

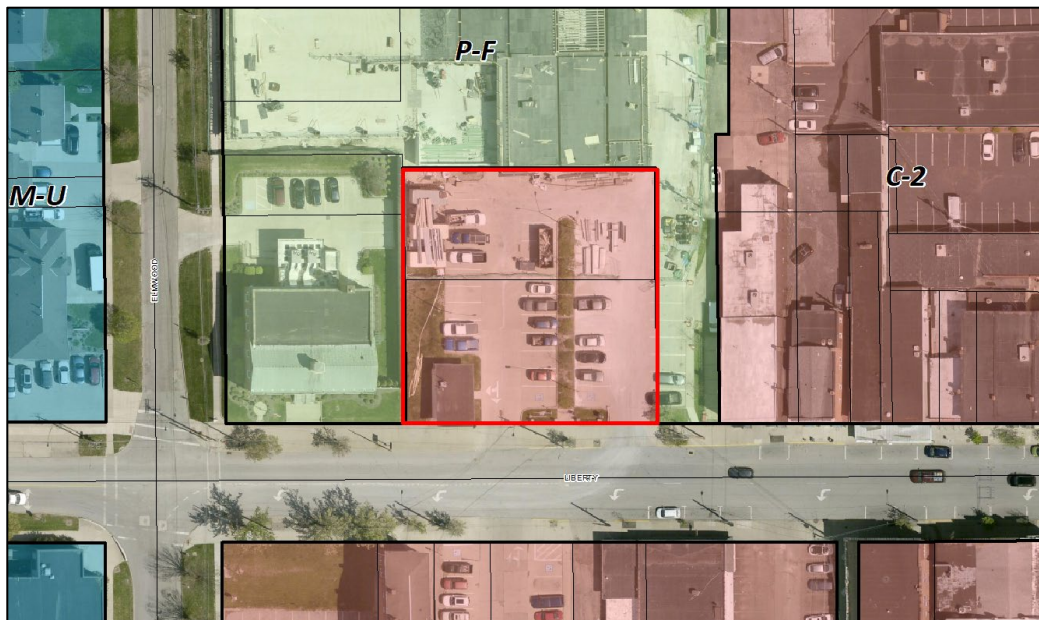
## P21-08 Liberty View – Architectural Revisions

Property Owners: City of Medina and Medina City Development Corporation  
Applicant: Anthony Cerny  
Location: 135 West Liberty Street  
Zoning: C-2 (Central Business)  
Request: Site Plan revision for the construction of a four-story mixed use building

### **LOCATION AND SURROUNDING USES**

The subject site is composed of 0.44 acres located on the north side of West Liberty Street. Adjacent properties contain the following uses and zoning:

- North – Parking Garage (P-F)
- South – Retail & Multi-Family Residential (C-2)
- East – Surface Parking/Restaurant (P-F/C-2)
- West – Federal Building (P-F)



### **BACKGROUND**

In April of 2021, the project received Site Plan approval from the Planning Commission for the construction of a four-story mixed use building. The approval has received two extensions, most recently in March of 2023. At the meeting, the Commission again granted an extension of the approval requiring that permits must be obtained and construction must commence by April 8, 2024, or the Site Plan approval shall expire.

In March of 2023, the Porters Shoe building on the site was demolished.

## **PROPOSED APPLICATION**

The current application includes modifications to the previous approval regarding the south (front) and east (side) building elevations. The site layout and the north and west elevations are without notable changes. In addition, the entire building maintains the same materials and finishes.

Building “C” – The south building elevation was originally approved with bay windows on the second, third, and fourth floors. Revised plans replace bay windows on the second and third floors with windows matching adjacent windows on Building “D”. Revised plans also replace two bay windows on the fourth floor with a single large bay window.

Building “D” – The building was originally uniform for floors two, three, and four. Revised plans incorporate a patio on the fourth floor of the south side of the building. The modification is evident on both the south and east building elevations. In addition, a minor change to the east building elevation is proposed. Originally, plans showed two first floor windows and revised plans illustrate three first floor windows.

## **SITE PLAN REVIEW STANDARDS**

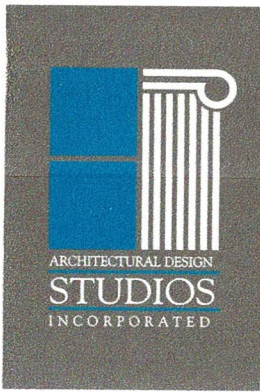
The Planning Commission's review and action shall be based on the following Standards per Section 1109.02(c):

- (1) The site plan shows that a proper relationship does exist between thoroughfares, service roads, driveways and parking areas to encourage pedestrian and vehicular traffic safety.
- (2) All the development features including the principal buildings, open spaces, service roads, driveways and parking areas are so located and related as to minimize the possibility of any adverse effects upon adjacent development.
- (3) The site plan includes adequate provision for the screening of parking areas, service areas and active recreation areas from surrounding properties by landscaping and/or ornamental walls or fences. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (4) Grading and surface drainage provisions are reviewed and approved by the City Engineer.
- (5) The design and construction standards of all private streets, driveways and parking areas are to be built following approval of plans by the City Engineer according to construction standards specified in the Codified Ordinances.
- (6) Maximum possible privacy for multi-family dwellings and surrounding residential properties shall be provided through good design and use of proper building materials and landscaping. Visual privacy should be provided through structural screening and landscaping treatment. Auditory privacy in multi-family dwellings should be provided through soundproofing. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (7) The architectural design of buildings should be developed with consideration given to the relationship of adjacent development in terms of building height, mass, texture, materials, line and pattern and character.
- (8) Building location and placement should be developed with consideration given to minimizing removal of trees and change of topography. Any trees to be removed which are planted in a public right-of-way or on municipal property shall be reviewed by the Shade Tree Commission.
- (9) In multi-family developments, television and other antennas shall be centralized.
- (10) On-site circulation shall be designed to make possible adequate fire and police protection.
- (11) Off-street parking facilities shall be provided in accordance with Chapter 1145. In large parking areas, visual relief shall be provided through the use of tree planted and landscaped dividers, islands and walkways. In multi-family developments no parking or service areas shall be permitted between any street and the main building. All trees planted shall be as found in specifications approved by the Shade Tree Commission.

