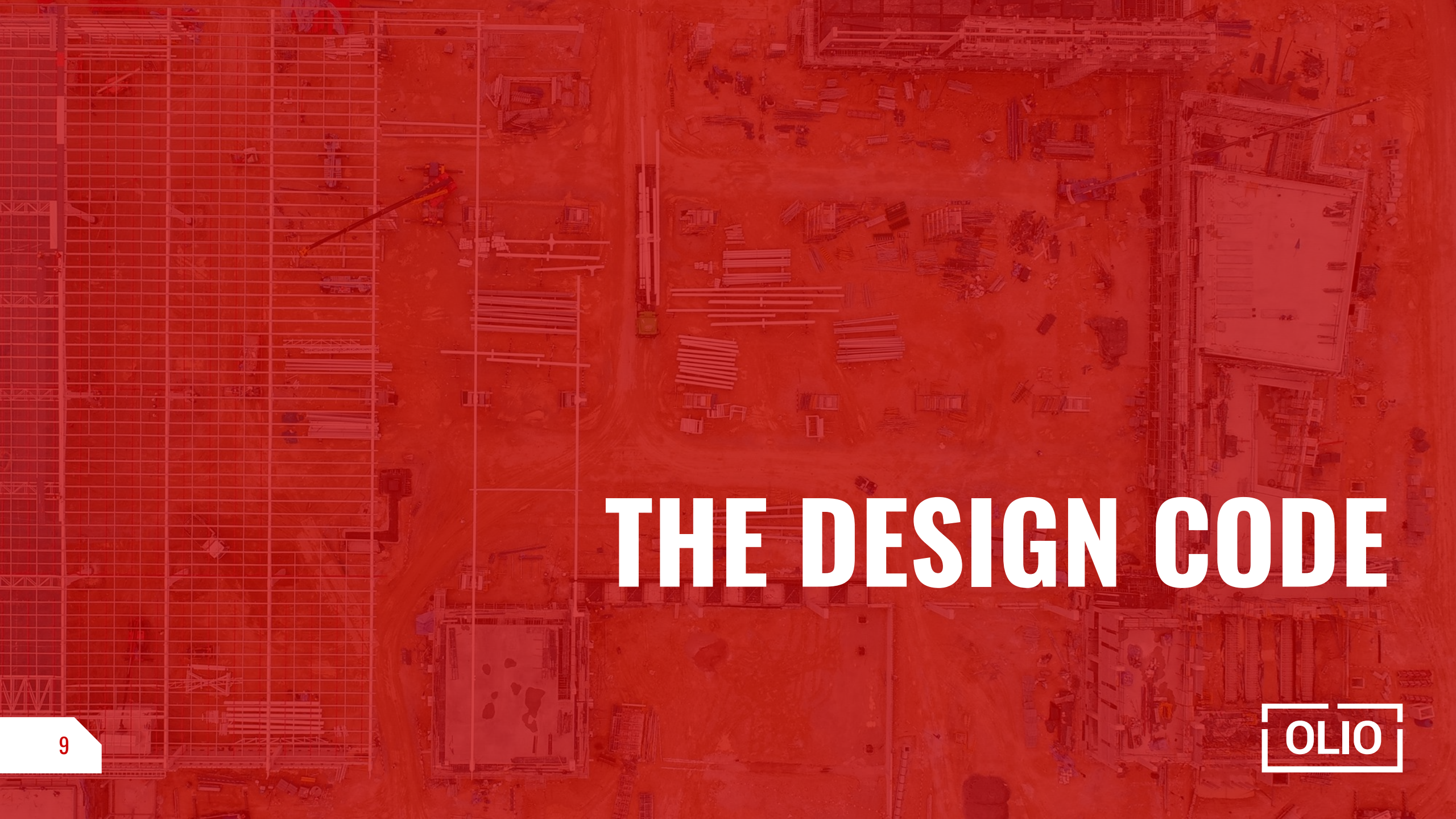
THE PROJECT





Project Scope: **New development of 716 N Court Street Medina, Ohio**

- Construction of new 4,500 sqft University Hospital Urgent Care by WellStreet
- \$3,000,000 + investment into the property.
- Job Creation:



THE DESIGN CODE

OUR GOAL: To meet city design requirements in a transitioning neighborhood, while developing a competitive building with aesthetics that meet the client's vision and brand.

