



**CITY OF MEDINA**  
Community Development Department  
132 N. Elmwood Ave. Medina, OH 44256  
330-722-9023

## MEMORANDUM

**DATE:** January 4, 2024  
**TO:** Historic Preservation Board  
**FROM:** Andrew Dutton, Community Development Director  
**SUBJECT:** Demolition Request – 129 North Broadway Street

A Certificate of Appropriateness application was recently submitted by Landmark Homes regarding the demolition of a structure at 129 North Broadway Street. The structure recently experienced a fire during a previous tenant's remodeling project, when the building was under different ownership. The applicant has submitted the following information regarding the demolition including:

- A description of the request
- Demolition cost
- Amount paid for the property
- Site plan
- Interior/exterior pictures
- Previous uses/occupants
- Architectural evaluation
- Building condition evaluation
- Insurance rehabilitation estimate

Demolition submittal requirements found in Chapter 145 are indicated below. Though many items have been submitted, requirements noted in bold/italics need additional information or are incomplete.

### Submittal Requirements – Demolition, partial demolition, or moving

1. Photographs (8"x 10"), of the existing building in detail including context and site.
2. A Site Plan depicting the site of the subject building and its context.
3. A written request from the Owner indicating reasons for the demolition, partial demolition, or moving.
4. Include the following information:
  - Status - National Historic Landmark, National Landmark Historic District;
  - Status - Listing on the U.S. National Register of Historic Places or determination of eligibility for the National Register;
  - Status - Historic Landmark (Medina), Historic District (Medina);
  - Form of Ownership of the property, amount paid for property, date of purchase, party from whom it was purchased, and description of relationship between owner and applicant;
  - Cost of proposed Demolition;
  - ***The fair market value for the property and the anticipated market value after rehabilitation;***  
- Fair market value after a potential rehabilitation was not submitted. Typically, these figures are provided by a real estate professional -

- **An analysis of the feasibility of rehabilitation, including the costs of rehabilitation, and the income and expense likely to be produced by the property after rehabilitation;**
    - A detailed insurance company assessment was provided. Typically, rehabilitation estimates and their feasibility are provided by an architect or contractor. Income after rehabilitation is also usually provided by a real estate professional. -
  - **A list of alternatives that were considered and reasons why alternatives were dismissed;**
    - A alternatives to demolition were not discussed with the exception of an insurance estimate -
  - Board may request other information specific to the project.
5. The applicant may provide additional financial information supporting the case for demolition. This information may include:
- In the case of income-producing properties, provide the annual gross income from the previous two years and itemized expenses for the same time period;
  - Price asked and offers received within the previous two years.
6. **If applicant claims lack of structural or architectural integrity as the reason for demolition, he/she must offer evidence prepared by a licensed engineer or architect as to the structural soundness of the building or structure.**
- The condition of the structure is the primary reason for the demolition request. Evidence by a licensed engineer or architect was not provided -

Though reports were not provided by licensed professionals (real estate/architect/engineer), Landmark Homes clearly has expertise in evaluating structures, remodeling, new construction, and property valuation. As such, the purpose of this discussion is to assess the above submittal requirements and for the Board to consider whether Landmark Homes is qualified to provide such information.


Please let me know if you have any questions.



# BOARDS & COMMISSIONS APPLICATION

132 North Elmwood Avenue  
330-722-9038  
www.medinaoh.org

**Application Number** \_\_\_\_\_

<b>GENERAL</b>	Date of Application <u>12/14/23</u> Property Location <u>129 North Broadway Medina, OH 44256</u> Description of Project <u>Request to demo building</u> _____ _____
<b>CONTACT INFORMATION</b>	<b>Applicant</b> Name <u>Tim Pelton</u> Address <u>125 North Broadway</u> City <u>Medina</u> State <u>OH</u> Zip <u>44256</u> Phone <u>330-571-8100</u> Email <u>tpelton@landmarkhomes.biz</u> <b>Property Owner</b> Name <u>Renovation Homes Inc.</u> Address <u>125 North Broadway</u> City <u>Medina</u> State <u>OH</u> Zip <u>44256</u> Phone <u>330-571-8100</u> Email <u>tpelton@landmarkhomes.biz</u>
<b>APPLICATION TYPE</b>	<b>Planning Commission</b> Site Plan <input type="checkbox"/> Conditional Zoning Certificate <input type="checkbox"/> Code or Map Amendment <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Conditional Sign (EMC/Shopping Ctr) <input type="checkbox"/> Cert. of Appr. (TCOV) <input type="checkbox"/> Other <input type="checkbox"/> <b>Historic Preservation Board</b> Certificate of Appropriateness <input checked="" type="checkbox"/> Conditional Sign <input type="checkbox"/> <b>Board of Zoning Appeals</b> Variance <input type="checkbox"/> Appeal <input type="checkbox"/>
<b>APPLICANT SIGNATURE</b>	<i>By signing this application, I hereby certify that:</i> 1) <i>The information contained in this application is true and accurate to the best of my knowledge;</i> 2) <i>I am authorized to make this application as the property owner of record or I have been authorized to make this application by the property owner of record;</i> 3) <i>I assume sole responsibility for correspondence regarding this application; and</i> 4) <i>I am aware that all application requirements must be submitted prior to the formal acceptance of my application.</i> Signature <u></u> Date <u>12/14/23</u>
<b>OFFICIAL USE</b>	Zoning District _____ Fee (See Fee Sheet) \$ _____ Meeting Date _____ Check Box when Fee Paid <input type="checkbox"/>

Tim Pelton

Owner

Landmark Homes

125 North Broadway Street

Medina, OH 44256

rroot@landmarkhomes.biz

330-388-8230

11/29/23

Andrew Dutton

Community Development Director

Historic Preservation Board (Medina)

National Historic Landmark, National Landmark historic District

132 North Elmwood Ave.

Medina, OH 44256

Subject: Request for Permission to Demolish 129 North Broadway within the Historic District (Medina)

Dear Andrew Dutton and Board Members,

I trust this letter finds you in good health. I am reaching out on behalf of Landmark Homes to discuss our proposed project involving the demolition of 129 North Broadway, a property located within the Historic District in Medina. Recognizing the historical and cultural significance of structures within the landmark, we approach this matter with utmost respect and transparency.

Landmark Homes, situated on the square within the Historic District of Medina, is a custom home builder with deep roots in the community. Both owners, Tim Pelton and Rob Root, are fifth-generation residents of Medina and have familial ties to prominent names in the region's history, such as Parker Pelton and A.I. Root. Our commitment to preserving the history of Medina is reflected in our work, where we provide custom construction of significant homes in Medina and the surrounding communities.

The property at 129 North Broadway, adjacent to our office at 125 North Broadway, experienced a significant fire during a remodel conducted by the previous owners' tenants. Subsequent investigations revealed evidence of a prior fire covered up by wall finishes. Despite our initial intent to rehabilitate the structure, a thorough assessment has revealed significant challenges related to structural integrity, safety concerns, and other factors that compromise its preservation. Our primary goal is not to diminish the historical value of the structure but to ensure the safety and well-being of the community and contribute positively to the revitalization of the surrounding area.



We propose the removal of the building and the return of the land to green space for the following reasons:

1. The previous owner's insurance company conducted a thorough inspection, revealing evidence of a previous fire in addition to the recent one, resulting in extensive damage and a total loss determination.
2. Our production team, upon inspection, deemed any rehabilitation unfeasible due to significant structural damage from the fires.
3. The city inspector has agreed with our and previous owners insurance company assessment of the property, citing major damage to the structure from the fire.
4. The current condition of the property, coupled with its location, poses safety concerns for surrounding properties and citizens.
5. After inspection, no specific items, details, or architectural elements of historical significance were observed within or on the building.

Understanding the importance of preserving historical integrity, we commit to implementing the following mitigation measures if any of the following criteria are met:

1. Salvage and document significant architectural elements for future historical reference (None have been observed).
2. Work closely with local historical preservation organizations to preserve and display artifacts or materials of historical significance (None have been observed).
3. Collaborate with relevant stakeholders to develop a commemorative plaque or other appropriate means to acknowledge the historical significance of the building at 129 North Broadway (No historical significance appears on record upon our research).

**Status:** Historic District (Medina)

**Form of ownership:** See attached copy of deed

**Amount Paid for property:** \$65,000

**Party from whom it was purchased:** Matthew R. Marquard, The Marquard Company, INC.

**Current Owner:** Renovation Homes

**Cost of Demo:** \$25,000

**Fair Market Value:** \$65,000

In light of the above considerations, we propose the full removal of the existing building at 129 North Broadway and the restoration of the land to green space.

Recognizing the gravity of the decision to demolish a structure within a National Historic Landmark, we would be honored to discuss this matter further in person. We kindly request the opportunity to present our plans to the National Historic Landmark Authority and address any concerns.

Thank you for your time and consideration of our request. We look forward to the opportunity to discuss this matter further.

Sincerely,

Tim Pelton

Owner

Landmark Homes

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DocId:8500556

Tx:8363105

**2022OR023348**

**LINDA HOFFMANN  
MEDINA COUNTY RECORDER  
MEDINA, OH  
RECORDED ON  
11/10/2022 11:59 AM**

**REC FEE: 34.00  
PAGES: 3  
DOC TYPE: WD**

**MEDINA COUNTY RECORDER**

**LINDA HOFFMANN**

**(DO NOT REMOVE THIS COVER SHEET.  
THIS IS THE FIRST PAGE OF THIS DOCUMENT)**

This Conveyance has been examined and the Grantor has complied with Section 319.202 of the Revised Code. 11/10/2022  
FEE \$ 195.00  
.50 EXEMPT  
Michael E. Kovack, Notary Medina County Auditor

GENERAL WARRANTY DEED, STATUTORY FORM

**General Warranty Deed\***

**The Marquard Company, Inc., an Ohio corporation,  
of Medina County,**

for valuable consideration paid, grant(s) free and clear from all encumbrances, except conditions of record, restrictions, rights of way, leases, easements, zoning ordinances, taxes and assessments, if any, for the current year and thereafter, with general warranty covenants, to

**Renovation Homes, Inc., an Ohio corporation,**

whose tax-mailing address is:  
125 North Broadway Street,  
Medina, OH 44256,

Granting the following REAL PROPERTY:

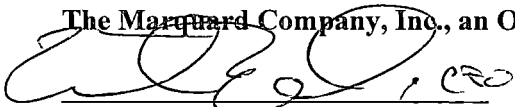
See Exhibit "A" for legal description(s).

Property Tax ID: 028-19B-20-120  
Property Address: 129 North Broadway Street, Medina, OH 44256

Prior Instrument Reference: Document# 2021OR004066 of the Deed Records of Medina County.

Executed this 9 day of November, 2022.

~~The Marquard Company, Inc., an Ohio corporation~~

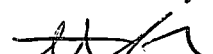


By: **Matthew R. Marquard, CEO/Authorized Signer**

State of Ohio SS.  
County of Medina

BE IT REMEMBERED, that on this 9 day of November, 2022, Before me, the subscriber, a Notary Public, in and for said state, personally came, Matthew R. Marquard, CEO/Authorized Signer of The Marquard Company, Inc., an Ohio corporation, the Grantor in the foregoing deed, and acknowledged the signing thereof to be his voluntary act and deed on behalf of said company. This is an acknowledgement clause; no oath or affirmation was administered to the signer.

IN TESTIMONY THEREOF, I have hereunto subscribed my name and affixed my Official seal on the day and year last aforesaid.



## **Exhibit "A"**

Situated in the City of Medina, County of Medina and State of Ohio: Being known as Medina City Lot 5271 as shown by plat recorded 7/27/87 in Volume 22, Page 10 of Medina County Recorder's Records, be the same more or less, but subject to all legal highways.

Permanent Parcel No. 028-19B-20-120

Property Tax ID: 028-19B-20-120  
Property Address: 129 North Broadway Street, Medina, OH 44256

**TTA #TTC845**

## Rules, Safeguards, and Requirements Before, During, and After Demolition

The following referenced codes, along with other applicable standards and practices associated with the safety and welfare for all workmen, pedestrians, residents, properties, buildings, vehicular traffic, and all similar conditions shall control the demolition projects for which permit(s) will have been issued by the authority having jurisdiction.

Ohio Building Code (OBC)	Residential Code of Ohio (RCO)	Medina Codified Ordinance (MCO)
Ohio Revised Code (ORC)	Ohio Administrative Code (OAC)	Ohio Fire Code (OFC)

**Chapter 33 of the OBC should be read and understood before demolition work commences; particular sections are provided for convenience and are as follow:**

**OBC 3303.1 Construction documents.** Construction documents and a schedule for demolition must be submitted as required by the building official. No work shall be done until such construction documents or schedule, or both, are approved.

**OBC 3303.2 Pedestrian protection.** The work of demolishing any building shall not begin until pedestrian protection is in place.

**OBC 3306.1 Protection required** Pedestrians *and occupants, if present*, shall be protected during ... demolition activities as required by this chapter and Table 3306.1. Signs shall be provided to direct pedestrian traffic.

**OBC 3303.4 Vacant lot.** Where a structure has been demolished or removed, the vacant lot shall be filled and maintained to the existing grade or in accordance with the ordinances of the jurisdiction having authority.

**OBC 3303.6 Utility connections.** Service utility connections shall be disconnected and capped in accordance with the approved rules and the requirements of the authority having jurisdiction.