- (12) Signs shall be provided in accordance with these Codified Ordinances.
- (13) Any trees planted on site shall be on approved list of Shade Tree Commission and planted in accordance with Commission standards.

**COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION**

Staff recommends **approval** of application P21-08 for revisions to a four-story mixed use building. The proposed changes maintain the character of the building and provide additional visual interest.



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620 East Smith Rd  
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44256  
  
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April 18, 2023

Historic Preservation Board  
c/o, Andrew Dutton, Community Development Director  
City of Medina  
132 North Elmwood Street  
Medina, Ohio 44256

Re: Liberty View  
Certificate of Appropriateness  
Amendment to Approval  
Case No. H21-05

Dear Board Members,

The developers for the Liberty View project have made a modification to the 4<sup>th</sup> floor plan, creating a larger apartment in the southeast corner of the building. This change in plan results in a modification to the building facade on the southeast corner. We are requesting an amendment to the existing HPB approval for this project to address this modification.

This request does not include modifying or changing any of the exterior finish materials. These will all remain as originally approved. The primary reason for the change in the facade is the development of an exterior patio space in the southeast corner (Building "D" Facade) on the fourth floor. We have also modified the design of the bay window for Building "C" based upon the floor plan in this area.

To accomplish the modification on Building "D", the original cornice element is lowered down to the third floor. To account for the additional height required to form a guard around the patio space, a simple metal railing is added to the top of the parapet.

We believe this modification to the building facade does not alter the overall character of the building as originally approved and is consistent with the goals and requirements of the City of Medina's Design Guidelines for the Historic District. As with the original approval, the Liberty View project will enhance the overall character of the district, reinforcing the storefront fabric of the historic structures, building upon the stylistic character of the buildings, but utilizing contemporary materials and details.

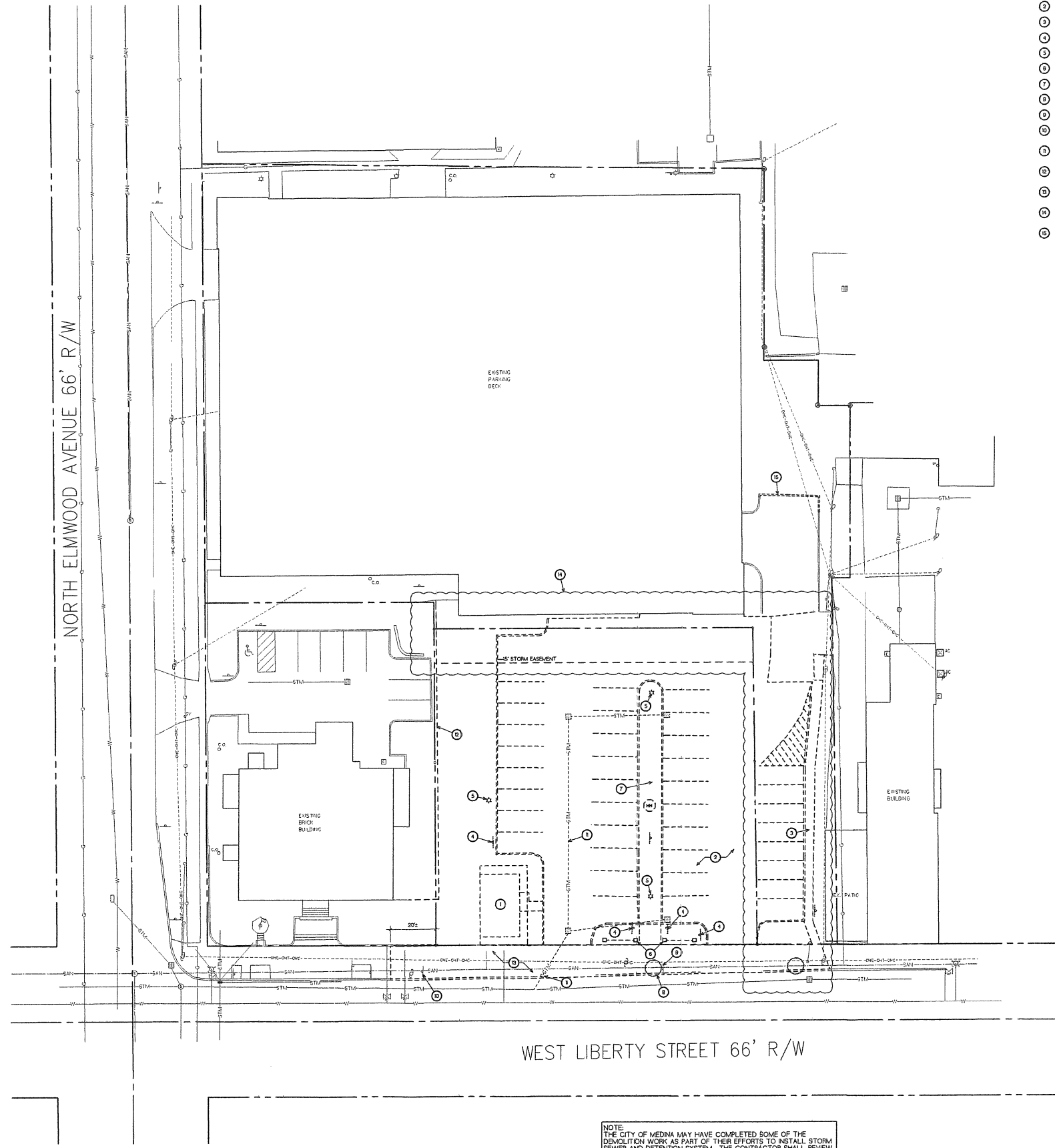
We respectfully request HPB approval of this modification to the Liberty View development.

