



**CITY OF MEDINA**  
Community Development Department  
132 N. Elmwood Ave. Medina, OH 44256  
330-722-9023

## **MEMORANDUM**

**DATE:** October 5, 2023  
**TO:** Historic Preservation Board  
**FROM:** Andrew Dutton, Community Development Director  
**SUBJECT:** Hotel Project Extension Request

### **Initial Approval**

Application H22-19, James Gerspacher requesting a Certificate of Appropriateness for the demolition of two principal structures and the construction of a hotel at 253 & 257 South Court Street, was conditionally approved by the Historic Preservation Board on November 11, 2022 with the following conditions:

1. "Option 1", as shown on page A2.1 of the application, shall be the approved front building elevation.
2. Specific paint colors of all applicable details shall be submitted to the HPB for approval.
3. An example(s) of window tint shall be submitted to the HPB for approval.
4. An example(s) of the pedestrian ramp railing shall be submitted to the HPB for approval.
5. An example(s) of fencing on the north side of the building utilized for privacy screening shall be submitted to the HPB for approval.
6. An updated landscaping plan shall be submitted to the HPB for approval.
7. There shall be resolution between the applicant and the owner of 241 South Court Street regarding the potential restoration and repair of the south building wall of 241 South Court Street after the demolition of the building on the site.

### **Extension Request**

Per Section 145.06(c)(5), once a Certificate of Appropriateness has been granted, all other permits must be obtained and construction commenced within one year unless the applicant applies for and receives an extension from the Board. At this time, permits have not been obtained and construction has not commenced on the project.

The applicant has requested the extension of the Certificate of Appropriateness approval for one additional year from the initial approval. If the extension request is approved, all permits must be obtained and construction must commence by November 11, 2024. In the event the extension is granted, the above conditions of approval for H22-19 will remain in effect.

For reference, the mixed-use Liberty View project on West Liberty Street has received multiple extensions and a revision, which were approved by the Historic Preservation Board.

Please let me know if you have any questions regarding the proposed extensions.

## Andrew Dutton

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**From:** Nils Johnson <nils@cunninghamengineering.com>  
**Sent:** Wednesday, September 20, 2023 10:17 AM  
**To:** Andrew Dutton  
**Cc:** Jason Stevenson; Jim Gerspacher; Cindy Haltrich  
**Subject:** RE: Hotel Project  
**Attachments:** 22-137 SITE.pdf

Andrew,

On behalf of the owner/applicant, we would like to request the extensions as spelled out in your email below. Attached is an update site plan depicting the changes we discussed:

- 1) Stopping the fence at the southeast corner of the "King" barn.
- 2) Adding the egress drive connection at the northwest corner of the site...labeled as "exit" on the plan.
- 3) The landscaping is slightly adjusted along the west property line as depicted on our plan. The rest of the landscaping will follow the original plan prepared by Illes architects.

You indicated that a new application is not needed at this time. Please let me know if there is anything else you need from us.

Thank you,

Nils E. Johnson, P.E.

*President*

***Cunningham and Associates, Inc.***

***Civil Engineering and Surveying***

203 West Liberty Street

Medina, Ohio 44256

330-725-5980

[nils@cunninghamengineering.com](mailto:nils@cunninghamengineering.com)

## Andrew Dutton

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**From:** Andrew Dutton  
**Sent:** Friday, September 15, 2023 3:13 PM  
**To:** 'Nils Johnson'  
**Subject:** RE: Hotel Project  
**Attachments:** Board and Commission Approval Text 8-29-23.pdf; Hotel Landscaping Plan - PC.pdf; Approval Letters 11-9-22.pdf

Nils,  
Regarding the Hotel approval extensions, I'd suggest the following, but you are able to request whatever you'd like:

- **H22-19 Certificate of Appropriateness (HBP)** – Extension of the approval for one additional year to receive all permits and commence construction (November 11, 2024). All conditions of approval will remain in full effect.
- **P22-19 Site Plan & Conditional Zoning Certificate (PC)** – Extension of Site Plan approval for one additional year to commence construction (November 11, 2024) and complete construction (November 11, 2025). Extension of Conditional Zoning Certificate approval for two additional years to commence the hotel use (November 11, 2025). All conditions of approval will remain in full effect.
- **Z22-24 Variance (BZA)** – Extension of the approval for one additional year to commence construction (November 11, 2024) and complete construction (November 11, 2025).

As we spoke about, we'll also need a revision to the Site Plan for the proposed access drive in the NW corner of the property. I've also attached the previously approved Landscape Plan for reference.