**OBC 3307.1 Protection required\*** Adjoining public and private property shall be protected from damage during demolition work.  
(*read full text attached*)

**OBC 3309.1 Fire extinguishers.** All structures under ... demolition shall be provided with not less than one approved portable fire extinguisher in accordance with Section 906 and sized for not less than ordinary hazard ... (*read full text attached*)

**\* WATER HYDRANT USAGE IS NOT PERMITTED · CITY WATER USAGE IS REGULATED BY THE WATER DEPT. 330-722-9081**

**\* Water required for the control of airborne particulates and dust must be arranged for in advance and be on-site day one.**

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### IMPORTANT CONTACT NUMBERS FOR THE CITY OF MEDINA:

<b>Service Department</b>	330-725-8861
Rubbish/Sanitation	330-722-9026
Water Dept	330-722-9081

#### Other Departments

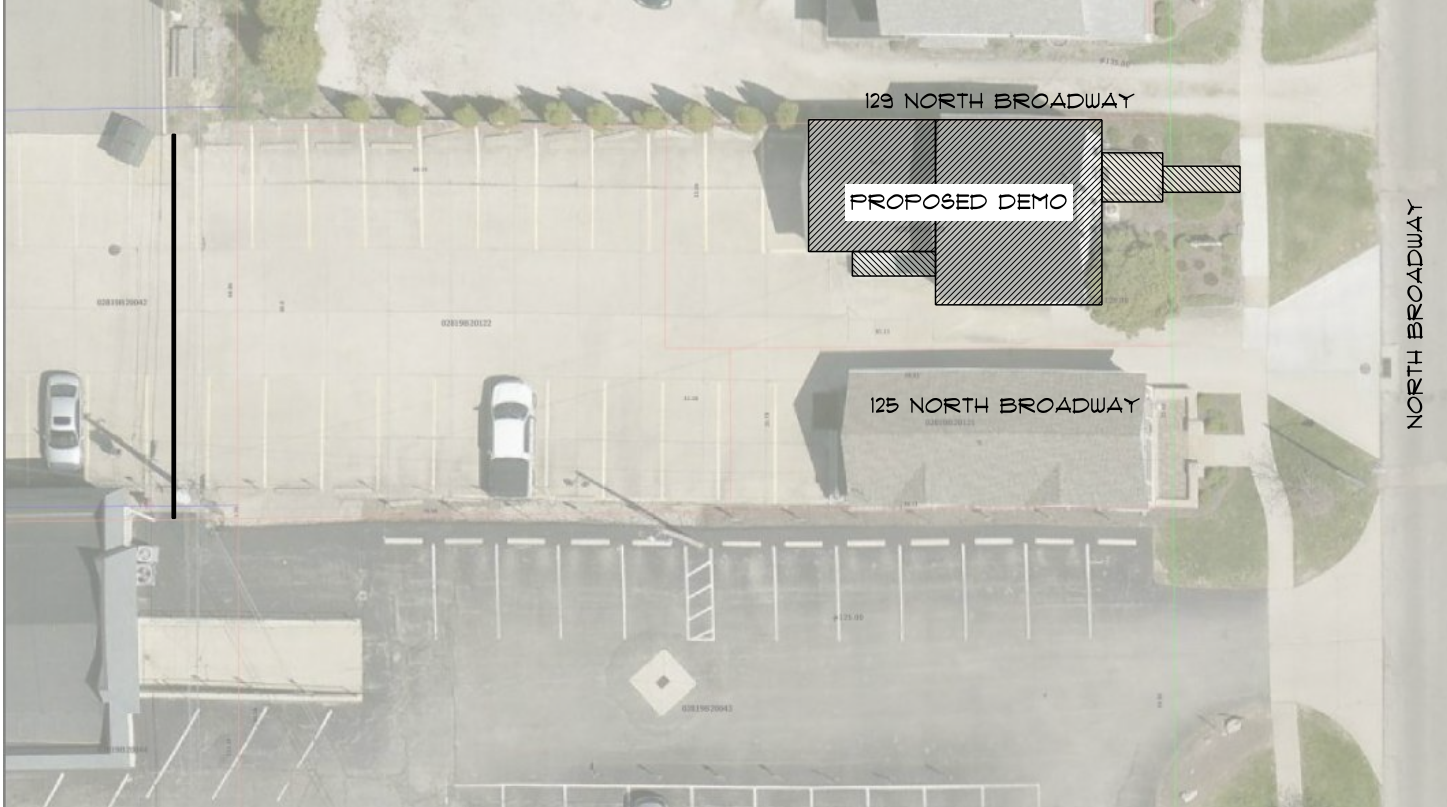
Police Dept	330-725-7777
Fire Dept	330-725-1772
Building Dept	330-722-9030
Planning/Zoning	330-722-9023
City Engineer	330-721-4721

***O.U.P.S. (1-800-362-2764) MUST BE CONTACTED 48 HOURS BEFORE YOU COMMENCE - <http://www.oups.org>***

**ARAQMD – Akron Regional Air Quality Management District – 800-589-2480/330-375-2480 [araqmd@schd.org](mailto:araqmd@schd.org)**

#### Utility Services:

Ohio Edison / First Energy	800-633-4766
Columbia Gas of Ohio	800-344-4077
Armstrong Cable TV	330-723-0901
Telephone Co / Verizon	800-483-4000
Sewer / Medina County	330-723-9585
Sanitary Engineer	330-723-9595



# SITEPLAN DEMO

SCALE: 1" = 30'-0"

## AREA DATA

Total Living Area

## DEMO PLAN

129 North Broadway  
Medina, PROJE T\_STATE

COPYRIGHT Friday, December 8, 2023

## Demo Site Plan

BID SET  
 Construction Documents  
 Printed - 12/8/2023  
[landmarkhomesmedina.com](http://landmarkhomesmedina.com)  
 330-571-8100  
[SALES@LANDMARKHOMES.BIZ](mailto:SALES@LANDMARKHOMES.BIZ)

SCALE: 8 1/2" x 11" ..... 1" = 30'-0"















St. Martin's CPA, Inc.  
FREDERICK, MARYLAND































**LANDMARK HOMES**

DREAM • DESIGN • BUILD • EST. 2006

Ref: 129 North Broadway Street Evaluation

Subject: Facility/Code Evaluation

Mr. Dutton,

Attached you will find the facility/code evaluation for the property at 129 North Broadway in Medina. There is also an exhibit with photos as a point of reference for the evaluation.

Sincerely,

Tim Pelton

Landmark Homes

125 North Broadway

Medina, OH 44256

330-571-8100

[tpelton@landmarkhomes.biz](mailto:tpelton@landmarkhomes.biz)



129 North Broadway Street

### **I. Introduction**

The intent of this report is to provide context for the proposed demolition of 129 North Broadway. This report is intended to show that the building itself is in substantially poor condition due in part to its age and most notably recent fire damage.

The building's previous owner, the Marquard Company, was in the midst of an interior remodel with the intent of renting the building to a hair salon business. However, a fire occurred during the remodel causing extensive damage to the home rendering it unoccupiable and structurally unsound. Landmark Homes then purchased the building from The Marquard Company with the intent of demolishing the building and returning it to green space. That is the request at this time.

However, Landmark Homes would still reserve the right to explore a future new construction on that lot that would go through the review process to compliment the surrounding architecture and be an asset to Medina.

### **Historic Significance:**

The building was originally constructed as a residence in 1912, within what has become the "Historic District" of central Medina. The structure is a modest two-story residential property with a full basement. Most recently the building was occupied by Meriner CPA until 2021 and has been vacant since. The building was listed for sale in late 2020 and sold in 2021 to the Marquard Company.

The building is in the "Historic District of Medina" and public records indicate the building at 129 North Broad has had 23 owners to date starting in 1912.

### **Previous uses and occupants**

Below are the listed owners to date.

1. **A.M. Buchanan House**

The home was originally the Alta M. Buchanan Residence (1912 – 1918). The second floor was then rented to Helen and A.P. Johnson (1916-1919). Here is the known history going forward.

2. **Vesta Johnson Residence, (1919-1923)**

- Frank M. Buchanan acquired the property from A. M. Buchanan in 1924.
- Fire burned part of the house in 1924. Rebuild by F. M. Buchanan in 1924.

3. Ruth Mader Residence, (1924-1929)
4. Rose Rozelle Residence, (1929-1935)
5. Eugene M. Clement bought the property from Frank M. Buchanan in 1933.
6. LaDonna Williams Residence, (1935-1940)
7. Ethel M. and Shiloh A. Fields Residence, (1940-1948)
8. Eugene M. Clement sold the property to Shiloh Fields in 1940.
9. Medina County Health Department, (1948-1952)
10. Private Residence, (1953-1981)
11. Dean R. Steigerwald, Attorney, (1982-1985)
12. T. F. Brown and Associates, (1982-1985)
13. James Contracting Grouping, (1985-1987)
14. Vacant, (1988-1990)
15. Approved Title Agency, (1991-1994)
16. Medina County Real Estate Company, (1995-1999)
17. Thomas H. Clarkson, (1995-1999)
18. Vacant, (2000-2000)
19. Wilmar Properties, LTD, (2001-2002)
20. Juan Villasenor, (2003-2003)
21. Merinar, CPA, Inc, (2004-2021)
22. The Marquard Company(2021 – 2022)
23. Renovation Homes (2022 – present)

### **Architectural style**

Currently the home is presented in the colonial style using vinyl siding and a mixture of wood and aluminum windows. There are no photographs on record of the original home and there are no indicators left as the home stands today. More than likely, it was originally in the same architectural style matching most of the other home on north broad way in 1912 following the Greek revival, Italianate, second empire however there are no present day elements visible on the building to show that assumption.

### **Significance within the historic district**

The home is known as the A.M. Buchanan house and according to the public record has had 23 owners since 1912.



### **Historical importance**

Public records indicate that the home was once owned by the Medina County Health department (1948-1952).

### **Architectural value**

The home is clad in vinyl siding with a mixture of wooden and aluminum framed windows throughout. The framing of the home is a mixture of original hand-hewn log floor joists, rough sawn lumber, rough sawn and dimensional lumber roofing joists and rough sawn balloon framed walls. Below is a photo of the façade that has been in place since approximately 2005.



### **III. Current Condition of the Building**

A. Structural assessment – The previous owner and the owners insurance company settled for a total loss settlement for the building.

1. Inspection results – Major structural damage from the fire left a charred hole in the center of the home. The previous owner's insurance company installed temporary bracing to shore up the structure.
2. Identified issues and challenges – Extensive smoke and fire damage required the home to be stripped to the studs. The center structure and a majority of the roof rafters have extensive fire damage and will require replacement as noted in the Encova Insurance adjusters detailed estimates.

**B. Cost of rehabilitation - \$397K**

Cost to Restore Building (See attached estimate from Encova)

\$297,120.97

Landmark homes estimate an additional \$100K to rehabilitate the home to meet modern day expectations and fit into the architectural theme of the surrounding homes.

This would include new exterior façade \$57K and interior finishes of \$43,000.

Total Cost \$397,120.97

Potential Rental based on similar homes in the area - \$1,500

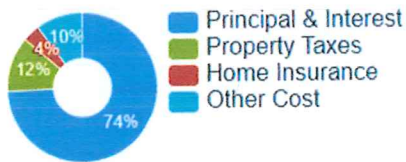
20 year commercial loan Mortgage - \$2,474.29

Paid \$65,000 for the property.

20% Down would require an additional cash investment of \$79,600.

**Monthly Pay: \$2,474.29**

	Monthly	Total
<b>Mortgage Payment</b>	<b>\$2,474.29</b>	<b>\$593,829.28</b>
Property Tax	\$398.00	\$95,520.00
Home Insurance	\$125.00	\$30,000.00
Other Costs	\$333.33	\$80,000.00
<b>Total Out-of-Pocket</b>	<b>\$3,330.62</b>	<b>\$799,349.28</b>



<b>House Price</b>	\$398,000.00
Loan Amount	\$318,400.00
Down Payment	\$79,600.00
Total of 240 Mortgage Payments	\$593,829.28
Total Interest	\$275,429.28
Mortgage Payoff Date	Dec. 2043



### **Code Evaluation – NON-Compliant**

The structure has most recently been used as a cpa office. The current condition of the building is non code compliant as it has extensive fire damage and has been demo to studs by the previous owner. All electrical have been removed to the panel. All plumbing is capped to the meter. All HVAC tin has been removed from 1<sup>st</sup> & Second floor. The furnace, a/c unit and tin on the basement level remain.

### **Functionality**

The building is not functional without significant investment.

### **Recommended Work Scope**

In order to bring the building back into compliance with current code and functionality the following items would need to be addressed. See list below for items needing repair or replacement. (See Attached estimate from Encova Insurance)

### **Basement:**

First Floor Framing – the center portion of the home between the dining room and kitchen is where the fire was prominent. The floor framing in that area is mostly gone due to the fire. Temporary bracing has been installed but would need to be replaced with conventional lumber. There is a significant amount of ‘shoring’ that has been installed as temporary bracing and would also need to be further installed to reduce the span of structural timbers, due to a spacing that exceeds the standard for adequate support.

### **Exterior:**

Exterior siding, roofing and windows have all been damaged by the fire and would need to be replaced. The damage from the fire to the front of the home is not as apparent but the heat has ever so slightly warped the siding rendering it unmatchable to the remaining sides and would require full replacement.

### **Systems:**

The HVAC system has been completely removed from the first and second floors. The remaining tin and furnace in the basement are intact but have significant smoke and fire damage. In current condition are unusable and must be removed and replaced.

### **Summary:**

This residence suffers from many of the conditions and circumstances for a structure of this vintage. The fire and smoke damage only exacerbate those conditions. The issue is if the house and structure warrant’s this investment within the surrounding context? This is modest home with small rooms and

layouts that defy modern convention and desirability. Parking is limited. Any historic value or features that this house may have contained have been lost and of little or no value within the context that exists today. For these reasons we believe the best benefit to the community and surrounding neighbors, is for the immediate demolition of this building and return to a green space.

**North side facing east**





East side (North Broadway) looking west (Streetside)