- Review of Design Guidelines
- Review of adjacent structures
- Review of adjacent structures material usage

skin.

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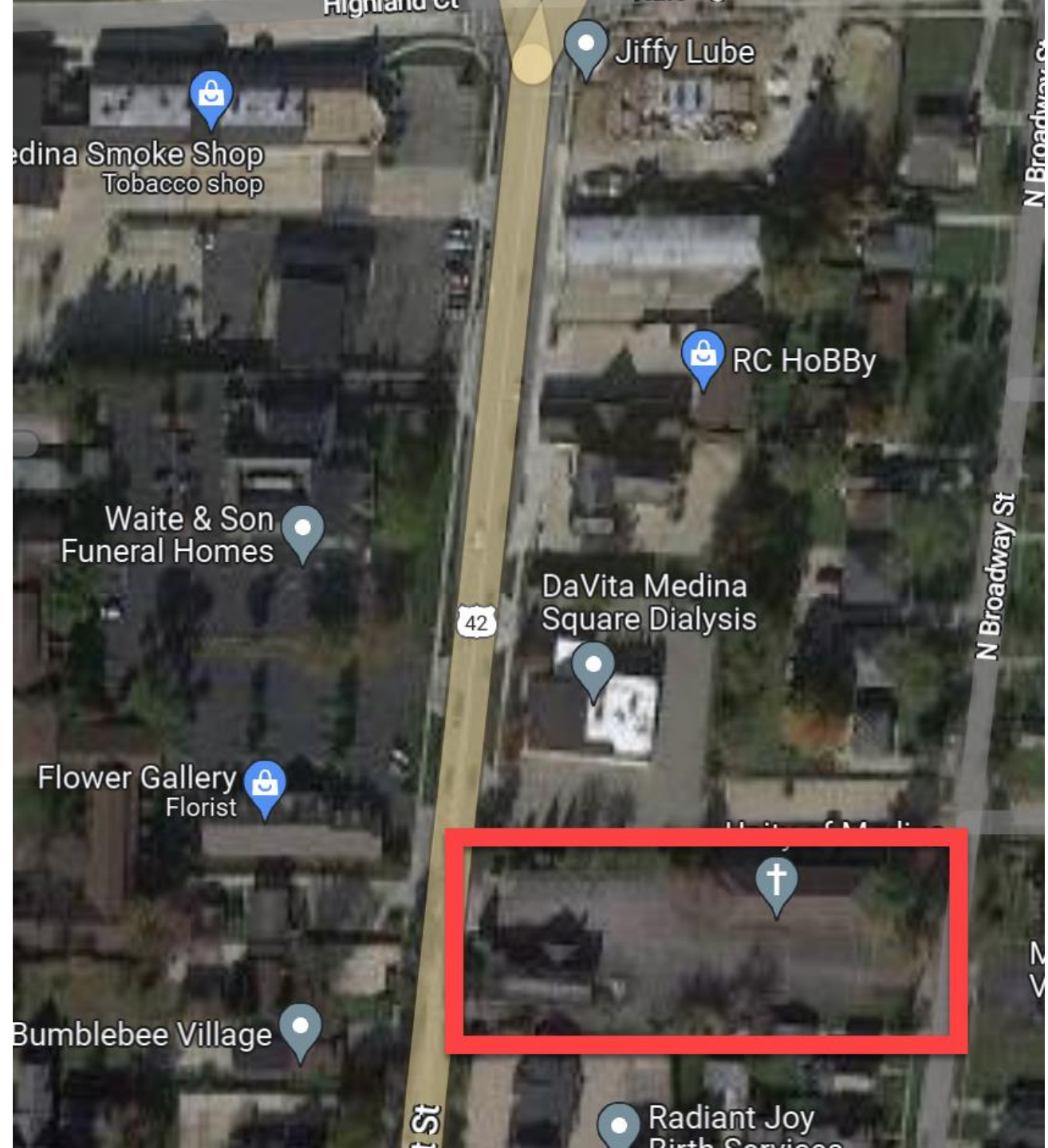
- (1) ✓ The height, width and general proportions of the structure shall complement adjacent buildings so that an overall harmonious appearance is created and maintained.
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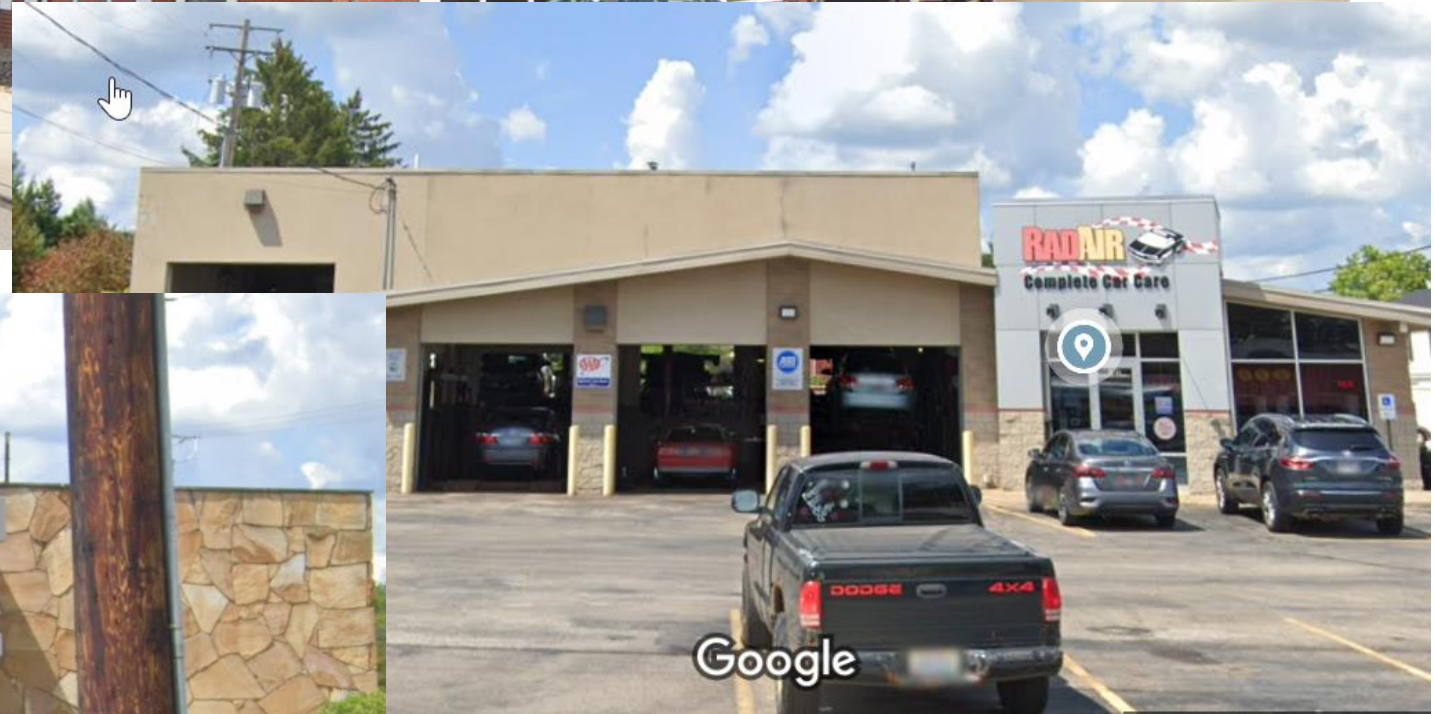
THE NEIGHBORHOOD

OUR GOAL: Understand current neighborhood and pull design elements into our project to meet city design requirements.

- Review of Design Guidelines
- Review of adjacent structures
- Review of adjacent structures material usage



Neighborhood & adjacent structures



Google

Neighborhood & adjacent structures



Neighborhood & adjacent structures



Discovery: The neighborhood is transitioning, and complimentary design items do not span across all adjacent properties. We were able to identify the following trends.