Respectfully Submitted,

Anthony J. Cerny  
Architectural Design Studios, Inc.

J:\0STUDIOS\0JOBS\18052\_WP\_Liberty View Apartments\Medina City\HPB\HPB\_H21-05\_Amendment to Approval\_New Facade\_230418a.wpd

# Existing Site



- ### SITE DEMOLITION PLAN NOTES
- 1 REMOVE EXISTING CONCRETE BLOCK BUILDING
  - 2 REMOVE EXISTING CONCRETE PARKING LOT INCLUDING CONCRETE CURBS
  - 3 REMOVE EXISTING CONCRETE SIDEWALK
  - 4 EXISTING SIGNS TO BE REMOVED AND TURNED OVER TO THE CITY OF MEDINA
  - 5 EXISTING LIGHT POLES. COORDINATE WITH FIRST ENERGY TO HAVE POLES REMOVED
  - 6 REMOVE EXISTING BRICK FENCE AND METAL FENCE
  - 7 REMOVE EXISTING LANDSCAPE ISLAND AND PLANTINGS
  - 8 REMOVE EXISTING TREES
  - 9 REMOVE EXISTING TRAFFIC SIGN AND TURN OVER TO CITY OF MEDINA
  - 10 REMOVE EXISTING CITY MARKER/DIRECTIONAL SIGN AND STORE. TO BE REINSTALLED AT COMPLETION OF PROJECT
  - 11 REMOVE EXISTING STORM STRUCTURES AND SEWER LINES. REFER TO SWP'S PLAN TO COORDINATE WITH CONSTRUCTION. CAP STORM LINE AT EDGE OF ROAD.
  - 12 REMOVE EXISTING CEDAR PRIVACY FENCE. COORDINATE WITH CONSTRUCTION FENCE WITH PRIVACY SCREEN IN PLACE PRIOR TO REMOVAL OF CEDAR FENCE.
  - 13 REMOVE EXISTING SIDEWALK AT LIBERTY STREET. SIDEWALK TO REMAIN IN PLACE UNTIL FOUNDATIONS ARE IN PLACE.
  - 14 DEMOLITION WORK IN THIS AREA HAS BEEN COMPLETED AS PART OF THE CITY'S STORM WATER WORK.
  - 15 SAW CUT AND REMOVE EXISTING CONCRETE CURB FOR TRASH DUMPSTER. REFER TO SHEET SP-1.

NOTE:  
THE CITY OF MEDINA MAY HAVE COMPLETED SOME OF THE DEMOLITION WORK AS PART OF THEIR EFFORTS TO INSTALL STORM SEWER AND DETENTION SYSTEM. THE CONTRACTOR SHALL REVIEW THE SITE TO DETERMINE FULL EXTENT OF DEMOLITION WORK.

1
SP-2
SCALE 1" = 20' - 0"

## SITE DEMOLITION PLAN

PLOTTED 10/18/2021

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▲	04/09/2021 ISSUED FOR REVIEW & BUDGETING
▲	10/07/2021 ISSUED TO MEDINA CITY FOR REVIEW
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LIBERTY VIEW