-Andrew

## Andrew Dutton

**Community Development Director**

City of Medina  
adutton@medinaoh.org  
330-722-9023





**CITY OF MEDINA**  
Community Development Department  
132 N. Elmwood Ave. Medina, OH 44256  
Phone: 330-722-9056 Fax: 330-764-4385

November 9, 2022

James Gerspacher  
870 Beechwood Drive  
Medina, OH 44256

Dear Mr. Gerspacher,

At the November 8, 2022 meeting of the Historic Preservation Board ("HPB"), the Board considered application **H22-19**: James Gerspacher requesting a Certificate of Appropriateness for the demolition of two principal structures and the construction of a hotel at 253 and 257 South Court Street.

After discussion, a motion was made to approve the portion of the Certificate of Appropriateness application concerning the demolition of two principal structures on the site. The motion received the necessary votes of the Board and the **application was approved**.

A motion was also made to approve the portion of the application concerning the construction of a hotel, as presented, with the following conditions:

1. "Option 1", as shown on page A2.1 of the application, shall be the approved front building elevation.
2. Specific paint colors of all applicable details shall be submitted to the HPB for approval.
3. An example(s) of window tint shall be submitted to the HPB for approval.
4. An example(s) of the pedestrian ramp railing shall be submitted to the HPB for approval.
5. An example(s) of fencing on the north side of the building utilized for privacy screening shall be submitted to the HPB for approval.
6. An updated landscaping plan shall be submitted to the HPB for approval.
7. There shall be resolution between the applicant and the owner of 241 South Court Street regarding the potential restoration and repair of the south building wall of 241 South Court Street after the demolition of the building on the site.

The motion received the necessary votes of the Board and the **application was approved**.

The approved project shall commence within one year of the Board's decision or the Certificate of Appropriateness approval shall become null and void. The action of the Historic Preservation Board does not constitute approval of a Sign Permit, Zoning Certificate, Variance, Planning Commission Application, Building Permit, Engineering Permit, or other application required by the City of Medina Codified Ordinances.

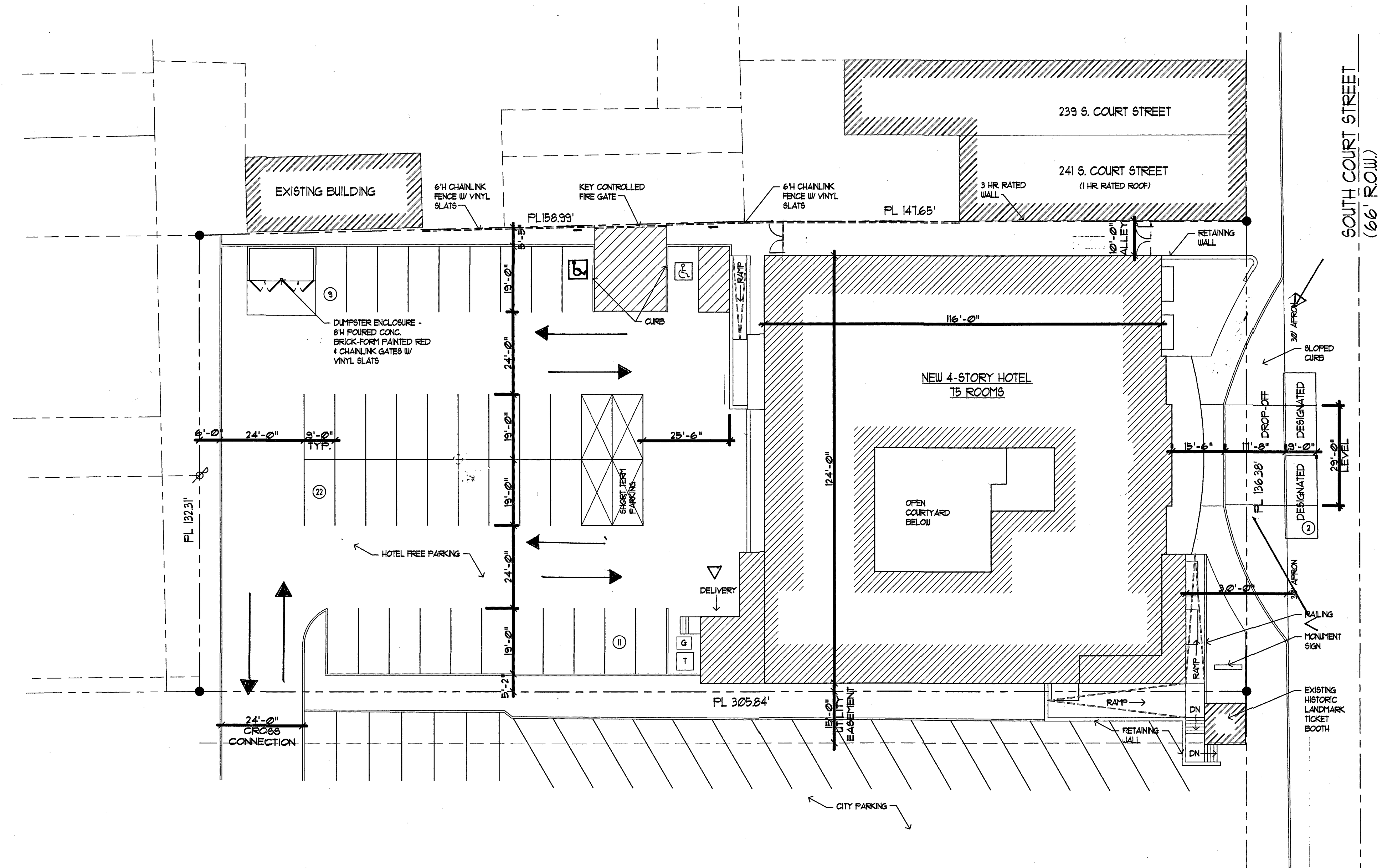
Please feel free to contact me at (330) 722-9023 or [adutton@medinaoh.org](mailto:adutton@medinaoh.org) if you have any questions or need any further information.