South Elevation, facing north

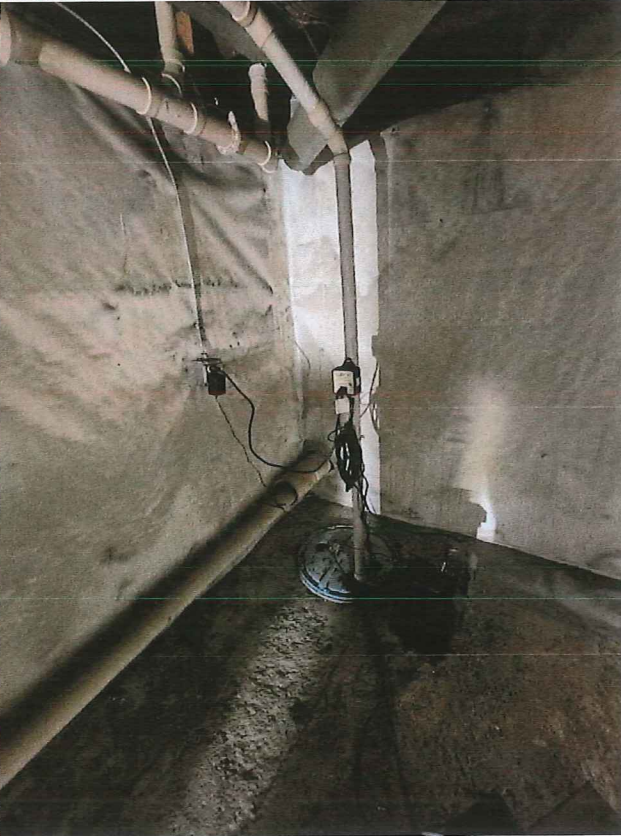
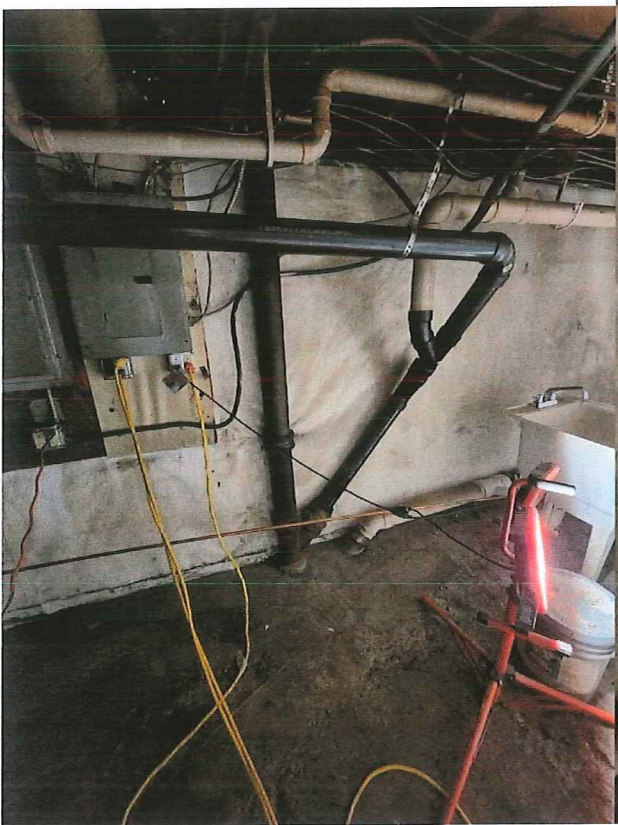
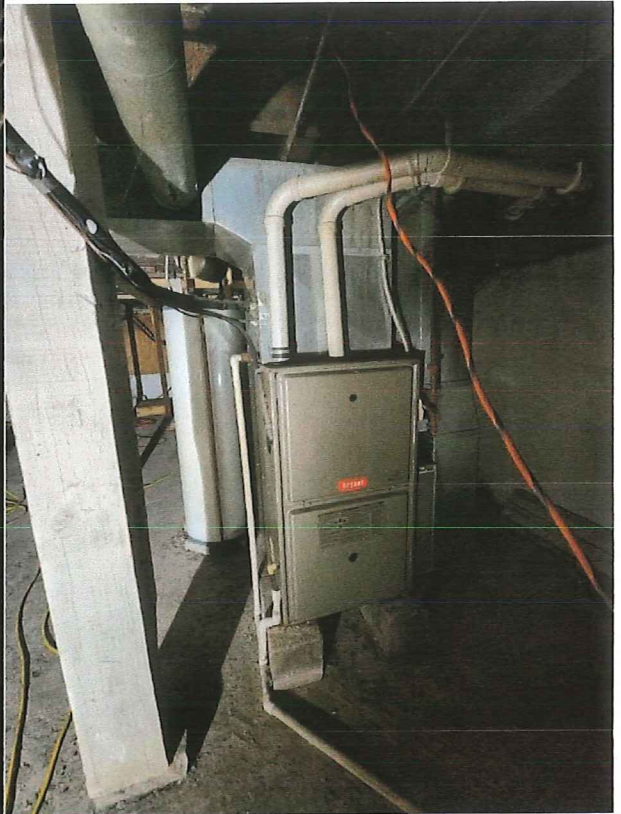
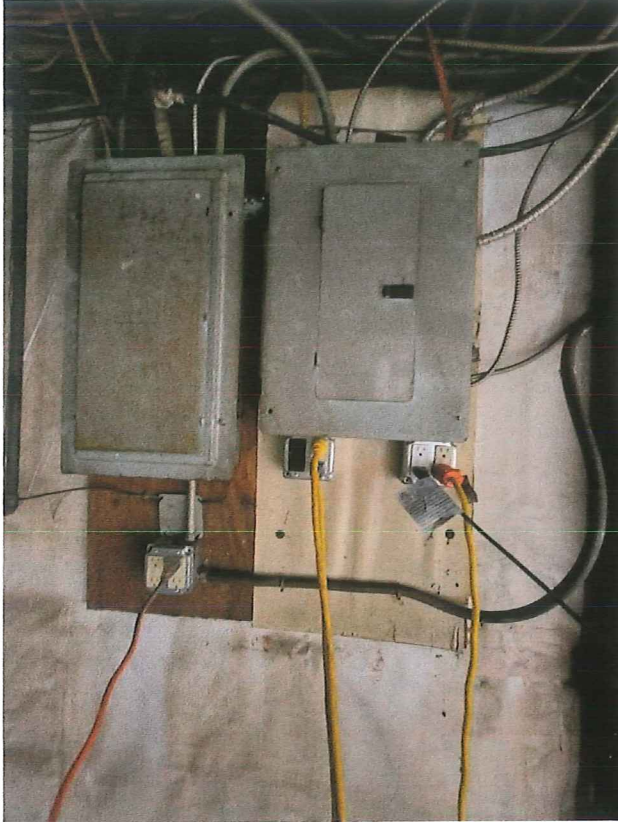




**Basement (Electric panel, Furnace)**









**1<sup>st</sup> Floor** - Storage





**Solon**





**Kitchen**

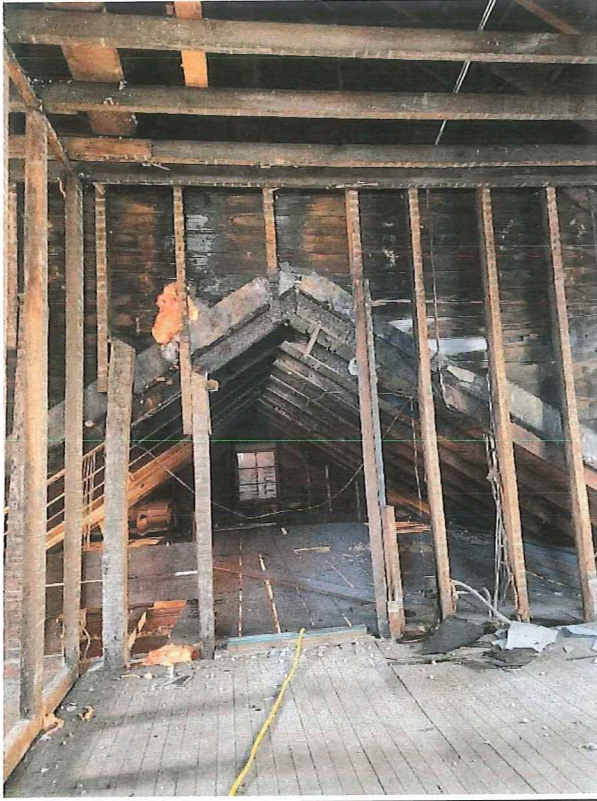




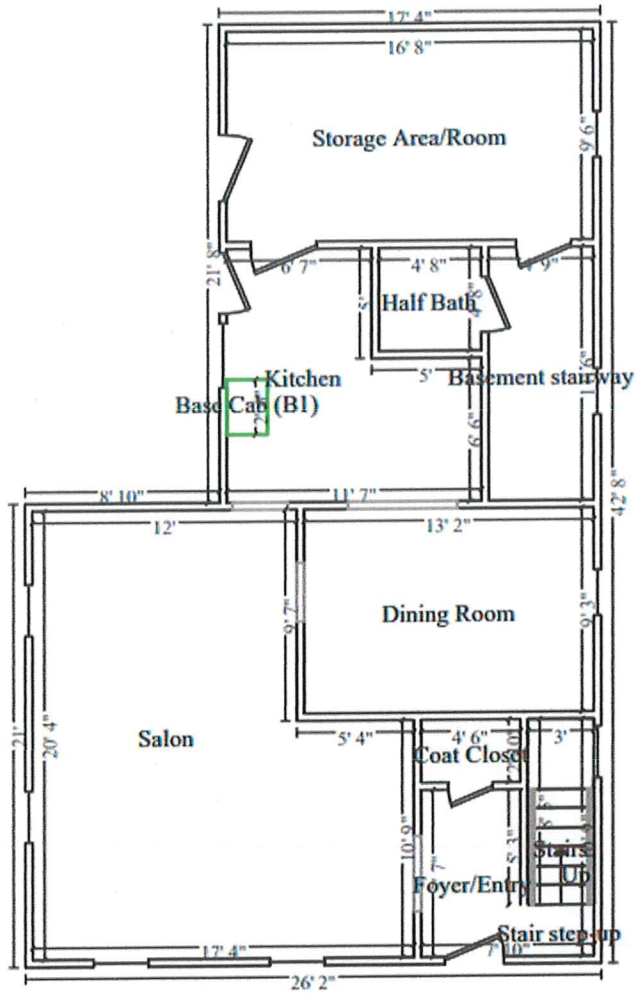




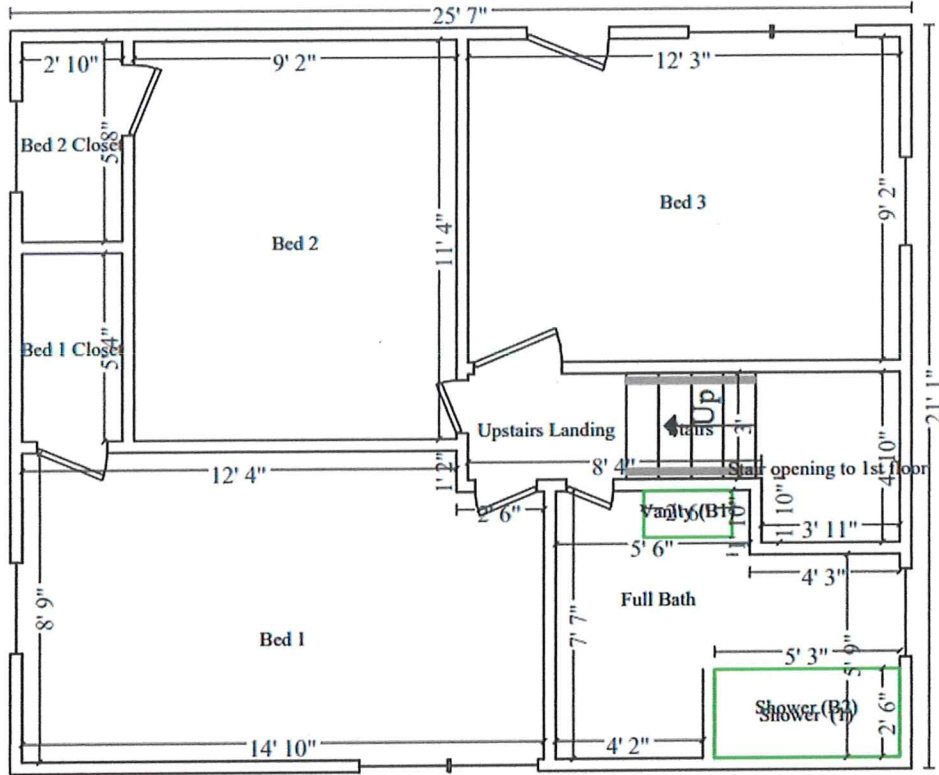
**Upstairs – attic space over kitchen (bedroom 2-3)**



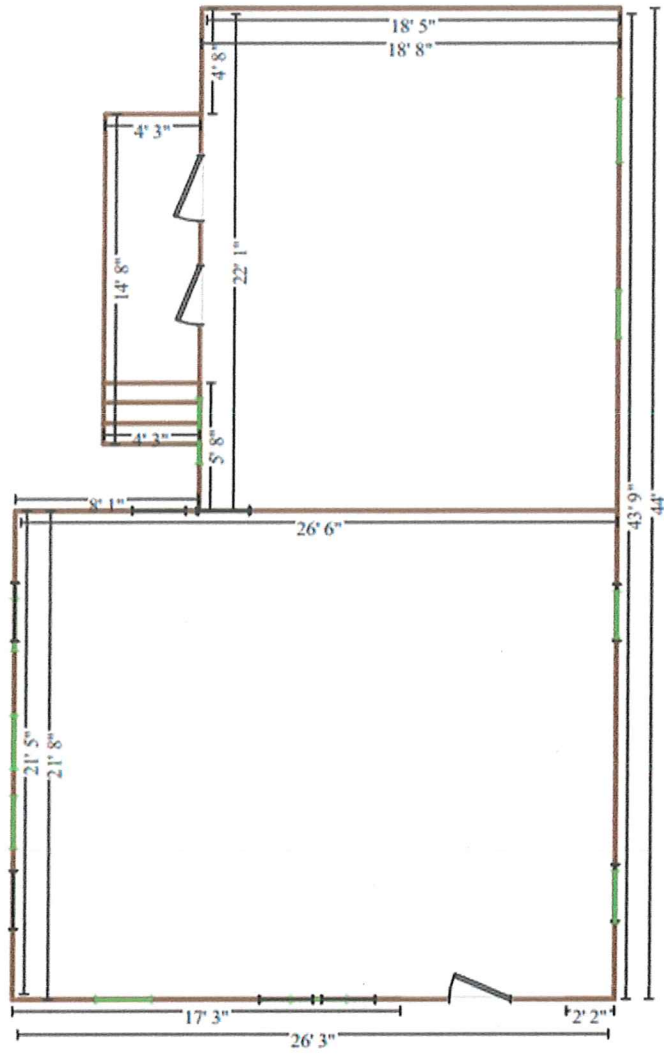
# Main Level



# Second Level



# Exterior



Exterior



Roof





Insured: Marquard Company Inc  
Property: 129 N BROADWAY ST  
MEDINA, OH 44256-1901  
Home: 403 E WASHINGTON ST  
MEDINA, OH 44256-2118

Business: (330) 723-9911  
E-mail: michael@mcrealestateohio.com

Claim Rep.: Mark Noe  
Position: General Adjuster  
Company: Encova Insurance  
Business: 471 East Broad Street  
Columbus, OH 43215

Business: (216) 408-5713  
E-mail: mark.noe@encova.com

Estimator: Mark Noe  
Position: General Adjuster  
Company: Encova Insurance  
Business: 471 East Broad Street  
Columbus, OH 43215

Business: (216) 408-5713  
E-mail: mark.noe@encova.com

**Claim Number:** 500-00-037621

**Policy Number:** 5000090351

**Type of Loss:** Fire

Date Contacted: 5/9/2022 5:11 PM  
Date of Loss: 5/7/2022 12:00 AM  
Date Inspected: 5/10/2022 11:00 AM  
Date Est. Completed: 6/24/2022 6:14 AM

Date Received: 5/9/2022 12:00 AM  
Date Entered: 5/9/2022 2:10 PM

Price List: OHAK8X\_MAY22  
Restoration/Service/Remodel  
Estimate: MARQUARD\_COMPANY\_  
IN2



**MARQUARD\_COMPANY\_IN2**

**Initial Demo**

<b>DESCRIPTION</b>	<b>QTY</b>
1. Residential Supervision / Project Management - per hour	20.00 HR
2. Carpenter - General Framer - per hour	40.00 HR
3. General Demolition - per hour	320.00 HR
4. General Laborer - per hour	80.00 HR
5. Dumpster load - Approx. 40 yards, 7-8 tons of debris	5.00 EA
6. Generator - 6,000 watt - portable (per day)	3.00 DA
7. Temporary toilet (per month)	3.00 MO
8. ELECTRICAL - Clear panel, set pod with 6 GFCI 20745	1.00 EA
9. ELECTRICAL - coordination with power company - meter Haywood ELE #20778	1.00 EA
10. PLUMBING - Valves / Laundry tub, drains 00932	1.00 EA