135 WEST LIBERTY STREET  
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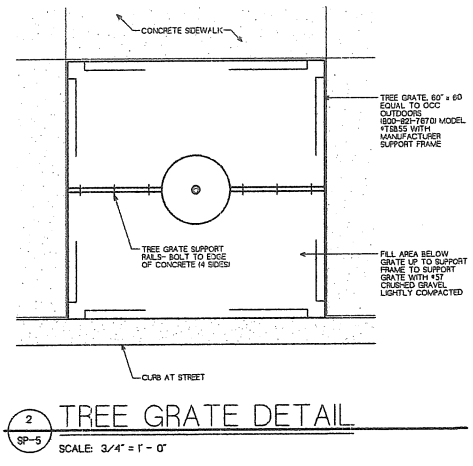
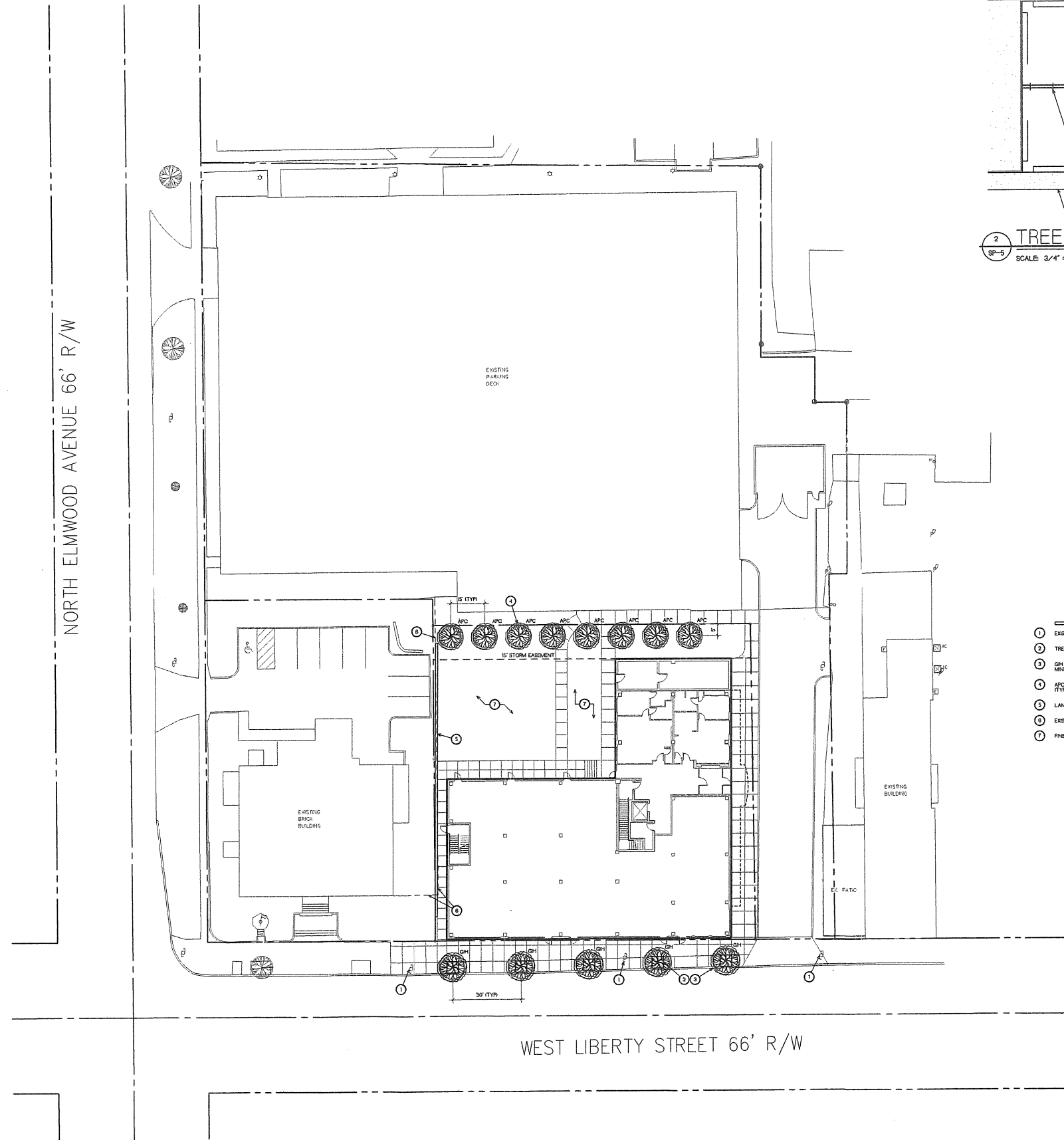
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#18052

SP-2

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A SCADA/DWGS-WF-MBDC-MEDINA-APARTMENTS-SP2

# Site Plan



### SITE LANDSCAPE PLAN NOTES

- 1 EXISTING UTILITY POLES TO REMAIN.
- 2 TREE GRATES ALONG SIDEWALK. REFER TO DETAIL THIS SHEET.
- 3 GH - GLEDITSIA TRIANGULATOS VARIETY WEINER, IMPERIAL THORNLESS HONEYLOCUST, MINIMUM 2" CALIPER (TYPICAL AS NOTED).
- 4 APC ACER PLATA MODES COLLARNADE, COLLARNA NORWAY MAPLE, MINIMUM 2" CALIPER (TYPICAL AS NOTED).
- 5 LANDSCAPE RETAINING WALL. REFER TO GRADING PLAN.
- 6 EXISTING PRIVACY FENCE TO BE REMOVED.
- 7 FINISH GRADE AND SEED.

**SITE LANDSCAPE PLAN**  
 SCALE 1" = 20' - 0"  
 NORTH

PLOTTED 10/18/2021

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11/01/2021	
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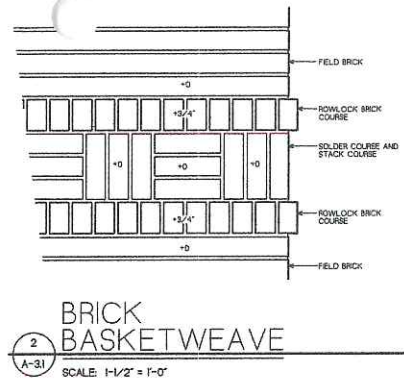
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 #18052

SP-5

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P:\CADD\2021\18052\MEDINA\LIBERTYVIEW\SP5

# South Elevation Initially Approved



Building "A"				
PRODUCT	MANUFACTURER	COLOR	MORTAR	NOTES
A	Split Face 8" x 16"	Rococast	Buffstone	
B	Buttrose 4"	Rococast	Buffstone	
C	Modular Brick	Belden	St. Anne Clear	
D	Modular Brick	Belden	St. Anne Blend 'A'	
E	EIFS	DRYVIT	#111 Prairie Clay	Limestone Finish
F	Window Frame & Trim	Andersen	Sandtone SW #9174 Moth Wing	
G	Cornice			Refer to Details Sheets FA-4.3 & A-4.4 for paint color
H	Sillstone 4"	Rococast	Buffstone	
J	Injection Molded Letters	Gemini	#0314 Old Copper	Stud Mounted
K	Fascia	Metal Era		
L	Aluminum Storefront Framing	Tubelite	Light Champagne	