Sincerely,

A handwritten signature in blue ink, appearing to read "Andrew Dutton". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Andrew Dutton  
Community Development Director

# Conditionally Approved Site Plan 11-8-22



**SITE PLAN**  
SCALE = 1" = 20'  
NOTE:  
NOT A SURVEY. ALL DIMENSIONS TO BE VERIFIED IN-FIELD

# Conditionally Approved Landscaping Plan 11-8-22

## PLANT MATERIAL LIST

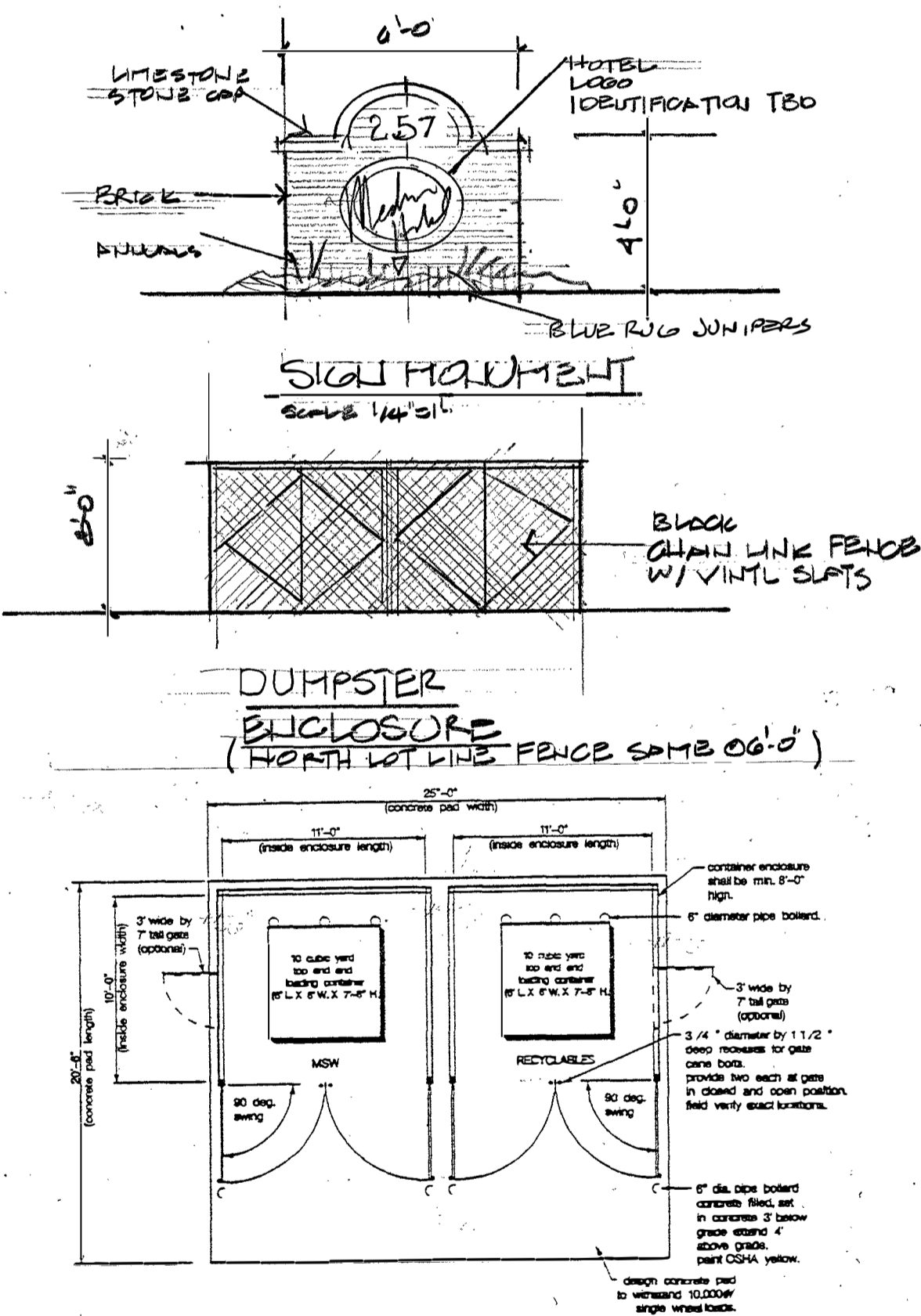
KEY	QTY.	SIZE	COMMON NAME	SCIENTIFIC NAME	SPACING	REMARKS	
JP	SEE DUG.	5'	SEAGREEN JUNIFER	JUNIFERUS CHINENSIS	AS SHOWN	---	
BBD	SEE DUG.	24"	DUF. BURNING BUSH	EUONYMUS ACATA 'COMPACTA'	AS SHOWN	---	
BBL	SEE DUG.	32"	STD. BURNING BUSH	EUONYMUS ALATUS	AS SHOWN	---	
CL	SEE DUG.	6'-1"	CLEVELAND PEAR	PYRUS	AS SHOWN	2' CALF	
HL	SEE DUG.	6'-1"	SUNBURST HONEY LOCUST	GLEDITSIA SKYLINE	AS SHOWN	2' CALF	