- All Brick Front & Side Elevation
- Painting brick & color choice
- Brick details
- Roofing Material match
- Cornice Detail match
- Parking

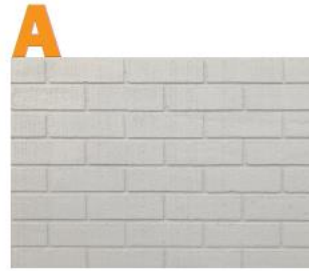




OUR DESIGN

Challenge: Complimentary design items do not span across all adjacent properties. Based on the trends we identified, we were able to incorporate the following into our design.

- All Brick Front & Side Elevation
- Painting brick & color choice.
- Brick details: belt course, Sill course & Solider Course
- Roofing Material
- Cornice Detail
- Avoid poor design features in adjacent properties i.e. parking lots in front of business



MATERIAL: MODULAR BRICK
PATTERN: RUNNING BOND
FINISH: PAINTED SW 7015 REPOSE GRAY



MATERIAL: MODULAR BRICK
PATTERN: SOLDIER COURSE (VARIES)
FINISH: PAINTED SW 7017 DORIAN GRAY

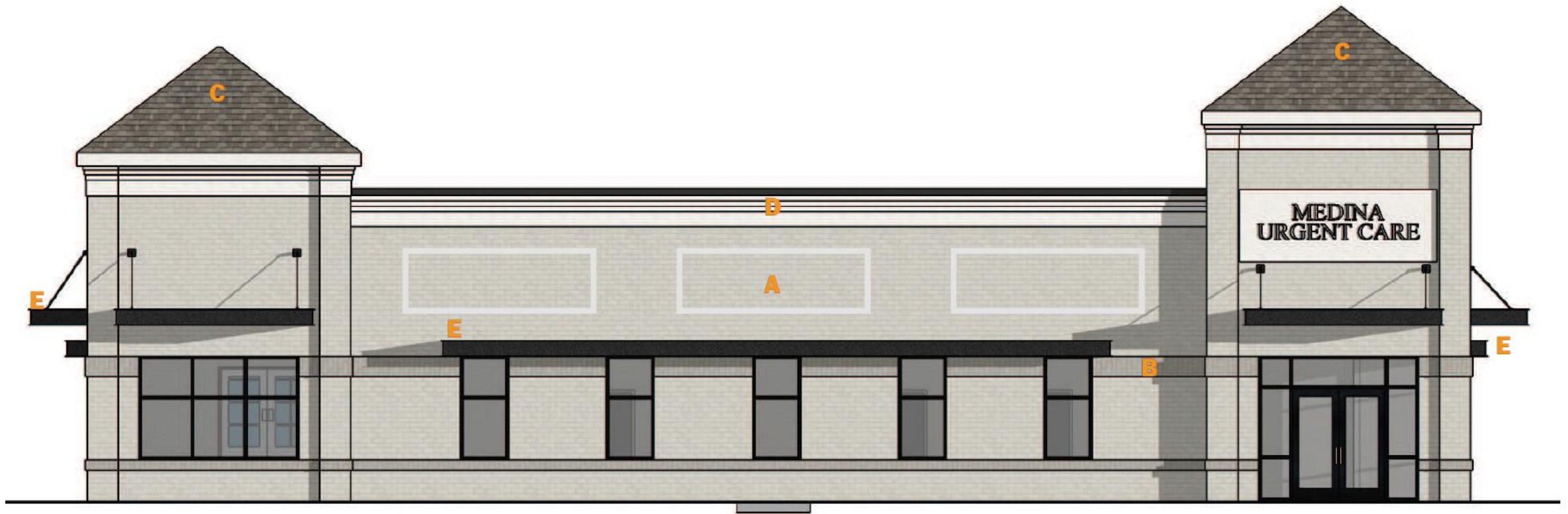


MATERIAL: DIMENSIONAL SHINGLE
PATTERN: STANDARD
FINISH: TBD



MATERIAL: EIFS BY DRYVIT
PATTERN: SANDPEBBLE
FINISH: PAINTED SW 7004 SNOWBOUND





MATERIAL: MODULAR BRICK
PATTERN: RUNNING BOND
FINISH: PAINTED SW 7015 REPOSE GRAY



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PATTERN: SOLDIER COURSE (VARIES)
FINISH: PAINTED SW 7017 DORIAN GRAY