**Source - EagleView Roof**

**Source - EagleView Roof**

**R2**

<b>DESCRIPTION</b>	<b>QTY</b>
11. Seal attic framing (shellac) - 6 to 8/12	803.91 SF

**JOB\_6417887**

**Hover Report**

**Main Level**

**Roof1**

<b>DESCRIPTION</b>	<b>QTY</b>
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**CONTINUED - Roof**

DESCRIPTION	QTY
12. R&R Rafters - 2x6 - 16" OC (3-5/12 Gable, per SF of floor) Rear Roof	480.00 SF
13. R&R Sheathing - spaced 1" x 8" Rear Roof	576.00 SF
14. R&R Sheathing - 2" x 6" - tongue and groove Lowered sq.ft. price as Xact does not have 2x8 spaced sheathing. Rear roof floor sheathing	573.62 SF
15. Remove Laminated - comp. shingle rfg. - w/out felt	13.77 SQ
16. Roofing felt - 30 lb.	13.77 SQ
17. Ice & water barrier	342.00 SF
18. Drip edge	188.36 LF
19. Step flashing	26.00 LF
20. Laminated - comp. shingle rfg. - w/out felt Component RFG300 from this line item was priced by ITEL Asphalt Shingles Pricing (ASP) on 19 Sep 2022. See attached document for more details.	15.33 SQ
21. Continuous ridge vent - shingle-over style	46.36 LF
22. Ridge cap - High profile - composition shingles	46.36 LF

**Exterior**

DESCRIPTION	QTY
23. R&R Sheathing - plywood - 1/2" CDX Siding / Sheathing repairs where fire burnt through exterior wall at attic / Bedroom wall.	128.00 SF
24. House wrap (air/moisture barrier)	2,089.91 SF
25. Remove Siding - vinyl	2,089.91 SF
26. Siding - vinyl	2,298.90 SF
27. Siding trim - 5/4" x 4" x 4" PVC corner trim	75.00 LF
28. R&R Soffit - box framing - 2' overhang Above 2 line items are for the rear roof being removed and replaced	40.00 LF
29. R&R Soffit - vinyl	282.00 SF
30. R&R Soffit vent	12.00 EA
31. R&R Fascia - 1" x 4" - #1 pine Rear roof only	72.00 LF
32. Fascia - metal - 4"	182.00 LF
33. R&R Gutter / downspout - aluminum - up to 5"	168.00 LF
34. Wrap wood window frame & trim with aluminum sheet	17.00 EA
35. R&R Wrap wood door frame & trim with aluminum (PER LF)	51.00 LF

**Floorplan**



<b>Basement</b>		<b>LxWxH 35' x 18' x 7'</b>
<b>DESCRIPTION</b>		<b>QTY</b>
36. Clean floor or roof joist system		630.00 SF
37. R&R Fiberglass reinforced plastic (FRP) paneling		742.00 SF
38. Clean stair riser - per side - per LF		60.00 LF
39. Seal & paint stair riser - per side - per LF		60.00 LF
40. Clean stair tread - per side - per LF		54.00 LF
41. Clean handrail - wall mounted - Heavy		9.00 LF
42. Paint handrail - wall mounted		9.00 LF
43. R&R Sump pump - 1/2 hp - up to 1 1/2" discharge		1.00 EA
44. R&R Service sink faucet		1.00 EA
45. Clean floor		630.00 SF
46. Cleaning Technician - per hour		8.00 HR

**Main Level**

<b>Foyer/Entry</b>		<b>Height: 7' 8"</b>
<b>DESCRIPTION</b>		<b>QTY</b>
47. Clean floor or roof joist system		34.51 SF
48. Seal floor or ceiling joist system (shellac)		34.51 SF
49. Three coat plaster over metal lath		34.51 SF
50. Seal/prime then paint the ceiling (2 coats)		34.51 SF
51. Light fixture		1.00 EA
52. Clean stud wall		57.97 SF
53. Seal stud wall for odor control (shellac)		57.97 SF
54. Batt insulation - 4" - R13 - unfaced batt		37.33 SF
55. Three coat plaster over metal lath		115.94 SF
56. Seal/prime then paint the walls (2 coats)		115.94 SF
57. Clean paneling - Heavy		40.00 SF
Judges paneling on the entry side of the stairs going up		
58. Stain and finish wood judges paneling		40.00 SF
59. Cold air return cover - Large		1.00 EA
60. Heat/AC register - Mechanically attached		1.00 EA
61. Interior double door - solid alder - paneled - pre-hung		1.00 EA
62. Glass lite - half lite - High grade		1.00 EA
63. Header casing - 4" - hardwood - 2 piece		17.00 LF
64. Paint door slab only - 2 coats (per side)		1.00 EA
Exterior		
65. Stain & finish door slab only (per side)		1.00 EA
Interior		
66. Paint door/window trim & jamb - 2 coats (per side)		1.00 EA
67. Stain & finish door/window trim & jamb (per side)		2.00 EA
Includes half lite		
68. Door lockset & deadbolt - exterior - High grade		1.00 EA

CONTINUED - Foyer/Entry

DESCRIPTION	QTY
69. Baseboard - 4 1/4" hardwood	8.92 LF
70. Seal & paint baseboard - two coats	8.92 LF
71. R&R Underlayment - 1/2" particle board	34.51 SF
72. Vinyl floor covering (sheet goods)	39.69 SF
15 % waste added for Vinyl floor covering (sheet goods).	
73. Final cleaning - construction - Residential	34.51 SF

Coat Closet

Height: 7' 8"

DESCRIPTION	QTY
74. Clean floor or roof joist system	12.75 SF
75. Seal floor or ceiling joist system (shellac)	12.75 SF
76. Three coat plaster over metal lath	12.75 SF
77. Seal/prime then paint the ceiling (2 coats)	12.75 SF
78. Light fixture	1.00 EA
79. Clean stud wall	49.56 SF
80. Seal stud wall for odor control (shellac)	49.56 SF
81. 1" x 2" lumber (.167 BF per LF)	16.00 LF
82. 1" x 10" lumber (.83 BF per LF)	16.00 LF
83. 1" x 4" lumber (.333 BF per LF)	16.00 LF
Above 3 line items are for ornamental interior framing - see pics.	
84. Three coat plaster over metal lath	99.11 SF
85. Seal/prime then paint the walls (2 coats)	99.11 SF
86. Interior door - solid alder - paneled - pre-hung unit	1.00 EA
87. Header casing - 4" - hardwood - 2 piece	34.00 LF
88. Door knob - interior	1.00 EA
89. Paint door slab only - 2 coats (per side)	2.00 EA
90. Paint door/window trim & jamb - 2 coats (per side)	1.00 EA
91. Stain & finish door/window trim & jamb (per side)	1.00 EA
92. Baseboard - 4 1/4" hardwood	12.67 LF
93. Seal & paint baseboard - two coats	12.67 LF
94. Final cleaning - construction - Residential	12.75 SF

Stair step-up

Height: 7' 8"

DESCRIPTION	QTY
95. Clean floor or roof joist system	7.39 SF
96. Seal floor or ceiling joist system (shellac)	7.39 SF
97. Three coat plaster over metal lath	7.39 SF
98. Seal/prime then paint the ceiling (2 coats)	7.39 SF



CONTINUED - Stair step-up

DESCRIPTION	QTY
99. Clean stud wall	43.33 SF
100. Seal stud wall for odor control (shellac)	43.33 SF
101. Batt insulation - 4" - R13 - unfaced batt	21.67 SF
102. Three coat plaster over metal lath	43.33 SF
103. Seal/prime then paint the walls (2 coats)	43.33 SF
104. Baseboard - 4 1/4" hardwood	5.50 LF
Baseboard is painted at landing	
105. Seal & paint baseboard - two coats	5.50 LF
106. Quarter round - 3/4" - stain grade	7.39 LF
107. Stain & finish base shoe or quarter round	5.50 LF
108. Clean floor	15.00 SF
109. Clean stair riser - per side - per LF	3.00 LF
110. Seal more than the floor w/oil based/hybrid stain blocker - one coat	10.39 SF
111. Carpet pad	7.39 SF
112. Carpet	8.50 SF
15 % waste added for Carpet.	
113. Step charge for "waterfall" carpet installation	1.00 EA
114. Final cleaning - construction - Residential	7.39 SF

Stairs

Height: 11' 9"

Subroom: Stairs1 (1)

Height: 8'

DESCRIPTION	QTY
115. Clean floor or roof joist system	25.25 SF
116. Seal floor or ceiling joist system (shellac)	25.25 SF
117. Blown-in insulation - 16" depth - R44	25.25 SF
118. Three coat plaster over metal lath	25.25 SF
119. Seal/prime then paint the ceiling (2 coats)	25.25 SF
120. Clean stud wall	174.84 SF
121. Seal stud wall for odor control (shellac)	174.84 SF
122. Batt insulation - 4" - R13 - unfaced batt	43.71 SF
123. Three coat plaster over metal lath	174.84 SF
124. Seal/prime then paint the walls (2 coats)	174.84 SF
125. Clean balustrade - Heavy	8.25 LF
126. Stain & finish balustrade	8.25 LF
127. Wood window - picture (fixed), 3-11 sf	1.00 EA
128. Window trim set (casing & stop)	9.00 LF
129. Window blind - PVC - 1" - 7.1 to 14 SF	1.00 EA
130. Paint door or window opening - 2 coats (per side)	1.00 EA
131. Stain & finish stair skirt/apron	14.83 LF
132. Baseboard - 4 1/4" hardwood	14.00 LF
Baseboard is painted at landing	

CONTINUED - Stairs

DESCRIPTION	QTY
133. Seal & paint baseboard - two coats	14.00 LF
134. Quarter round - 3/4" - stain grade	14.00 LF
135. Stain & finish base shoe or quarter round	14.00 LF
136. Clean stair tread - per side - per LF	15.00 LF
137. Clean stair riser - per side - per LF	15.00 LF
138. Seal the surface area w/oil based/hybrid stain blocker - one coat	30.00 SF
Clear seal treads and risers for odor control	
139. Carpet pad	37.24 SF
140. Carpet	42.83 SF
15 % waste added for Carpet.	
141. Step charge for "waterfall" carpet installation	7.00 EA
142. Final cleaning - construction - Residential	37.24 SF

Salon

Height: 7' 8"

DESCRIPTION	QTY
143. Clean floor or roof joist system	301.33 SF
144. Seal floor or ceiling joist system (shellac)	301.33 SF
145. Acoustic ceiling tile furring	301.33 SF
146. Acoustic ceiling tile	301.33 SF
147. Crown molding - 2 1/4"	75.33 LF
148. Paint crown molding - two coats	75.33 LF
149. 5/8" drywall - hung & fire taped only	301.33 SF
150. Fluorescent - two tube - 4' - fixture w/lens	2.00 EA
151. Smoke detector	1.00 EA
152. Clean stud wall	238.63 SF
153. Seal stud wall for odor control (shellac)	238.63 SF
154. Batt insulation - 4" - R13 - unfaced batt	238.63 SF
155. Three coat plaster over metal lath	477.25 SF
156. Seal/prime then paint the walls (2 coats)	477.25 SF
157. Cold air return cover - Large	1.00 EA
158. Heat/AC register - Mechanically attached	1.00 EA
159. Wood window - double hung, 20-28 sf, Standard grade	4.00 EA
160. Window stool & apron	15.33 LF
161. Seal & paint window stool and apron	15.33 LF
162. Window trim set (casing & stop)	51.07 LF
163. Window blind - PVC - 1" - 7.1 to 14 SF	2.00 EA
164. Paint door or window opening - 2 coats (per side)	4.00 EA
165. Baseboard - 4 1/4" hardwood	66.75 LF
166. Seal & paint baseboard - two coats	66.75 LF
167. Remove Tear out wood flooring and subfloor	301.33 SF
Subfloor is buckled under the hardwood floor - which is also deformed.	



CONTINUED - Salon

DESCRIPTION	QTY
168. Underlayment - 5/8" OSB	301.33 SF
169. R&R Oak flooring - #1 common - no finish	301.33 SF
170. Sand & finish wood floor (natural finish)	301.33 SF
****Hardwood floor to be inspected after final demo and clean to determine if salvageable. ****	
171. Final cleaning - construction - Residential	301.33 SF

Dining Room	Height: 7' 8"
DESCRIPTION	QTY
172. Clean floor or roof joist system	121.79 SF
173. Seal floor or ceiling joist system (shellac)	121.79 SF
174. R&R Joist - floor or ceiling - 2x8 - w/blocking - 16" oc	53.33 SF
Center of ceiling compromised from fire. See pics	
175. Three coat plaster over metal lath	121.79 SF
176. Seal/prime then paint the ceiling (2 coats)	121.79 SF
177. Fluorescent - two tube - 4' - fixture w/lens	1.00 EA
178. Smoke detector	1.00 EA
179. Clean stud wall	141.70 SF
180. Seal stud wall for odor control (shellac)	141.70 SF
181. Batt insulation - 4" - R13 - unfaced batt	141.70 SF
182. Stud wall - 2" x 4" - 16" oc	105.33 SF
Stud wall adjoining Kitchen and basement stairway room	
183. Stud wall - 2" x 4" load bearing - 16" oc	74.00 SF
Wall adjoining Living Room / Salon	
184. Temporary shoring post - Screw jack (per day)	4.00 DA
2 posts - shore roof framing to remove and replace load bearing wall.	
185. Three coat plaster over metal lath	283.41 SF
186. Seal/prime then paint the walls (2 coats) - 2 colors	283.41 SF
This room has a green accent wall	
187. Cold air return cover - Large	1.00 EA
188. Heat/AC register - Mechanically attached	1.00 EA
189. Interior door - solid alder - paneled - pre-hung unit	1.00 EA
190. Header casing - 4" - hardwood - 2 piece	34.00 LF
191. Door knob - interior	1.00 EA
192. Paint door slab only - 2 coats (per side)	2.00 EA
193. Paint door/window trim & jamb - 2 coats (per side)	2.00 EA
194. Wood window - double hung, 13-19 sf, Standard grade	1.00 EA
195. Window stool & apron	2.33 LF
196. Window trim set (casing & stop)	11.50 LF
197. Add on for grid (double or triple glazed windows)	10.69 SF
198. Window blind - PVC - 1" - 7.1 to 14 SF	1.00 EA
199. Paint door or window opening - 2 coats (per side)	1.00 EA

CONTINUED - Dining Room

DESCRIPTION	QTY
200. Baseboard - 4 1/4" hardwood	37.17 LF
201. Seal & paint baseboard - two coats	37.17 LF
202. Remove Tear out wood flooring and subfloor	121.79 SF
Subfloor is buckled under the hardwood floor - which is also deformed.	
203. Underlayment - 5/8" OSB	121.79 SF
204. Oak flooring - #1 common - no finish	121.79 SF
205. Sand & finish wood floor (natural finish)	121.79 SF
****Hardwood floor to be inspected after final demo and clean to determine if salvageable. ****	
206. Final cleaning - construction - Residential	121.79 SF