NOTES:

Building "B"				
PRODUCT	MANUFACTURER	COLOR	MORTAR	NOTES
A	Modular Brick	Belden	Midland Blend 'A'	
B	Chamfered 5 5/8" #HD-2258	Rococast	Buffstone	
C	Modular Brick	Belden	Rosewood Clear 'A'	
D	Windows	Andersen	Canvas	
E	Window Trim & Head		SW # Birdseye Maple	
F	Cornice			Refer to Details Sheet A-4.5 for paint color
G	Awning	Sunbrella	Eastland Redwood	
H	Sillstone 4"	Rococast	Buffstone	
J	Injection Molded Letters	Gemini		Stud mounted
K	Fascia	Metal Era		
L	Aluminum Storefront Framing	Tubelite	Medium Bronze	

NOTES:

Building "C"				
PRODUCT	MANUFACTURER	COLOR	MORTAR	NOTES
A	Modular Brick	Belden	Meadow Blend 'A'	
B	Modular Brick	Belden	Brandywine Velour 'A'	
C	Roof - Copper Standing Seam			
D	Window		Sandtone	
E	Window Trim & Panel		SW #2819 Downing Slate SW #2637 Aurora Brown SW #2618 Ranwick Heather	
F	Cornice			Refer to Sheet A-4.6 for paint color
G	Awning	Sunbrella	Mediterranean Tweed	
H	Not Used			
J	Injection Molded Letters	Gemini		Stud mounted
K	Fascia	Metal Era		
L	Aluminum Storefront Framing	Tubelite	Dark Bronze	

NOTES:

Building "D"				
PRODUCT	MANUFACTURER	COLOR	MORTAR	NOTES
A	Modular Brick	Belden	Kingsport Dart	
B	Modular Brick	Belden	Brandywine Velour 'A'	
C	EIFS	DRYVIT	#111 Prairie Clay	Sandstone Finish
D	Window	Andersen	Sandtone	
E	Window Trim	Andersen	SW #7829 Grassy	
F	EIFS Cornice			Refer to details on Sheet A-4.7
G	Awning	Sunbrella	Eastridge Cocoa	
H	Medallions 12"x 12"	Pineapple Grove	Oak Leaf - Brownstone	
J	Injection Molded Letters	Gemini		Stud mounted
K	Fascia	Metal Era		
L	Aluminum Storefront Framing	Tubelite	Light Champagne	

NOTES:

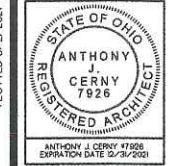


ELEVATION NOTES

1 XXXXX

2 XXXXX

1 SOUTH ELEVATION  
A-31  
SCALE: 3/16" = 1'-0"



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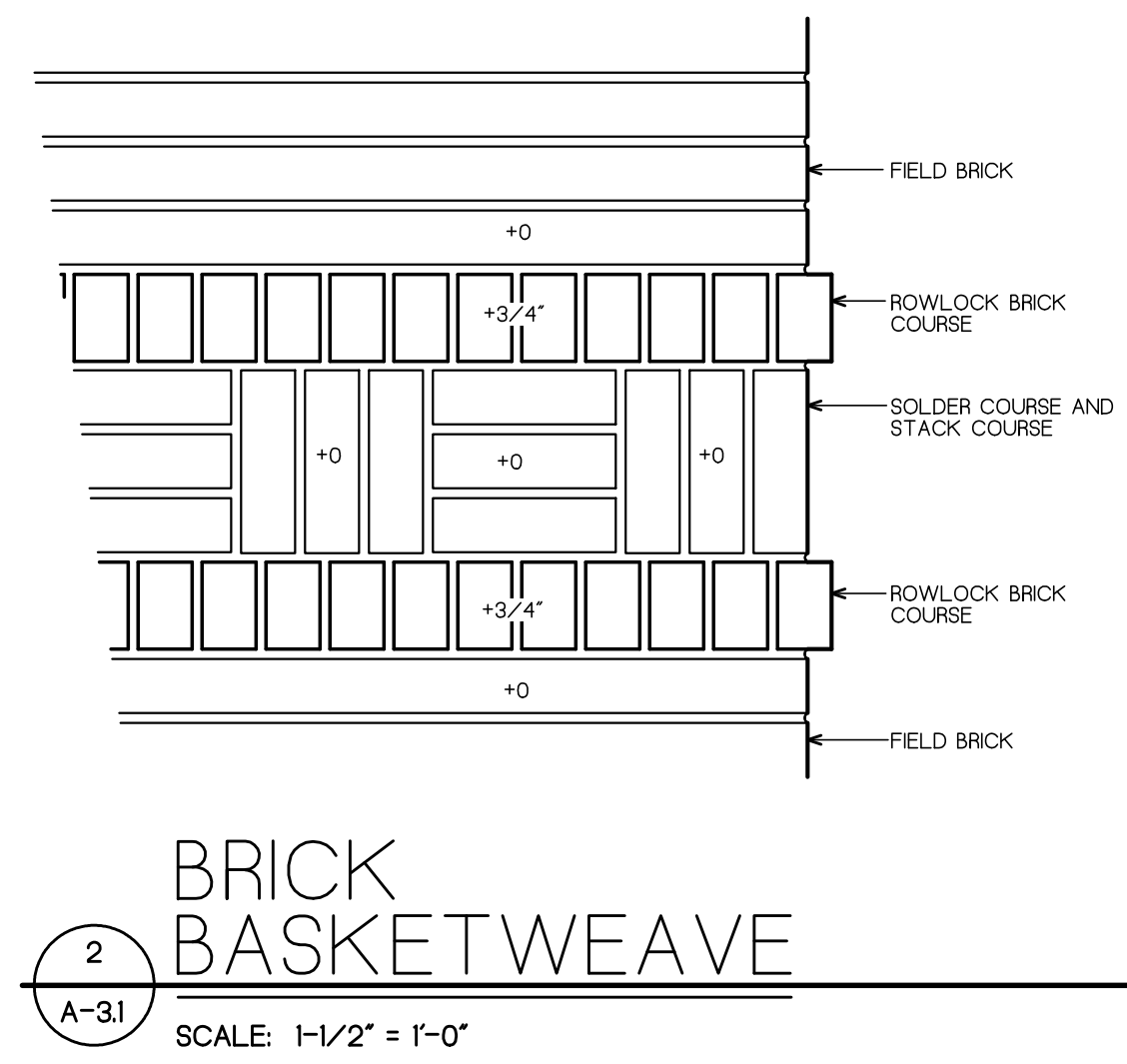
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SEPTEMBER 2018  
18052