SP	SEE DUG.	6'-1"	ALBERTA SPRUCE	GLAUCA CONICA	AS SHOWN	2' CALF	
NOTE A	HOSTA	SEE DUG.	8'-12"	HOSTA	FORTUNEI 'AUREO MARGINATA'	AS SHOWN	---
FL	SEE DUG.	12"	FLOWERING ANNUALS	DAY LILLY, RED IMPATIENS, COREOPSIS, SWEET WILLIAM'S, ASTER, GERANIUM'S	AS SHOWN	---	
ORN GRASS	SEE DUG.	18"	ORNAMENTAL GRASS	ELYMUS ARENARIUS	AS SHOWN	---	
BB	SEE DUG.	6'-1"	VIOLA BLUE SPRUCE	P. GLAUCA 'VIOLA'	AS SHOWN	2' CALF	
NOTE A	PHLOX	SEE DUG.	6"	CREEPING PHLOX	PHLOX SUBULATA - WHITE AND PINK	AS SHOWN	---
BRJ	SEE DUG.	5'	BLUE RUG JUNIFER	WILTONII	AS SHOWN	---	

FLOWERING DOGWOOD OPTIONAL BASED ON AVAILABILITY

NOTE A PER PLANNING COMMISSION'S RECOMMENDATION- IF PHLOX OR HOSTA ARE NOT AVAILABLE AT TIME OF PLANTING OWNER CAN SUBSTITUTE DAY LILLY, RUDBECKIA, COREOPSIS, ASTER, CONE FLOWER, SEDUM OR GERANIUM