Kitchen

Height: 7' 8"

DESCRIPTION	QTY
207. Temporary shoring post - Screw jack (per day)	4.00 DA
2 posts - shore roof framing to remove and replace load bearing wall.	
208. Material Only 4" x 4" square wood post (1.33 BF per LF)	32.00 LF
Horizontal shoring post	
209. R&R Joist - floor or ceiling - 2x8 - w/blocking - 16" oc	103.64 SF
Center of ceiling compromised from fire. See pics	
210. Carpenter - General Framer - per hour	48.00 HR
4 carpenters for 2 days: Labor to remove joists, prep beam pockets, remove and replace.	
211. 6" x 6" square wood post (3 BF per LF)	60.00 LF
212. Clean floor or roof joist system	108.22 SF
213. Seal floor or ceiling joist system (shellac)	108.22 SF
214. Blown-in insulation - 16" depth - R44	108.22 SF
215. 5/8" drywall - hung & fire taped only	108.22 SF
216. Acoustic ceiling tile	108.22 SF
217. Fluorescent - two tube - 4' - fixture w/lens	1.00 EA
218. Clean stud wall	92.00 SF
219. Seal stud wall for odor control (shellac)	92.00 SF
220. R&R Stud wall - 2" x 4" load bearing - 16" oc	151.37 SF
All walls except exterior wall	
221. Batt insulation - 4" - R13 - unfaced batt	92.00 SF
222. Three coat plaster over metal lath	257.63 SF
223. Seal/prime then paint the walls (2 coats)	257.63 SF
224. Cold air return cover - Large	1.00 EA
225. Heat/AC register - Mechanically attached	1.00 EA
226. R&R Interior double door - solid alder - paneled - pre-hung	1.00 EA
227. Header casing - 4" - hardwood - 2 piece	17.00 LF
228. Door lockset & deadbolt - exterior - High grade	1.00 EA
229. Paint door slab only - 2 coats (per side)	2.00 EA
230. Paint door/window trim & jamb - 2 coats (per side)	2.00 EA



CONTINUED - Kitchen

DESCRIPTION	QTY
231. R&R Storm door assembly	1.00 EA
232. Interior door - solid alder - paneled - pre-hung unit	1.00 EA
INTERIOR DOOR TO SALON	
233. Header casing - 4" - hardwood - 2 piece	34.00 LF
234. Door knob - interior	1.00 EA
235. Paint door slab only - 2 coats (per side)	2.00 EA
236. Paint door/window trim & jamb - 2 coats (per side)	2.00 EA
237. Wood window - double hung, 9-12 sf, Standard grade	1.00 EA
238. Window trim set (casing & stop)	10.50 LF
239. Window stool & apron	2.83 LF
240. Seal & paint window stool and apron	2.83 LF
241. Paint door or window opening - 2 coats (per side)	1.00 EA
242. Window blind - PVC - 1" - 7.1 to 14 SF	1.00 EA
243. Cabinetry - upper (wall) units	2.58 LF
244. Cabinetry - lower (base) units	2.50 LF
245. Dishwasher	1.00 EA
246. Countertop - post formed plastic laminate	5.17 LF
247. Cabinet knob or pull	4.00 EA
248. Sink - single	1.00 EA
249. Sink faucet - Kitchen - Standard grade	1.00 EA
250. Angle stop valve	3.00 EA
251. P-trap assembly - ABS (plastic)	1.00 EA
252. Garbage disposer - Standard grade	1.00 EA
253. Baseboard - 4 1/4" hardwood	30.42 LF
254. Seal & paint baseboard - two coats	30.42 LF
255. Remove Tear out wood flooring and subfloor	103.64 SF
Tear out temporary floor and remaining existing floor.	
256. Underlayment - 5/8" OSB	103.64 SF
257. Oak flooring - #1 common - no finish	103.64 SF
258. Sand & finish wood floor (natural finish)	103.64 SF
****Hardwood floor to be inspected after final demo and clean to determine if salvageable. ****	
259. Final cleaning - construction - Residential	103.64 SF

Storage Area/Room

Height: 7' 8"

DESCRIPTION	QTY
260. Clean floor or roof joist system	158.33 SF
261. Seal floor or ceiling joist system (shellac)	158.33 SF
262. Blown-in insulation - 16" depth - R44	158.33 SF
263. Three coat plaster over metal lath	158.33 SF
264. Seal/prime then paint the ceiling (2 coats)	158.33 SF
265. Fluorescent - two tube - 4' - fixture w/lens	2.00 EA

CONTINUED - Storage Area/Room

DESCRIPTION	QTY
266. Smoke detector	1.00 EA
267. Clean stud wall	251.52 SF
268. Seal stud wall for odor control (shellac)	251.52 SF
269. Batt insulation - 4" - R13 - unfaced batt	167.68 SF
270. Three coat plaster over metal lath	335.35 SF
271. Wallpaper border	43.83 LF
272. Cold air return cover - Large	1.00 EA
273. Heat/AC register - Mechanically attached	1.00 EA
274. R&R Interior double door - solid alder - paneled - pre-hung	1.00 EA
275. Header casing - 4" - hardwood - 2 piece	17.00 LF
276. Door lockset & deadbolt - exterior - High grade	1.00 EA
277. Paint door slab only - 2 coats (per side)	2.00 EA
278. Paint door/window trim & jamb - 2 coats (per side)	2.00 EA
279. R&R Storm door assembly	1.00 EA
280. Interior door - solid alder - paneled - pre-hung unit	2.00 EA
Interior door to kitchen and interior door to stairway toward basement	
281. Header casing - 4" - hardwood - 2 piece	68.00 LF
282. Door knob - interior	2.00 EA
283. Paint door slab only - 2 coats (per side)	4.00 EA
284. Paint door/window trim & jamb - 2 coats (per side)	4.00 EA
285. Wood window - double hung, 13-19 sf, Standard grade	2.00 EA
286. Window stool & apron	7.67 LF
287. Seal & paint window stool and apron	7.67 LF
288. Window trim set (casing & stop)	27.00 LF
289. Window blind - PVC - 1" - 7.1 to 14 SF	2.00 EA
290. Paint door or window opening - 2 coats (per side)	2.00 EA
291. Baseboard - 4 1/4" hardwood	43.83 LF
292. Seal & paint baseboard - two coats	43.83 LF
293. Remove Tear out wood flooring and subfloor	158.33 SF
Subfloor is buckled under the hardwood floor - which is also deformed.	
294. Underlayment - 5/8" OSB	158.33 SF
295. Carpet pad	1.00 SF
****Hardwood floor to be inspected after final demo and clean to determine if salvageable. ****	
296. Carpet	182.08 SF
15 % waste added for Carpet.	
297. Final cleaning - construction - Residential	158.33 SF

Basement stairway

Height: 7' 8"

DESCRIPTION	QTY
298. Clean floor or roof joist system	54.60 SF
299. Seal floor or ceiling joist system (shellac)	54.60 SF



CONTINUED - Basement stairway

DESCRIPTION	QTY
300. Blown-in insulation - 14" depth - R38 Center of ceiling compromised from fire. See pics	54.60 SF
301. Three coat plaster over metal lath	54.60 SF
302. Seal/prime then paint the ceiling (2 coats)	54.60 SF
303. Light fixture	1.00 EA
304. Smoke detector	1.00 EA
305. Clean stud wall	154.95 SF
306. Seal stud wall for odor control (shellac)	154.95 SF
307. Batt insulation - 4" - R13 - unfaced batt	103.30 SF
308. Three coat plaster over metal lath	206.60 SF
309. Seal/prime then paint the walls (2 coats)	206.60 SF
310. Interior door - Colonist - slab only	1.00 EA
Door covering steps to basement	
311. Door knob - interior	1.00 EA
312. Paint door slab only - 2 coats (per side)	2.00 EA
313. Paint door/window trim & jamb - 2 coats (per side)	2.00 EA
314. Wood window - double hung, 13-19 sf, Standard grade	2.00 EA
315. Add on for grid (double or triple glazed windows)	15.09 SF
316. Window stool & apron	3.42 LF
317. Seal & paint window stool and apron	3.42 LF
318. Window trim set (casing & stop)	12.25 LF
319. Window blind - PVC - 1" - 7.1 to 14 SF	1.00 EA
320. Paint door or window opening - 2 coats (per side)	1.00 EA
321. Baseboard - 4 1/4" hardwood	27.50 LF
322. Seal & paint baseboard - two coats	27.50 LF
323. Remove Tear out wood flooring and subfloor Subfloor is buckled under the hardwood floor - which is also deformed.	27.30 SF
324. Underlayment - 5/8" OSB	27.30 SF
325. Carpet pad	27.30 SF
****Hardwood floor to be inspected after final demo and clean to determine if salvageable. ****	
326. Carpet	27.30 SF
327. Final cleaning - construction - Residential	54.60 SF

Half Bath

Height: 7' 8"

DESCRIPTION	QTY
328. Clean floor or roof joist system	21.79 SF
329. Seal floor or ceiling joist system (shellac)	21.79 SF
330. Blown-in cellulose insulation - 10" depth - R38	21.79 SF
331. 5/8" drywall - hung & fire taped only	21.79 SF
332. Suspended ceiling tile - 2' x 2'	21.79 SF
333. Light bar - 2 lights	1.00 EA

CONTINUED - Half Bath

DESCRIPTION	QTY
334. Bathroom ventilation fan	1.00 EA
335. Ductwork - flexible - non-insulated - 3" round	12.00 LF
336. Clean stud wall	44.48 SF
337. Seal stud wall for odor control (shellac)	44.48 SF
338. R&R Stud wall - 2" x 4" load bearing - 16" oc	104.67 SF
Wall adjoining hall / steps behind vanity + partition wall between tub and toilet	
339. Batt insulation - 4" - R13 - unfaced batt	63.24 SF
340. Three coat plaster over metal lath	126.48 SF
341. Seal/prime then paint the walls (2 coats)	126.48 SF
342. Chair rail - 2 1/2"	10.00 LF
343. Paint chair rail - two coats	10.00 LF
344. Corner trim	16.00 LF
At wall separating tub and toilet	
345. Paint corner trim - one coat	16.00 LF
346. Cold air return cover - Large	1.00 EA
347. Heat/AC register - Mechanically attached	1.00 EA
348. Interior door - solid alder - paneled - pre-hung unit	1.00 EA
349. Door knob - interior	1.00 EA
350. Paint door slab only - 2 coats (per side)	2.00 EA
351. Paint door/window trim & jamb - 2 coats (per side)	2.00 EA
352. Wood window - double hung, 9-12 sf, Standard grade	1.00 EA
353. Add on for grid (double or triple glazed windows)	10.86 SF
354. Window trim set (casing & stop)	13.33 LF
355. Seal & paint window stool and apron	2.67 LF
356. Paint door or window opening - 2 coats (per side)	1.00 EA
357. Window blind - PVC - 1" - 7.1 to 14 SF	1.00 EA
358. Light bar - 4 lights	1.00 EA
359. Mirror - 1/4" plate glass	6.25 SF
360. Medicine cabinet	1.00 EA
361. Vanity with cultured marble or solid surface top	1.50 LF
362. Sink faucet - Bathroom	1.00 EA
363. Towel bar	1.00 EA
364. Toilet paper holder	1.00 EA
365. Toilet - Standard grade	1.00 EA
366. Toilet seat	1.00 EA
367. 5 lb. ABC fire extinguisher	1.00 EA
368. Remove Tear out wood flooring and subfloor	21.79 SF
Subfloor is buckled under the hardwood floor - which is also deformed.	
369. Underlayment - 5/8" OSB	21.79 SF
370. Vinyl floor covering (sheet goods)	25.06 SF
15 % waste added for Vinyl floor covering (sheet goods).	
371. Floor preparation for resilient flooring	21.79 SF
372. Baseboard - 4 1/4" hardwood	16.17 LF
373. Seal & paint baseboard - two coats	16.17 LF



**CONTINUED - Half Bath**

DESCRIPTION	QTY
374. Cove base molding - rubber or vinyl, 4" high	16.17 LF
375. Final cleaning - construction - Residential	21.79 SF

**Level 2**

Stairs	Height: 10' 6"
DESCRIPTION	QTY
376. Clean floor or roof joist system	11.00 SF
377. Seal floor or ceiling joist system (shellac)	11.00 SF
378. Blown-in insulation - 20" depth - R50	11.00 SF
379. Three coat plaster over metal lath	11.00 SF
380. Suspended ceiling tile - 2' x 2'	11.00 SF
381. Fluorescent - two tube - 4' - fixture w/lens	1.00 EA
382. Smoke detector	1.00 EA
383. Clean stud wall	67.29 SF
384. Seal stud wall for odor control (shellac)	67.29 SF
385. Batt insulation - 4" - R13 - unfaced batt	16.82 SF
386. Three coat plaster over metal lath	67.29 SF
387. Seal/prime then paint the walls (2 coats)	67.29 SF
388. Handrail - round / oval - softwood - wall mounted	5.58 LF
389. Stain & finish handrail - wall mounted	5.58 LF
390. Stair Skirt/Apron - wall side - hardwood	14.00 LF
391. Seal & paint stair skirt/apron (2 coats)	14.00 LF
392. Clean stair tread - per side - per LF	15.00 LF
393. Clean stair riser - per side - per LF	15.00 LF
394. Seal the surface area w/oil based/hybrid stain blocker - one coat	30.00 SF
Clear seal treads and risers for odor control	
395. Carpet pad	15.00 SF
396. Carpet	36.00 SF
12*9 for 10 waterfall steps and landing.	
397. Step charge for "waterfall" carpet installation	5.00 EA
398. Final cleaning - construction - Residential	20.87 SF

Upstairs Landing	Height: 7' 4"
DESCRIPTION	QTY
399. Clean floor or roof joist system	13.50 SF