A-3.1

# South Elevation Proposed



Building "A"				
	PRODUCT	MANUFACTURER	COLOR	NOTES
A	Split Face 8" x 16"	Rockcast	Buffstone	Mortar - Limestone #58H
B	Bullnose 4"	Rockcast	Buffstone	Mortar - Limestone #58H
C	Modular Brick	Belden	St. Anne Blend 'A'	Mortar - Limestone #58H
D	Modular Brick	Belden	St. Anne Blend 'A'	Mortar - Limestone #58H
E	EIFS	DRYVIT	#105 Suede	Limestone Finish
F	Window Frame & Trim	Andersen	Sandtone SW #9174 Moth Wing	
G	Cornice			Refer to Details Sheets FA-4.3 & A-4.4 for paint color
H	Sillstone 4"	Rockcast	Buffstone	
J	Injection Molded Letters	Gemini	#0314 Old Copper	Stud Mounted
K	Fascia	Metal Era	Medium Bronze	
L	Aluminum Storefront Framing	Tubelite	Light Champagne	

NOTES:

Building "C"				
	PRODUCT	MANUFACTURER	COLOR	NOTES
A	Modular Brick	Belden	Meadow Blend 'A'	
B	Modular Brick	Belden	Brandywine Velour 'A'	
C	Roof - Copper Standing Seam			
D	Window	Andersen	Sandtone	
E	Window Trim & Panel		SW #9149 Inky Blue SW #2837 Aurora Brown SW #7045 Intellectual Gray	
F	Cornice			Refer to Sheet A-4.6 for paint color
G	Awning	Sunbrella	Mediterranean Tweed	
H	EIFS	Dryvit	#105 Suede	Limestone Finish
J	Injection Molded Letters	Gemini	Old Copper	Stud mounted
K	Fascia	Metal Era	Slate Blue	
L	Aluminum Storefront Framing	Tubelite	Dark Bronze	

NOTES:

Building "B"				
	PRODUCT	MANUFACTURER	COLOR	NOTES
A	Modular Brick	Belden	Midland Blend 'A'	Mortar - Hearstone #51H
B	Chamfered 5 5/8" #HD-2258	Rockcast	Buffstone	Mortar - Limestone #58H
C	Modular Brick	Belden	Rosewood Clear 'A'	Mortar - Hearstone #51H
D	Windows	Andersen	Canvas	
E	Window Trim & Head		SW #2834 Birdseye Maple	
F	Cornice			Refer to Details Sheet A-4.5 for paint color
G	Awning	Sunbrella	Eastland Redwood	
H	Sillstone 4"	Rockcast	Buffstone	
J	Injection Molded Letters	Gemini	Metallic Gold	Stud mounted
K	Fascia	Metal Era	Sierra Tan	
L	Aluminum Storefront Framing	Tubelite	Medium Bronze	

NOTES:

Building "D"				
	PRODUCT	MANUFACTURER	COLOR	NOTES
A	Modular Brick	Belden	Kingsport-Dart Buckingham	Discontinued
B	Modular Brick	Belden	Brandywine Velour 'A'	
C	EIFS	DRYVIT	#111 Prairie Clay	Sandblast Finish
D	Window	Andersen	Sandtone	
E	Window Trim		SW #2818 Renwick Heather	
F	Window Trim		Light Champagne	.060 aluminum brake metal to match storefront framing
G	Awning	Sunbrella	Eastridge Cocoa	
H	Medallions 12"x 12"	Pineapple Grove	Oak Leaf - Brownstone	
J	Injection Molded Letters	Gemini	Metallic Gold	Stud mounted
K	Fascia	Metal Era	Sierra Tan	
L	Aluminum Storefront Framing	Tubelite	Light Champagne	

NOTES:



1 SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"

PLOTTED 4/18/2023



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SEPTEMBER 2018  
#18052

A-3.1



# East Elevation Initially Approved

Building "E"				
PRODUCT	MANUFACTURER	COLOR	MORTAR	NOTES
A	Spl. Face 8" x 16"	Schory	Chalk	
B	Modular Brick	Belden	Rosewood Clear A	
C	Modular Brick	Belden	Rosewood Clear A	
D		Andersen		
E	Window Trim & Head		S/W #2860 Sage	
F	Cornice		Refer to Details this Sheet for Cornice Paint Colors	
G	EIPS	DRYVIT		
H	Not Used			
J	Injection Molded Letters	Gemini	#0314 Old Copper	
K	Fascia	Meall Era		Stud Mounted
L	Aluminum Storefront Framing	Tubeite	Medium Bronze	