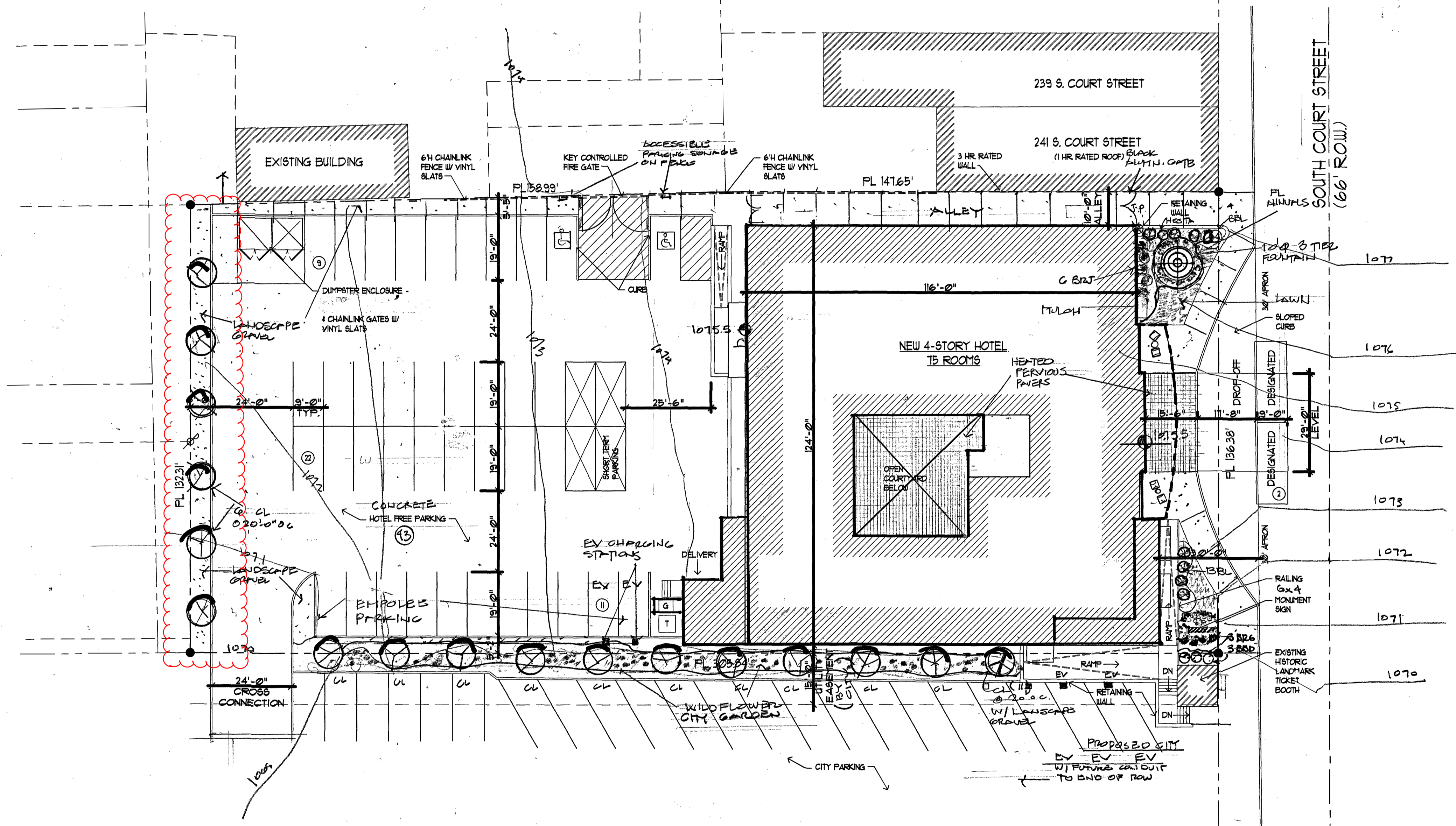
### SITE IRRIGATION

WILL COMPLY WITH CITY REQUIREMENT OF LANDSCAPE SITE IRRIGATION SYSTEM



MSW & RECYCLABLES CONTAINER ENCLOSURE PLAN

SCALE: 1/8" = 1'-0"