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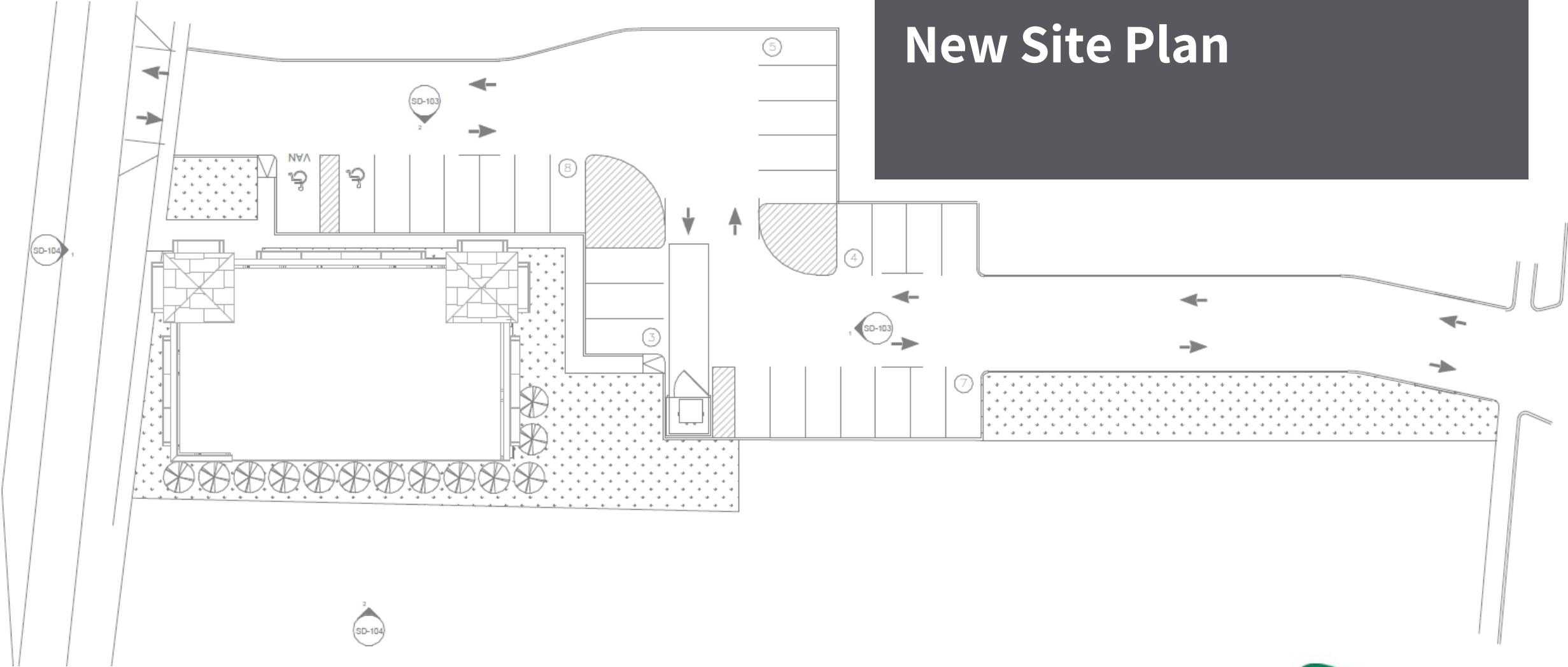


MATERIAL: ANODIZED ALUMINUM
PATTERN: N/A
FINISH: MATTE BLACK





New Site Plan







WORKING SESSION: FEEDBACK

GOALS FOR WORKING SESSION



- 1. Walk through of exterior design & design elements.
- 2. Understand board members position on exterior elevations presented as it relates to design code





THANK YOU