NOTES:

PLOTTED 9/2/2021

**ANTHONY J. CERNY**  
REGISTERED ARCHITECT  
NO. 7826  
EXPIRATION DATE 12/31/2021

**ARCHITECTURAL DESIGN STUDIOS**

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**LIBERTY VIEW**

135 WEST LIBERTY STREET  
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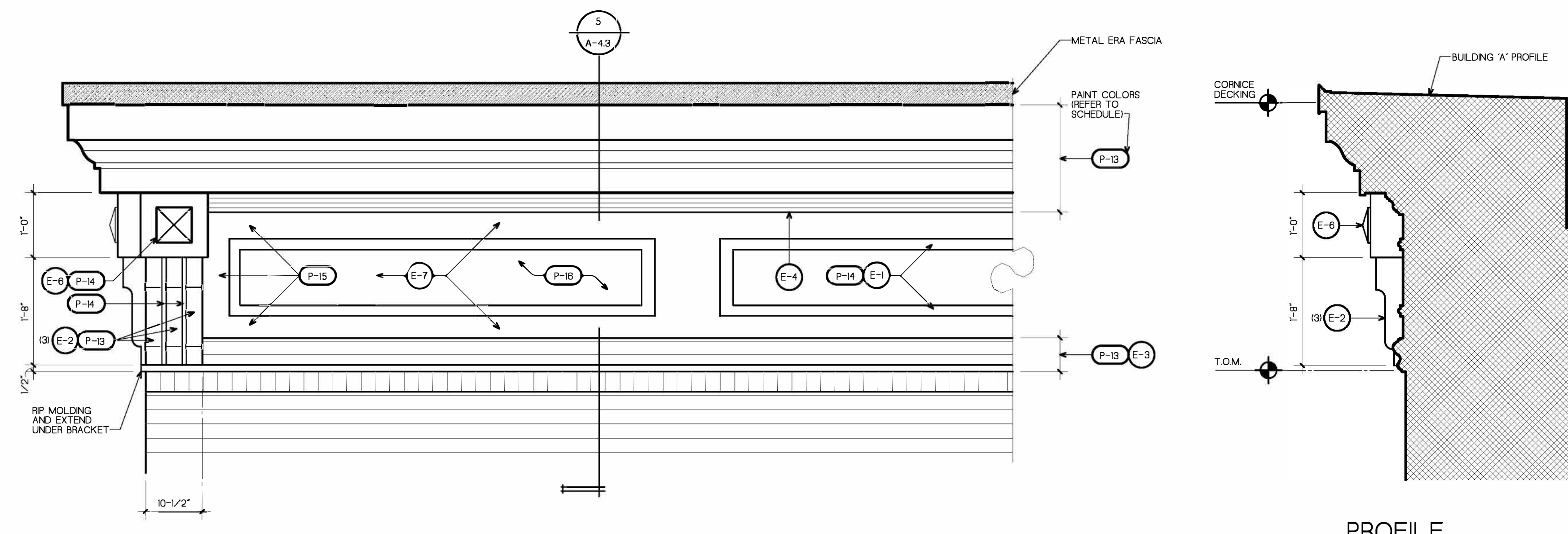
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A-3.2



**1 EAST ELEVATION**  
A-32  
SCALE: 3/16" = 1' - 0"



**GENERAL NOTES  
BUILDING 'E'**

- E-1 FYPON MOULDING MLD68
- E-2 FYPON BRACKET BKT5X20 GABLE (3" WITH 1/2" 3/4" PVC SPACERS BETWEEN
- E-3 FYPON MOULDING MLD639 SURROUND
- E-4 FYPON MOULDING MLD240 CORNICE
- E-5 FYPON MOULDING MLD371 CROWN FASCIA
- E-6 FYPON MOULDING PST7X7P
- E-7 1" FYPON PANEL