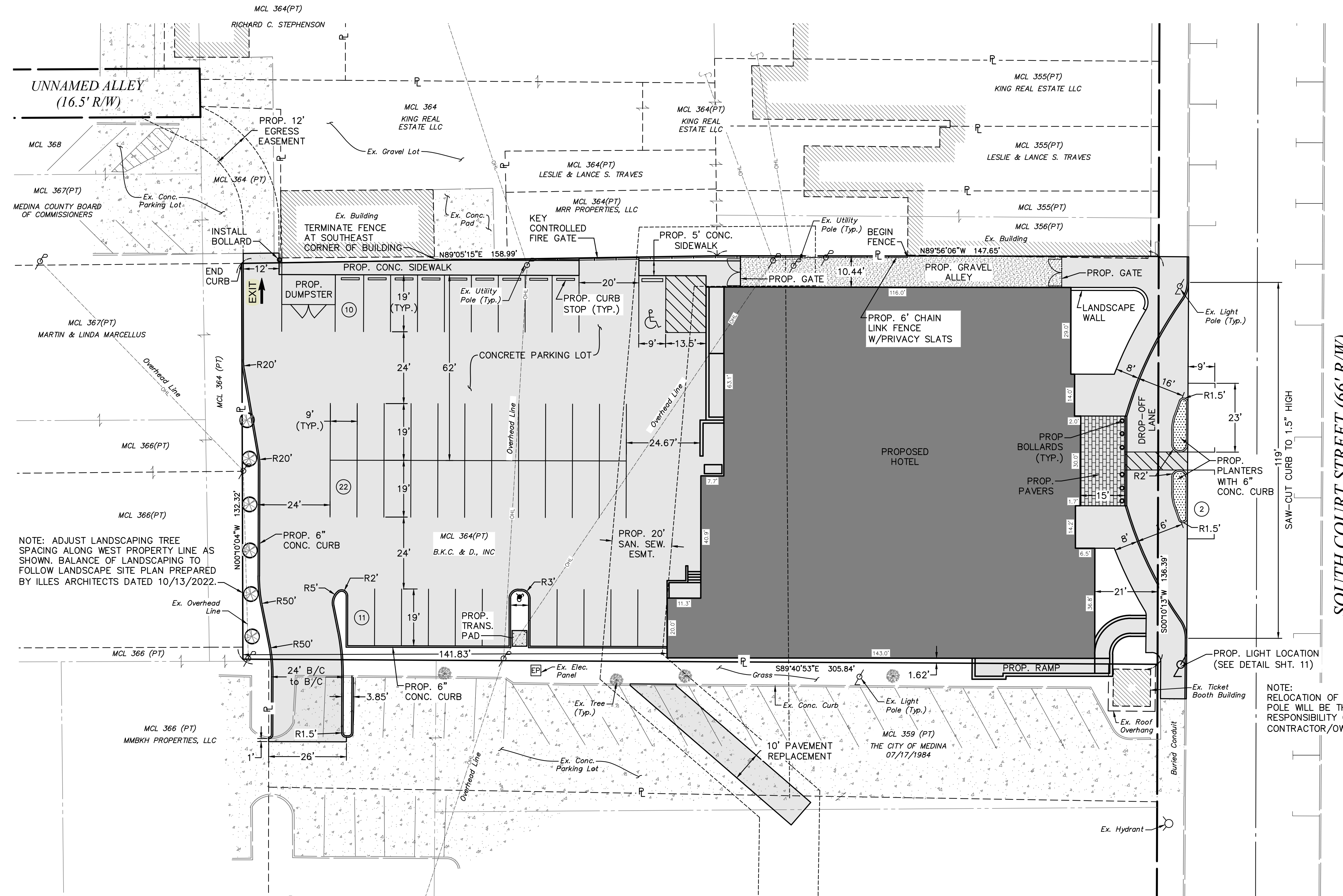


LANDSCAPE SITE PLAN

SCALE = 1" = 20'

NOTE: NOT A SURVEY. ALL DIMENSIONS TO BE VERIFIED IN-FIELD

# Revised Site Plan 9-20-23



### LEGEND

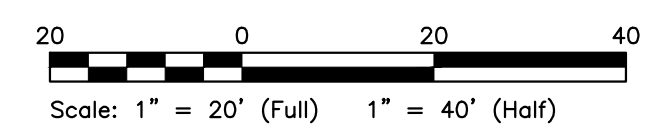
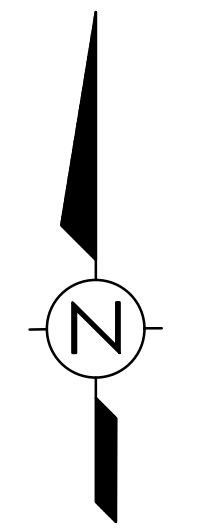
- EX. HYDRANT ASSEMBLY
- EX. LIGHT POLE
- EX. POWER POLE
- PROP. LIGHT POLE
- EX. OVERHEAD LINE
- EX. SIGN
- EX. TREE
- EX. CONCRETE PAVEMENT
- PROP. CONCRETE PAVEMENT

### NOTE:

FENCING TO BE INSTALLED ALONG THE PERIMETER OF THE SITE CONSTRUCTION TO SEPARATE THE PUBLIC FROM THE CONSTRUCTION ZONE, SEE SHEET 10.

NOTE: RELOCATION OF LIGHT POLE WILL BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.