CONTINUED - Upstairs Landing

DESCRIPTION	QTY
400. Seal floor or ceiling joist system (shellac)	13.50 SF
401. Blown-in insulation - 20" depth - R50	13.50 SF
402. Three coat plaster over metal lath	13.50 SF
403. Seal/prime then paint the ceiling (2 coats)	13.50 SF
404. Attic entrance cover and trim	1.00 EA
405. Seal & paint folding stairway/attic access exterior panel	1.00 EA
406. Porcelain light fixture	1.00 EA
407. Smoke detector	1.00 EA
408. Clean stud wall	40.78 SF
409. Seal stud wall for odor control (shellac)	40.78 SF
410. Batt insulation - 4" - R13 - unfaced batt	20.39 SF
411. R&R Stud wall - 2" x 4" load bearing - 16" oc Wall adjoining bathroom	90.67 SF
412. Temporary shoring post - Screw jack (per day) 2 posts - shore roof framing to remove and replace load bearing wall.	2.00 DA
413. Budetary - framing repairs	1.00 EA
414. Three coat plaster over metal lath	40.78 SF
415. Seal/prime then paint the walls (2 coats)	40.78 SF
416. Chair rail - 2 1/2"	4.92 LF
417. Paint chair rail - two coats	4.92 LF
418. Cold air return cover - Large	1.00 EA
419. Heat/AC register - Mechanically attached	1.00 EA
420. Interior door - solid alder - paneled - pre-hung unit	1.00 EA
421. Door knob - interior	1.00 EA
422. Paint door slab only - 2 coats (per side)	2.00 EA
423. Paint door/window trim & jamb - 2 coats (per side)	2.00 EA
424. Wood window - double hung, 13-19 sf, Standard grade	2.00 EA
425. Add on for grid (double or triple glazed windows)	25.21 SF
426. Window trim set (casing & stop)	38.00 LF
427. Window blind - PVC - 1" - 20.1 to 32 SF	1.00 EA
428. Paint door or window opening - 2 coats (per side)	2.00 EA
429. Baseboard - 4 1/4" hardwood	4.92 LF
430. Seal & paint baseboard - two coats	4.92 LF
431. Quarter round - 3/4"	4.92 LF
432. Seal & paint base shoe or quarter round	4.92 LF
433. Oak flooring - #1 common - no finish	13.50 SF
434. Sand & finish wood floor (natural finish)	13.50 SF
435. Final cleaning - construction - Residential	13.50 SF

Full Bath

Subroom: Shower (1)

Height: 7' 4"

Height: 8'



DESCRIPTION	QTY
436. Clean floor or roof joist system	65.31 SF
437. Seal floor or ceiling joist system (shellac)	65.31 SF
438. Blown-in insulation - 16" depth - R44	65.31 SF
Attic Insulation code is R49	
439. 5/8" drywall - hung & fire taped only	65.31 SF
440. Suspended ceiling tile - 2' x 2'	65.31 SF
441. Fluorescent - two tube - 4' - fixture w/lens	1.00 EA
442. Bathroom ventilation fan	1.00 EA
443. Ductwork - flexible - non-insulated - 3" round	12.00 LF
444. Clean stud wall	198.31 SF
445. Seal stud wall for odor control (shellac)	198.31 SF
446. R&R Stud wall - 2" x 4" load bearing - 16" oc	104.67 SF
Wall adjoining hall / steps behind vanity + partition wall between tub and toilet	
447. Batt insulation - 4" - R13 - unfaced batt	140.15 SF
448. Three coat plaster over metal lath	280.31 SF
449. Seal/prime then paint the walls (2 coats)	280.31 SF
450. Chair rail - 2 1/2"	10.00 LF
451. Paint chair rail - two coats	10.00 LF
452. Corner trim	16.00 LF
At wall separating tub and toilet	
453. Paint corner trim - one coat	16.00 LF
454. Cold air return cover - Large	1.00 EA
455. Heat/AC register - Mechanically attached	1.00 EA
456. Interior door - solid alder - paneled - pre-hung unit	1.00 EA
457. Door knob - interior	1.00 EA
458. Paint door slab only - 2 coats (per side)	2.00 EA
459. Paint door/window trim & jamb - 2 coats (per side)	2.00 EA
460. Wood window - double hung, 9-12 sf, Standard grade	1.00 EA
461. Window trim set (casing & stop)	13.33 LF
462. Seal & paint window stool and apron	2.67 LF
463. Paint door or window opening - 2 coats (per side)	1.00 EA
464. Window blind - PVC - 1" - 7.1 to 14 SF	1.00 EA
465. Light bar - 4 lights	1.00 EA
466. Mirror - 1/4" plate glass	6.25 SF
467. Vanity	2.50 LF
468. Vanity top - one sink - cultured marble	2.50 LF
469. Sink faucet - Bathroom	1.00 EA
470. Towel bar	1.00 EA
471. Toilet paper holder	1.00 EA
472. Toilet	1.00 EA
473. Toilet seat	1.00 EA
474. Shower curtain rod	1.00 EA
475. Tile shower - 61 to 100 SF	1.00 EA
476. Soap dish - Wall mounted	2.00 EA
477. Bathtub	1.00 EA
478. Tub/shower faucet	1.00 EA
479. Cabinetry - lower (base) units	2.50 LF

CONTINUED - Full Bath

DESCRIPTION	QTY
Built in storage bench	
480. Remove Tear out wood flooring and subfloor	48.85 SF
Subfloor is buckled under the hardwood floor - which is also deformed.	
481. Framing labor to repair floor joists	1.00 EA
482. Underlayment - 5/8" OSB	48.85 SF
483. Additional charge for screwing down underlayment/subfloor	48.85 SF
484. Mortar bed for tile	48.85 SF
485. Tile floor covering	48.85 SF
486. Final cleaning - construction - Residential	48.85 SF

Bed 1

Height: 7' 4"

DESCRIPTION	QTY
487. Clean floor or roof joist system	126.88 SF
488. Seal floor or ceiling joist system (shellac)	126.88 SF
489. Blown-in insulation - 20" depth - R50	126.88 SF
Attic Insulation code is R49	
490. Three coat plaster over metal lath	126.88 SF
491. Seal/prime then paint the ceiling (2 coats)	126.88 SF
492. Fluorescent - two tube - 4' - fixture w/lens	1.00 EA
493. Smoke detector	1.00 EA
494. Clean stud wall	146.50 SF
495. Seal stud wall for odor control (shellac)	146.50 SF
496. Batt insulation - 4" - R13 - unfaced batt	146.50 SF
497. R&R Stud wall - 2" x 4" - 16" oc	74.67 SF
Stud wall between bedroom 1 & 2.	
498. R&R Stud wall - 2" x 4" load bearing - 16" oc	60.67 SF
Wall adjoining bathroom	
499. Temporary shoring post - Screw jack (per day)	2.00 DA
2 posts - shore roof framing to remove and replace load bearing wall.	
500. Three coat plaster over metal lath	292.99 SF
501. Seal/prime then paint the walls (2 coats)	292.99 SF
502. Chair rail - 2 1/2"	43.42 LF
503. Paint chair rail - two coats	43.42 LF
504. Cold air return cover - Large	1.00 EA
505. Heat/AC register - Mechanically attached	1.00 EA
506. Interior door - solid alder - paneled - pre-hung unit	1.00 EA
507. Header casing - 4" - hardwood - 2 piece	34.00 LF
508. Door knob - interior	1.00 EA
509. Paint door slab only - 2 coats (per side)	2.00 EA
510. Paint door/window trim & jamb - 2 coats (per side)	3.00 EA
511. Wood window - double hung, 13-19 sf, Standard grade	3.00 EA



CONTINUED - Bed 1

DESCRIPTION	QTY
512. Add on for grid (double or triple glazed windows)	32.08 SF
513. Window trim set (casing & stop)	38.00 LF
514. Wood window - awning, 7-12 sf	1.00 EA
515. Window blind - PVC - 1" - 7.1 to 14 SF	3.00 EA
516. Paint door or window opening - 2 coats (per side)	2.00 EA
517. Baseboard - 4 1/4" hardwood	43.42 LF
518. Seal & paint baseboard - two coats	43.42 LF
519. Quarter round - 3/4"	43.42 LF
520. Seal & paint base shoe or quarter round	43.42 LF
521. Remove Tear out wood flooring and subfloor	126.88 SF
Subfloor is buckled under the hardwood floor - which is also deformed.	
522. Framing labor to repair floor joists	1.00 EA
523. Underlayment - 5/8" OSB	126.88 SF
524. Oak flooring - #1 common - no finish	126.88 SF
525. Sand & finish wood floor (natural finish)	126.88 SF
****Hardwood floor to be inspected after final demo and clean to determine if salvageable. ****	
526. Final cleaning - construction - Residential	126.88 SF

Bed 1 Closet

Height: 7' 4"

DESCRIPTION	QTY
527. Clean floor or roof joist system	15.11 SF
528. Seal floor or ceiling joist system (shellac)	15.11 SF
529. Blown-in insulation - 16" depth - R44	15.11 SF
Attic Insulation code is R49	
530. Three coat plaster over metal lath	15.11 SF
531. Seal/prime then paint the ceiling (2 coats)	15.11 SF
532. Fluorescent - two tube - 4' - fixture w/lens	1.00 EA
533. Clean stud wall	106.44 SF
534. Seal stud wall for odor control (shellac)	106.44 SF
535. Batt insulation - 4" - R13 - unfaced batt	108.00 SF
536. Three coat plaster over metal lath	106.44 SF
537. Seal/prime then paint the walls (2 coats)	106.44 SF
538. Chair rail - 2 1/2"	14.33 LF
539. Paint chair rail - two coats	14.33 LF
540. Interior door - solid alder - paneled - pre-hung unit	1.00 EA
541. Header casing - 4" - hardwood - 2 piece	34.00 LF
542. Door knob - interior	1.00 EA
543. Paint door slab only - 2 coats (per side)	2.00 EA
544. Paint door or window opening - 2 coats (per side)	2.00 EA
545. Shelving - 24" - in place	11.33 LF
546. Seal & paint wood shelving, 12"- 24" width	11.33 LF

CONTINUED - Bed 1 Closet

DESCRIPTION	QTY
547. Baseboard - 4 1/4" hardwood	14.33 LF
548. Seal & paint baseboard - two coats	14.33 LF
549. Quarter round - 3/4"	14.33 LF
550. Seal & paint base shoe or quarter round	14.33 LF
551. Remove Tear out wood flooring and subfloor	15.11 SF
Subfloor is buckled under the hardwood floor - which is also deformed.	
552. Underlayment - 5/8" OSB	15.11 SF
553. Oak flooring - #1 common - no finish	15.11 SF
554. Sand & finish wood floor (natural finish)	15.11 SF
****Hardwood floor to be inspected after final demo and clean to determine if salvageable. ****	
555. Final cleaning - construction - Residential	15.11 SF

Bed 2

Height: 7' 4"

DESCRIPTION	QTY
556. Clean floor or roof joist system	103.89 SF
557. Seal floor or ceiling joist system (shellac)	103.89 SF
558. Blown-in insulation - 20" depth - R50	103.89 SF
559. Three coat plaster over metal lath	103.89 SF
560. Acoustic ceiling tile	103.89 SF
561. Fluorescent - two tube - 4' - fixture w/lens	1.00 EA
562. Smoke detector	1.00 EA
563. Clean stud wall	186.66 SF
564. Seal stud wall for odor control (shellac)	186.66 SF
565. R&R Stud wall - 2" x 4" load bearing - 16" oc	90.67 SF
Wall adjoining bathroom	
566. Temporary shoring post - Screw jack (per day)	2.00 DA
2 posts - shore roof framing to remove and replace load bearing wall.	
567. Budetary - framing repairs	1.00 EA
568. Batt insulation - 4" - R13 - unfaced batt	138.67 SF
569. Three coat plaster over metal lath	277.33 SF
570. Seal/prime then paint the walls twice (3 coats)	277.33 SF
571. Chair rail - 2 1/2"	37.50 LF
572. Paint chair rail - two coats	37.50 LF
573. Cold air return cover - Large	1.00 EA
574. Heat/AC register - Mechanically attached	1.00 EA
575. Interior door - solid alder - paneled - pre-hung unit	1.00 EA
576. Header casing - 4" - hardwood - 2 piece	34.00 LF
577. Door knob - interior	1.00 EA
578. Paint door slab only - 2 coats (per side)	2.00 EA
579. Paint door/window trim & jamb - 2 coats (per side)	2.00 EA
580. Wood window - double hung, 13-19 sf, Standard grade	2.00 EA



CONTINUED - Bed 2

DESCRIPTION	QTY
581. Add on for grid (double or triple glazed windows)	25.21 SF
582. Window trim set (casing & stop)	38.00 LF
583. Window blind - PVC - 1" - 20.1 to 32 SF	2.00 EA
584. Paint door or window opening - 2 coats (per side)	2.00 EA
585. Baseboard - 4 1/4" hardwood	37.50 LF
586. Seal & paint baseboard - two coats	37.50 LF
587. Quarter round - 3/4"	37.50 LF
588. Seal & paint base shoe or quarter round	37.50 LF
589. Remove Tear out wood flooring and subfloor	103.89 SF
Subfloor is buckled under the hardwood floor - which is also deformed.	
590. Framing labor to repair floor joists	1.00 EA
591. Underlayment - 5/8" OSB	103.89 SF
592. Oak flooring - #1 common - no finish	103.89 SF
593. Sand & finish wood floor (natural finish)	103.89 SF
****Hardwood floor to be inspected after final demo and clean to determine if salvageable. ****	
594. Final cleaning - construction - Residential	103.89 SF

Bed 2 Closet

Height: 7' 4"

DESCRIPTION	QTY
595. Clean floor or roof joist system	16.06 SF
596. Seal floor or ceiling joist system (shellac)	16.06 SF
597. Blown-in insulation - 20" depth - R50	16.06 SF
598. Three coat plaster over metal lath	16.06 SF
599. Seal/prime then paint the ceiling twice (3 coats)	16.06 SF
600. Fluorescent - two tube - 4' - fixture w/lens	1.00 EA
601. Clean stud wall	105.52 SF
602. Seal stud wall for odor control (shellac)	105.52 SF
603. Batt insulation - 4" - R13 - unfaced batt	90.67 SF
604. Three coat plaster over metal lath	105.52 SF
605. Seal/prime then paint the walls twice (3 coats)	105.52 SF
606. Chair rail - 2 1/2"	15.00 LF
607. Paint chair rail - two coats	15.00 LF
608. Interior door - solid alder - paneled - pre-hung unit	1.00 EA
609. Header casing - 4" - hardwood - 2 piece	34.00 LF
610. Door knob - interior	1.00 EA
611. Paint door slab only - 2 coats (per side)	2.00 EA
612. Paint door/window trim & jamb - 2 coats (per side)	2.00 EA
613. Wood window - double hung, 13-19 sf, Standard grade	1.00 EA
614. Window trim set (casing & stop)	13.00 LF
615. Seal & paint window stool and apron	2.50 LF
616. Paint door or window opening - 2 coats (per side)	1.00 EA

CONTINUED - Bed 2 Closet

DESCRIPTION	QTY
617. Shelving - 24" - in place	14.17 LF
618. Seal & paint wood shelving, 12"- 24" width	14.17 LF
619. Baseboard - 4 1/4" hardwood	15.00 LF
620. Seal & paint baseboard - two coats	15.00 LF
621. Quarter round - 3/4"	15.00 LF
622. Seal & paint base shoe or quarter round	15.00 LF
623. Remove Tear out wood flooring and subfloor Subfloor is buckled under the hardwood floor - which is also deformed.	16.06 SF
624. Underlayment - 5/8" OSB	16.06 SF
625. Oak flooring - #1 common - no finish	16.06 SF
626. Sand & finish wood floor (natural finish)	16.06 SF
****Hardwood floor to be inspected after final demo and clean to determine if salvageable. ****	
627. Final cleaning - construction - Residential	16.06 SF