NOTE: ADJUST LANDSCAPING TREE SPACING ALONG WEST PROPERTY LINE AS SHOWN. BALANCE OF LANDSCAPING TO FOLLOW LANDSCAPE SITE PLAN PREPARED BY ILLES ARCHITECTS DATED 10/13/2022.



DATE	DESCRIPTION	BY
9/20/23	FENCE EXISTENCES (M)	

**257 SOUTH COURT STREET**  
 COUNTY OF MEDINA  
 LOCATED IN  
**CUNNINGHAM & ASSOCIATES, INC.**  
 CIVIL ENGINEERING and SURVEYING  
 203 W. LIBERTY ST. MEDINA, OHIO 44226 330-725-5980

**SITE DIMENSION & PAVING PLAN**

DRAWN BY: CAH  
 DATE: 06/15/2023  
 CHECKED BY:  
 DATE:  
 PROJECT No.  
 22-137  
 ACAD FILE No.  
 M:\...122-137 PP  
 M.C.S.E.#  
 S-500/200-188.1

SCALE: PLAN- 1"=20'  
 PROFILE-Horz.  
 Vert.

SHEET NO.  
4 / 13



# Revised Site Plan w/Areas of Notable Change 9-20-23

DATE	DESCRIPTION	BY
9/20/23	FENCE EGRESS EASEMENT	CAH

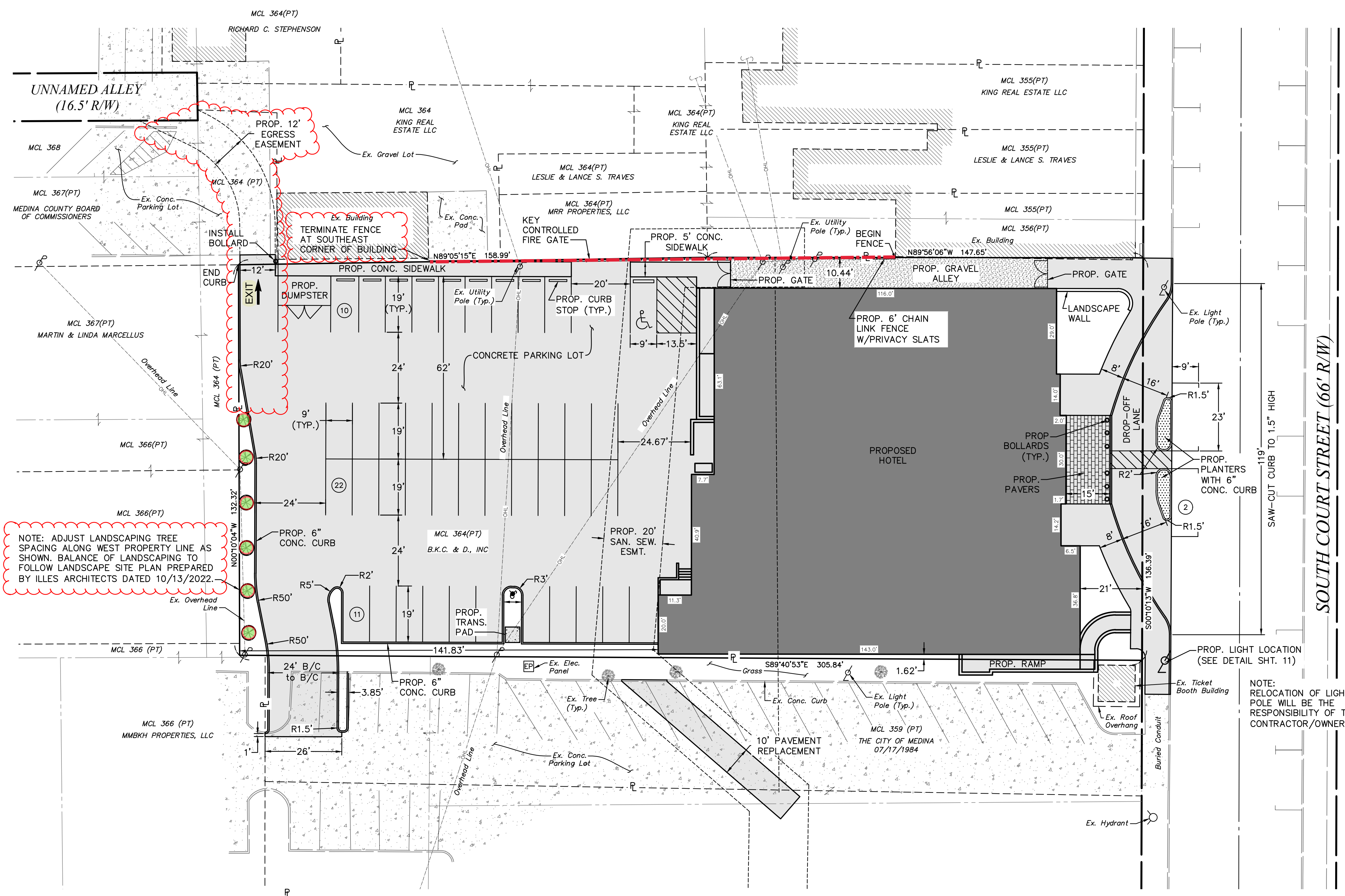
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SCALE: PLAN- 1"=20'  
 PROFILE-Horz.  
 Vert.