Bed 3

Height: 7' 4"

DESCRIPTION	QTY
628. Clean floor or roof joist system	112.29 SF
629. Seal floor or ceiling joist system (shellac)	112.29 SF
630. Blown-in insulation - 20" depth - R50	112.29 SF
631. Three coat plaster over metal lath	112.29 SF
632. Acoustic ceiling tile	112.29 SF
633. Fluorescent - two tube - 4' - fixture w/lens	1.00 EA
634. Smoke detector	1.00 EA
635. Clean stud wall	189.31 SF
636. Seal stud wall for odor control (shellac)	189.31 SF
637. Batt insulation - 4" - R13 - unfaced batt	125.65 SF
638. R&R Stud wall - 2" x 4" - 16" oc Wall adjoining bathroom	62.00 SF
639. Budetary - framing repairs	1.00 EA
640. Three coat plaster over metal lath	251.31 SF
641. Seal/prime then paint the walls (2 coats)	251.31 SF
642. Chair rail - 2 1/2"	38.00 LF
643. Paint chair rail - two coats	38.00 LF
644. Cold air return cover - Large	1.00 EA
645. Heat/AC register - Mechanically attached	1.00 EA
646. Interior door - solid alder - paneled - pre-hung unit Includes door to attic	2.00 EA
647. Header casing - 4" - hardwood - 2 piece	34.00 LF
648. Door knob - interior	2.00 EA
649. Paint door slab only - 2 coats (per side)	4.00 EA
650. Paint door/window trim & jamb - 2 coats (per side)	3.00 EA



CONTINUED - Bed 3

DESCRIPTION	QTY
651. Wood window - double hung, 9-12 sf	1.00 EA
652. Window trim set (casing & stop)	12.33 LF
653. Window blind - PVC - 1" - 7,1 to 14 SF	1.00 EA
654. Paint door or window opening - 2 coats (per side)	2.00 EA
655. Bookcase - built in - 10" - (SF of face area)	29.60 SF
656. Seal & paint bookcase	29.60 SF
657. Baseboard - 4 1/4" hardwood	38.00 LF
658. Seal & paint baseboard - two coats	38.00 LF
659. Quarter round - 3/4"	38.00 LF
660. Seal & paint base shoe or quarter round	38.00 LF
661. Remove Tear out wood flooring and subfloor Subfloor is buckled under the hardwood floor - which is also deformed.	112.29 SF
662. Framing labor to repair floor joists	1.00 EA
663. Underlayment - 5/8" OSB	112.29 SF
664. Oak flooring - #1 common - no finish	112.29 SF
665. Sand & finish wood floor (natural finish)	112.29 SF
666. Final cleaning - construction - Residential	112.29 SF

General Conditions & Misc.

DESCRIPTION	QTY
667. Residential Supervision / Project Management - per hour	60.00 HR
668. Taxes, insurance, permits & fees (Bid Item) Budgetary - invoices to be provided upon receipt.	1.00 EA
669. Architectural/Drafting fees (Bid Item) Budgetary - invoices to be provided upon receipt.	1.00 EA
670. Rewire - average residence - copper wiring	1,922.00 SF
671. Breaker panel - 125 amp w/arc fault breakers	1.00 EA
672. Rough in plumbing - includes supply and waste lines	1,330.00 SF
673. R&R Water heater - 40 gallon - Gas - 9 yr	1.00 EA
674. R&R Packaged gas furnace & A/C unit - 4 ton 14-16 SEER	1.00 EA
675. Ductwork system - hot or cold air - 1200 to 1599 SF home	1.00 EA
676. Temporary toilet (per month)	3.00 MO
677. Dumpster load - Approx. 40 yards, 7-8 tons of debris	3.00 EA

Grand Total

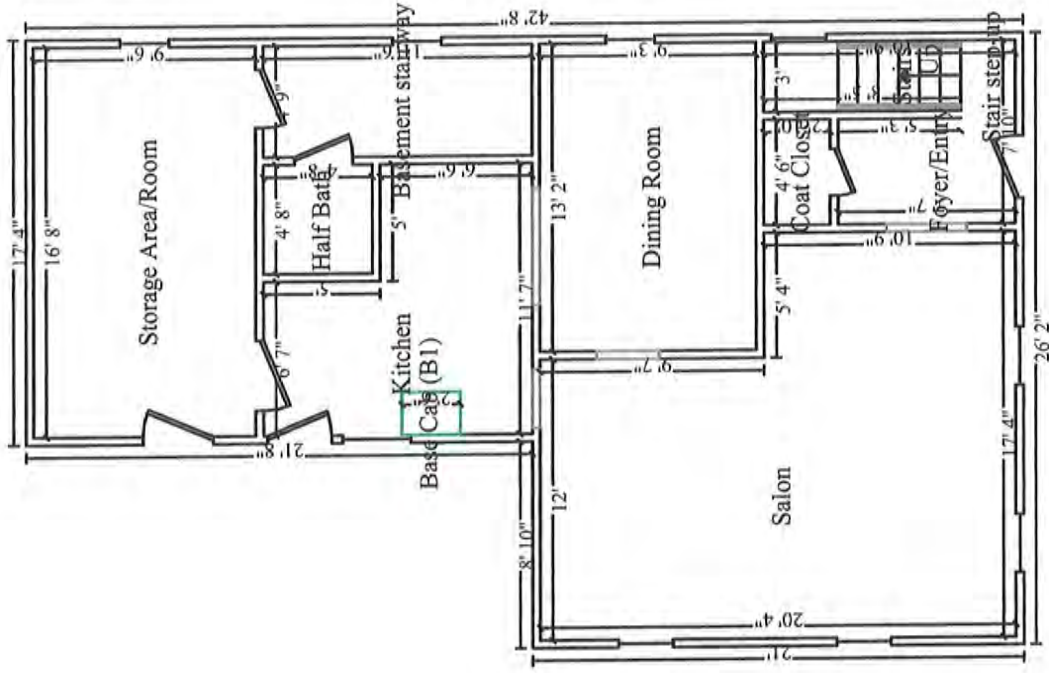
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Mark Noe  
General Adjuster

**Grand Total Areas:**

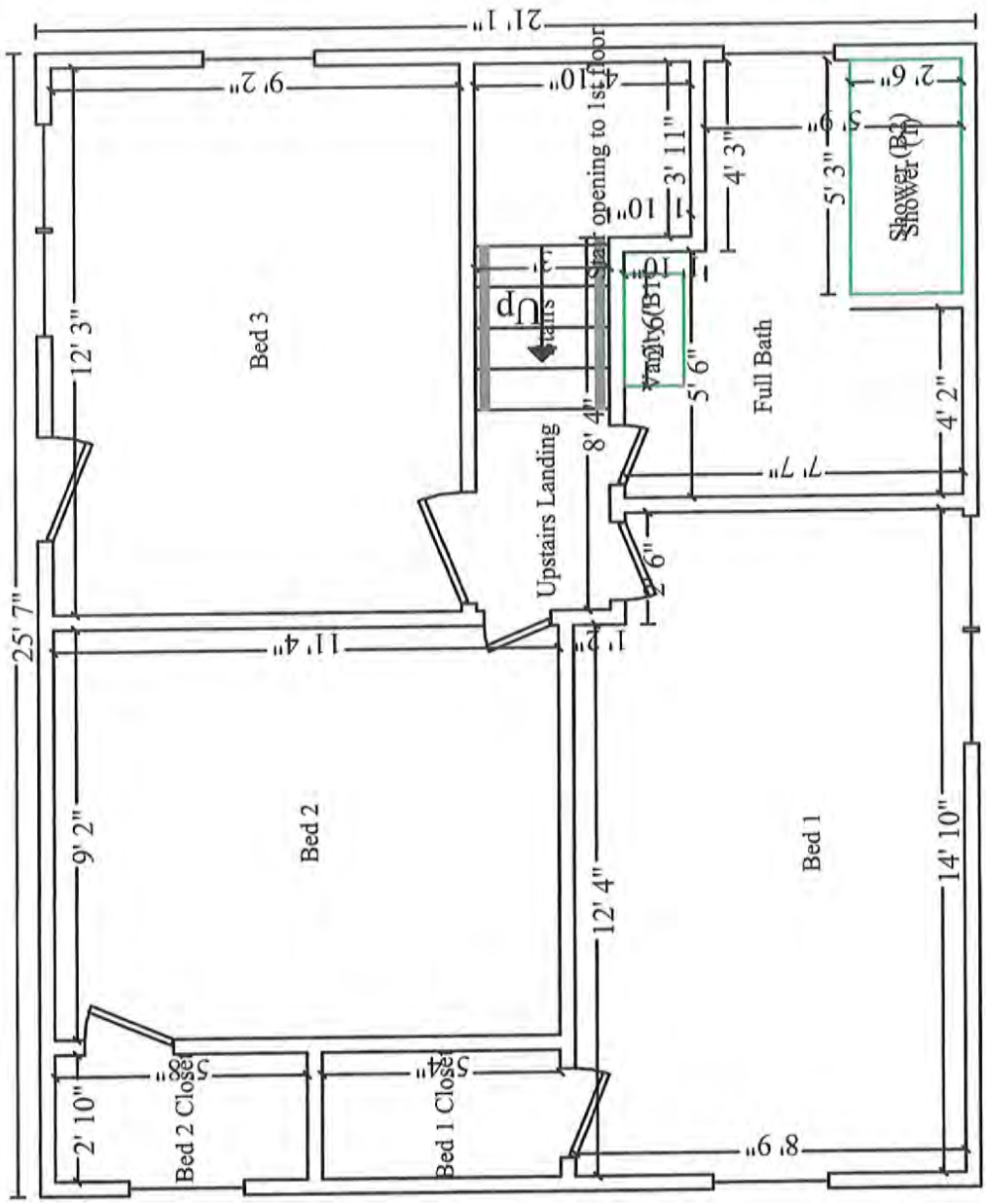
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1,960.26 SF Floor	217.81 SY Flooring	581.19 LF Floor Perimeter
245.00 SF Long Wall	126.00 SF Short Wall	683.25 LF Ceil. Perimeter
1,330.26 Floor Area	1,464.44 Total Area	3,268.54 Interior Wall Area
7,149.12 Exterior Wall Area	538.71 Exterior Perimeter of Walls	
4,116.68 Surface Area	41.17 Number of Squares	562.00 Total Perimeter Length
139.30 Total Ridge Length	0.00 Total Hip Length	

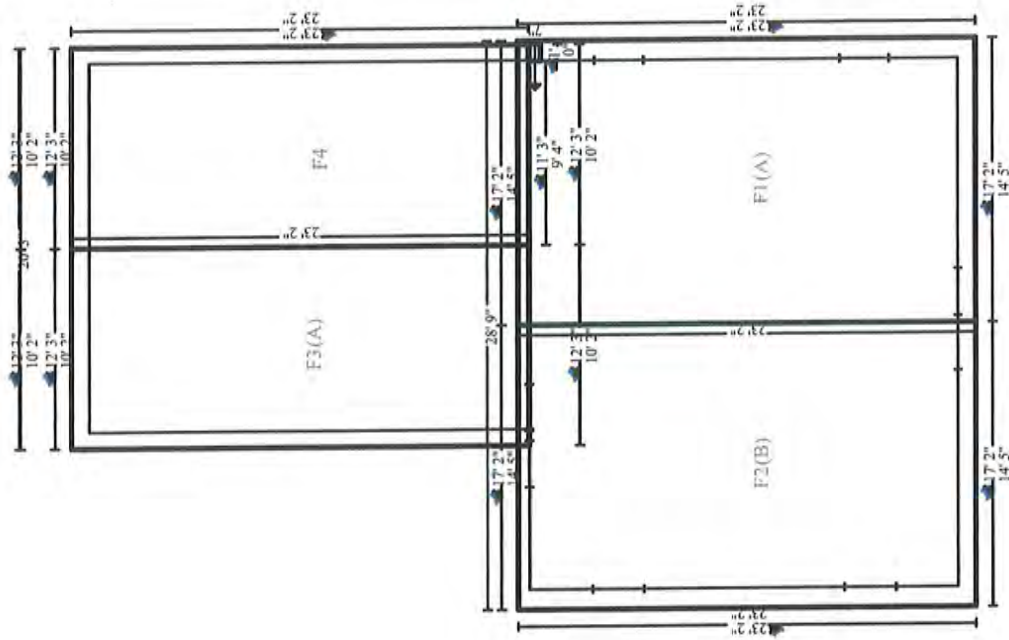




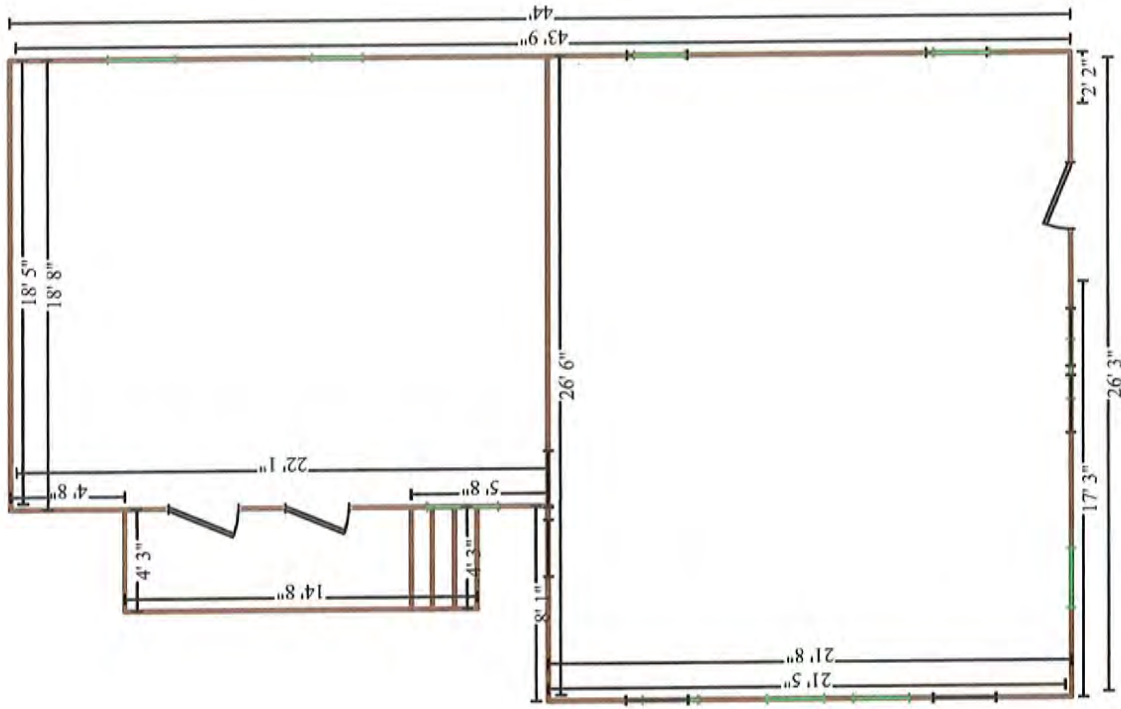




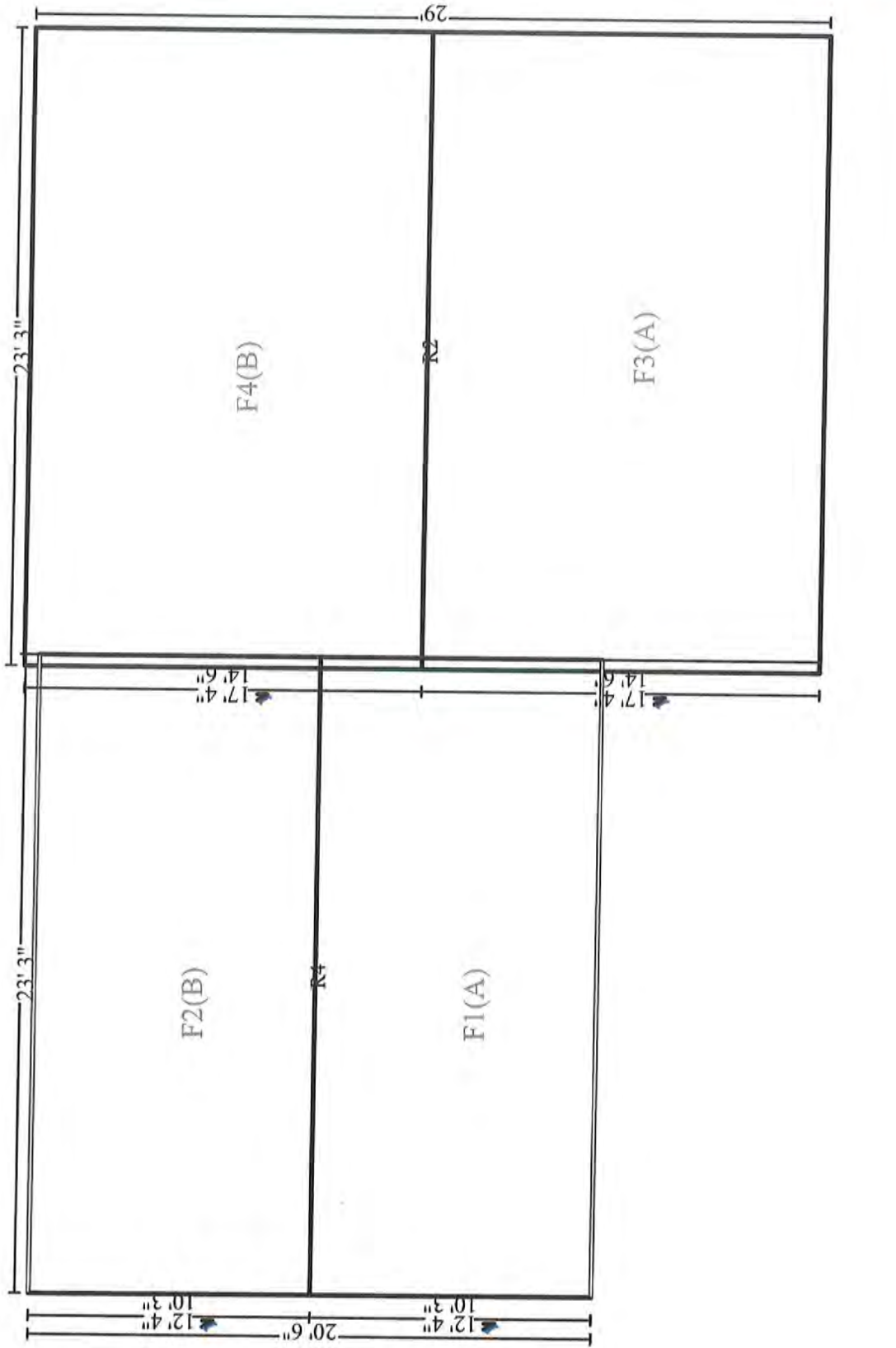






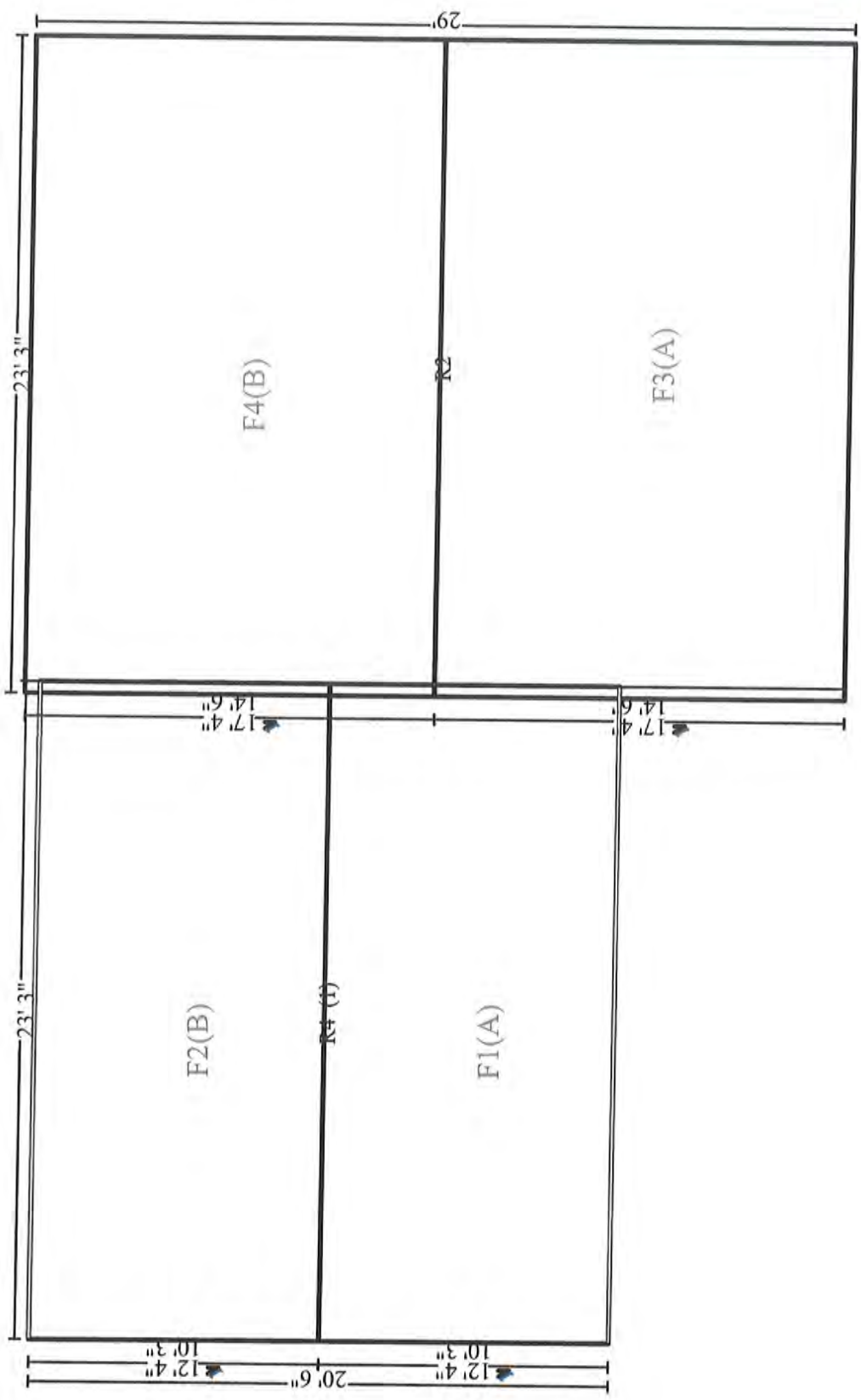


Exterior











## Data Request - 129 North Broadway Medina, OH 44256

Catherine Gullett <[cgullett@ohiohistory.org](mailto:cgullett@ohiohistory.org)>

Fri 12/1/2023 12:31 PM

To:[ivan.landmarkhomes@gmail.com](mailto:ivan.landmarkhomes@gmail.com) <[ivan.landmarkhomes@gmail.com](mailto:ivan.landmarkhomes@gmail.com)>

 1 attachments (3 MB)

DataRequest\_129NBroadway\_20231201.zip;

Good afternoon,

Attached are the results of your data request related to the project at 129 North Broadway Medina, OH 44256. Included are a spreadsheet of any resources found within the requested one-mile buffer and a reference map showing the locations of these resources. Due to the scale of the map and density of some resources, labels may or may not be visible for each resource.

Unfortunately, we are currently unable to share digital copies of many inventory forms or survey reports; however, we are in the process of restoring those files, so you are welcome to contact our office regarding their availability. You may also visit our office to access paper files. To schedule an appointment to do so, please contact our office at 614-298-2000 or [shpo@ohiohistory.org](mailto:shpo@ohiohistory.org). If you have any questions related to the search results, please feel free to contact me.

Thank you,

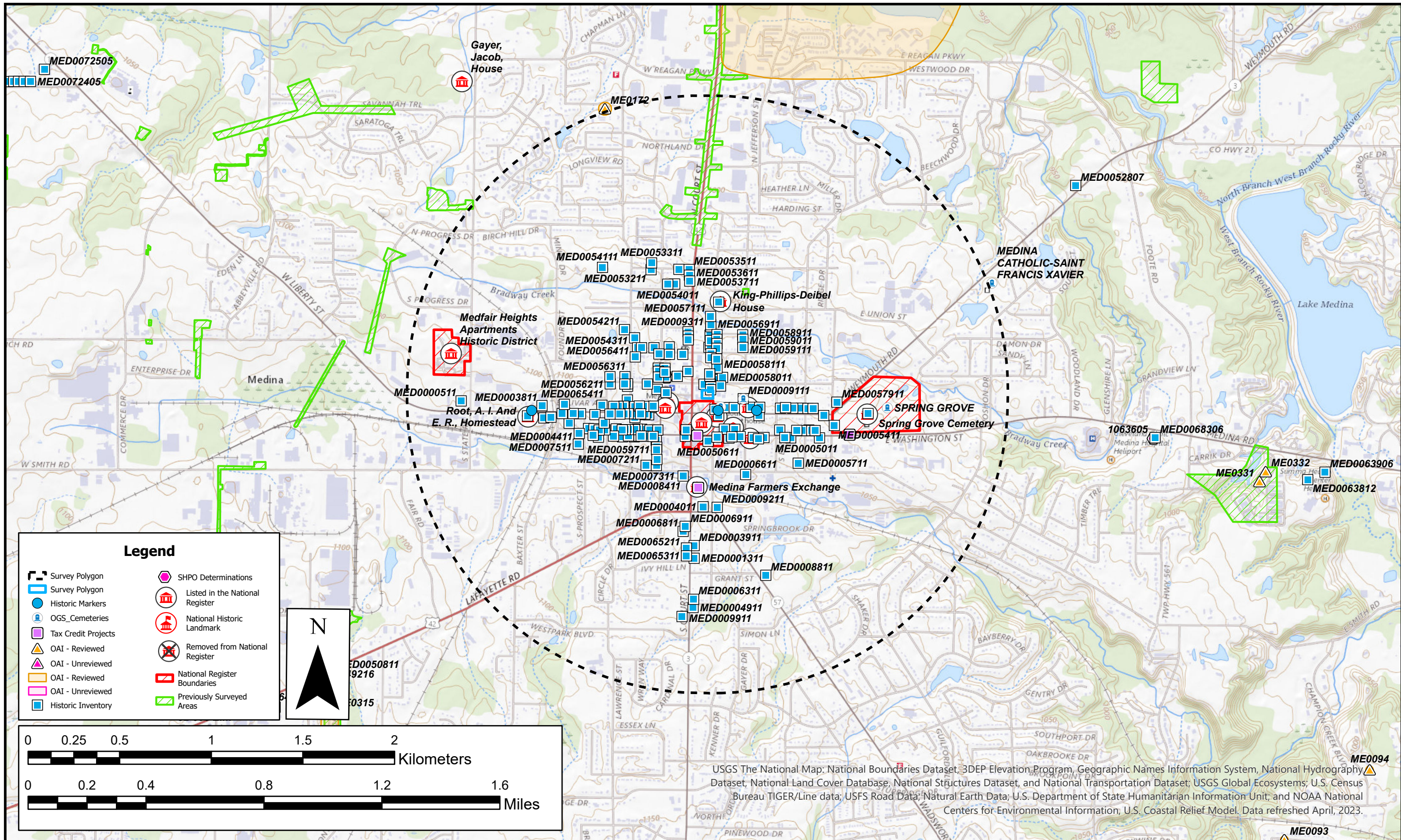
**Catherine Gullett | GIS/Data Coordinator | State Historic Preservation Office**

Ohio History Connection | 800 E. 17<sup>th</sup> Ave., Columbus, OH 43211-2474

| [cgullett@ohiohistory.org](mailto:cgullett@ohiohistory.org)

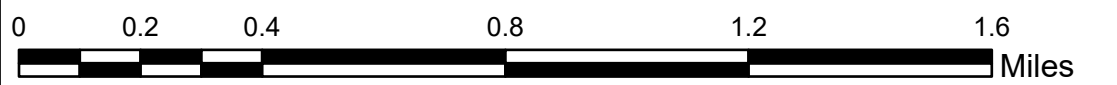
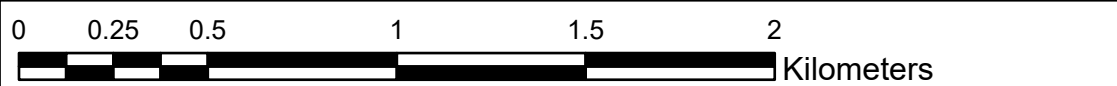
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1175 52-009	Saint Paul's Episcopal Church	9950
1178 52-012	First Congregational Church of Medina	9967
1180 52-014	Root Homestead & A. I. Root (1839-1923) / Root Hom	15196





**Legend**

- Survey Polygon
- Survey Polygon
- Historic Markers
- OGS\_Cemeteries
- Tax Credit Projects
- OAI - Reviewed
- OAI - Unreviewed
- OAI - Reviewed
- OAI - Unreviewed
- Historic Inventory
- SHPO Determinations
- Listed in the National Register
- National Historic Landmark
- Removed from National Register
- National Register Boundaries
- Previously Surveyed Areas



USGS The National Map: National Boundaries Dataset, 3DEP Elevation Program, Geographic Names Information System, National Hydrography Dataset, National Land Cover Database, National Structures Dataset, and National Transportation Dataset; USGS Global Ecosystems; U.S. Census Bureau TIGER/Line data; USFS Road Data; Natural Earth Data; U.S. Department of State Humanitarian Information Unit; and NOAA National Centers for Environmental Information; U.S. Coastal Relief Model. Data refreshed April, 2023.

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