SHEET NO.  
**4**  
**13**



### LEGEND

- EX. HYDRANT ASSEMBLY
- EX. LIGHT POLE
- EX. POWER POLE
- PROP. LIGHT POLE
- EX. OVERHEAD LINE
- EX. SIGN
- EX. TREE
- EX. CONCRETE PAVEMENT
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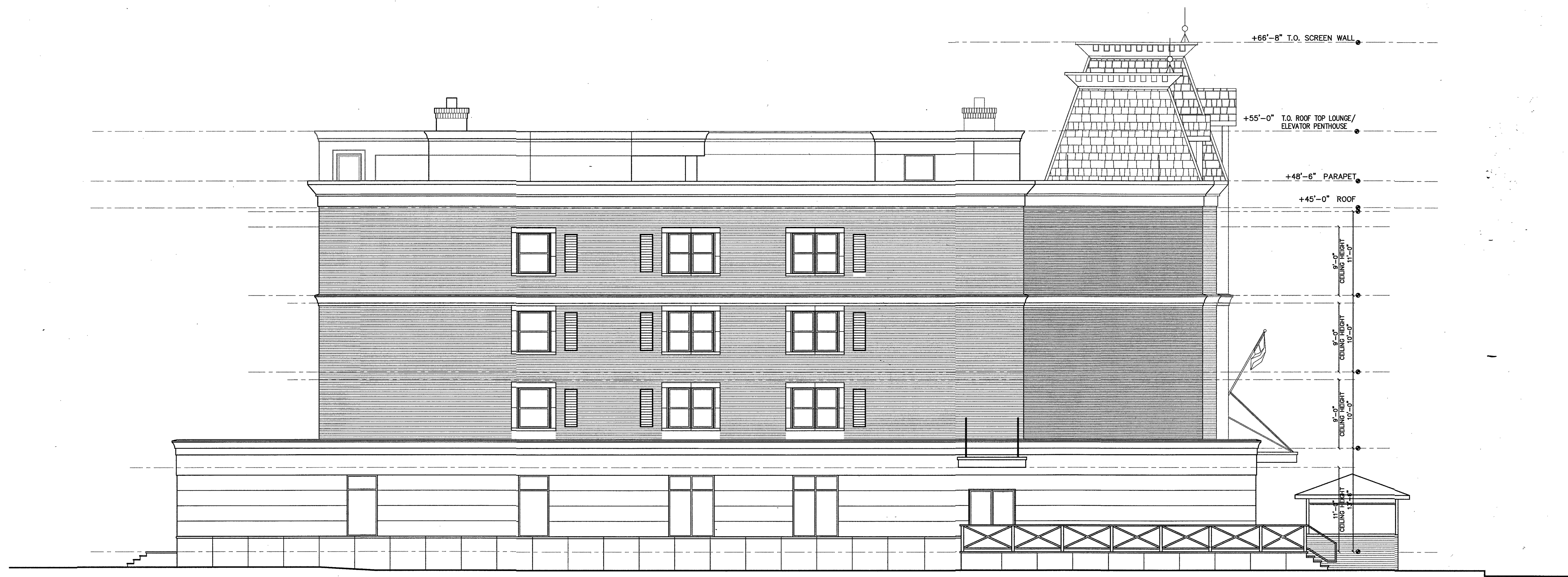


EAST/FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



WEST/REAR ELEVATION  
SCALE: 1/8" = 1'-0"

**Conditionally  
Approved Building  
Elevations -  
For Reference Only  
- No Proposed  
Changes**



SOUTH/SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



NORTH/SIDE ELEVATION  
SCALE: 1/8" = 1'-0"

**Conditionally  
 Approved Building  
 Elevations -  
 For Reference Only  
 - No Proposed  
 Changes**