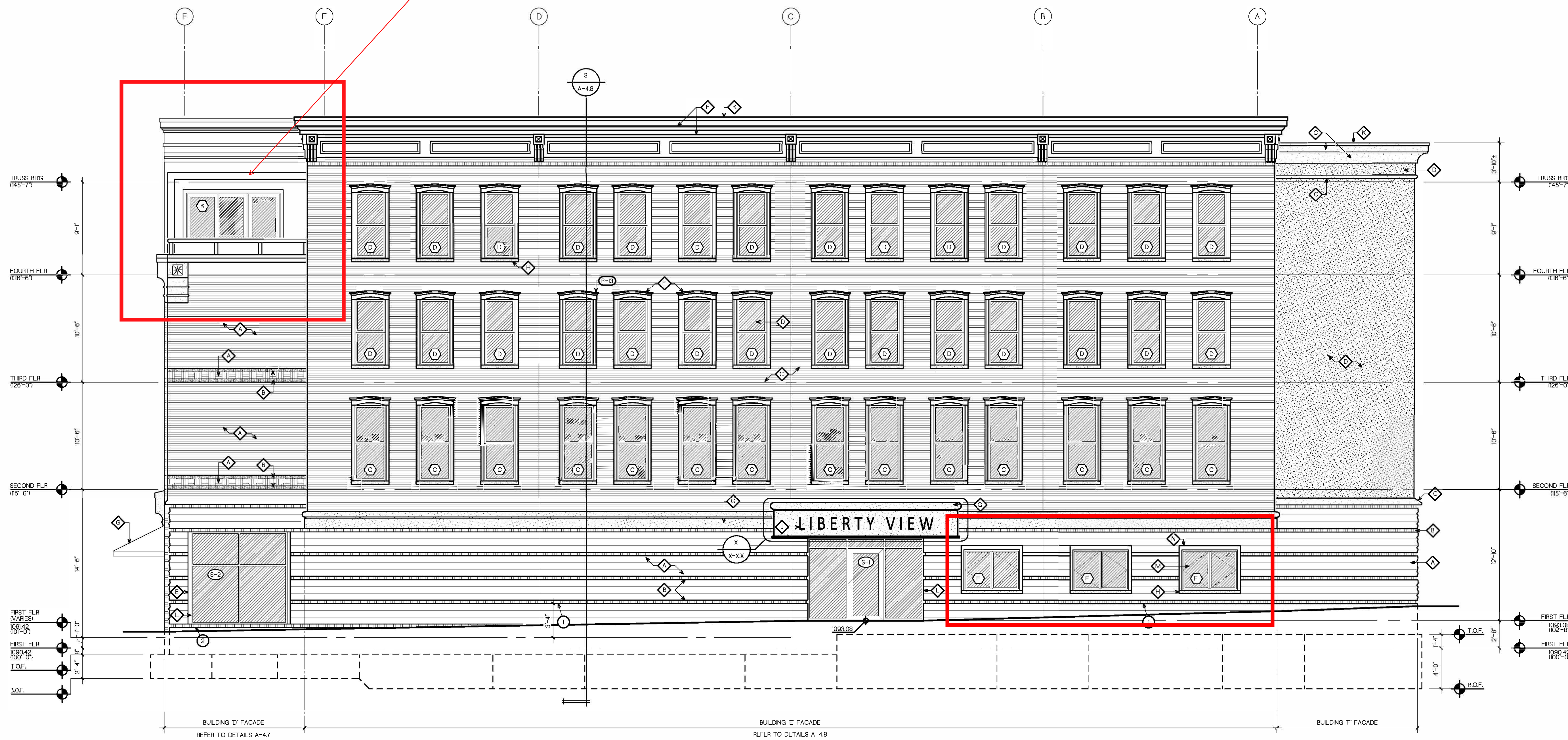
Building "E"			
PRODUCT	MANUFACTURER	COLOR	NOTES
A Split Face 8" x 16"	Schory	Chalk	
B Modular Brick	Belden	Rosewood Clear A	
C Modular Brick	Belden	Rosewood Clear A	
D Windows	Andersen	Canvas	
E Window Trim & Head		SW #2860 Sage	
F Cornice		Refer to Details this Sheet for Cornice Paint Colors	
G EIFS	DRYVIT	#105 Suede	Limestone
H Silstone (4")	Rockcast	Buffstone	
J Injection Molded Letters	Gemini	#0314 Old Copper	
K Fascia	Metal Era	Medium Bronze	Stud Mounted
L Aluminum Storefront Framing	Tubelite	Medium Bronze	
M Window	Andersen	Terratone	
N Window Trim	Andersen	Terratone	

**NOTES:**

**2 CORNICE ELEVATION BUILDING 'E'**  
SCALE: 3/4" = 1' - 0"

# East Elevation Proposed

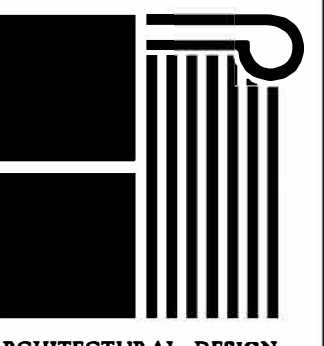
Revised to create patio space for apartment on 4th floor



- ELEVATION NOTES**
- 1 TOP OF CMJ AT 3'-4" ABOVE FINISH FLOOR 101'-01". STEEL STUDS AND MASONRY VENEER ABOVE. REFER TO SECTION 3/A-48.
  - 2 STEP DOWN TOP OF CMJ AT 1'-0" ABOVE FINISH FLOOR 101'-01" AT WINDOW. REFER TO WINDOW SILL DETAILS.

**1 EAST ELEVATION**  
SCALE: 3/16" = 1' - 0"

PLOTTED 4/18/2023



**ARCHITECTURAL DESIGN  
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03/02/2021	ISSUED FOR PLANNING
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**LIBERTY VIEW**  
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SEPTEMBER 2018  
#18052

**A-3.2**

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# North Elevation Initially Approved No Significant Changes

Building "F"				
PRODUCT	MANUFACTURER	COLOR	MORTAR	NOTES
A	Solid Face 8" x 16"	Schory	Chalk	
B	Modular Brick	Bogen	Rosewood Clear A'	
C	EIFS	DRYVIT	#1C4 Dover Sky	Sandblast Finish
D	EIFS	DRYVIT	#305 Plum	Quartzite Finish
E	EIFS	DRYVIT	#526 Fern Ridge	Quartzite Finish
F	Not Used			
G	Paint	Shawin Williams	Paint M.M. Doors SW 27946 Prairie Grass	
H	Window	Andersen	Sanitone	
J	Window	Andersen	Dark Bronze	
K	Fascia	Metal Era		
L	Aluminum Storefront Framing	Tubelite	Medium Bronze	

NOTES:



ANTHONY J. CERNY #7926  
EXPIRATION DATE 12/31/2021



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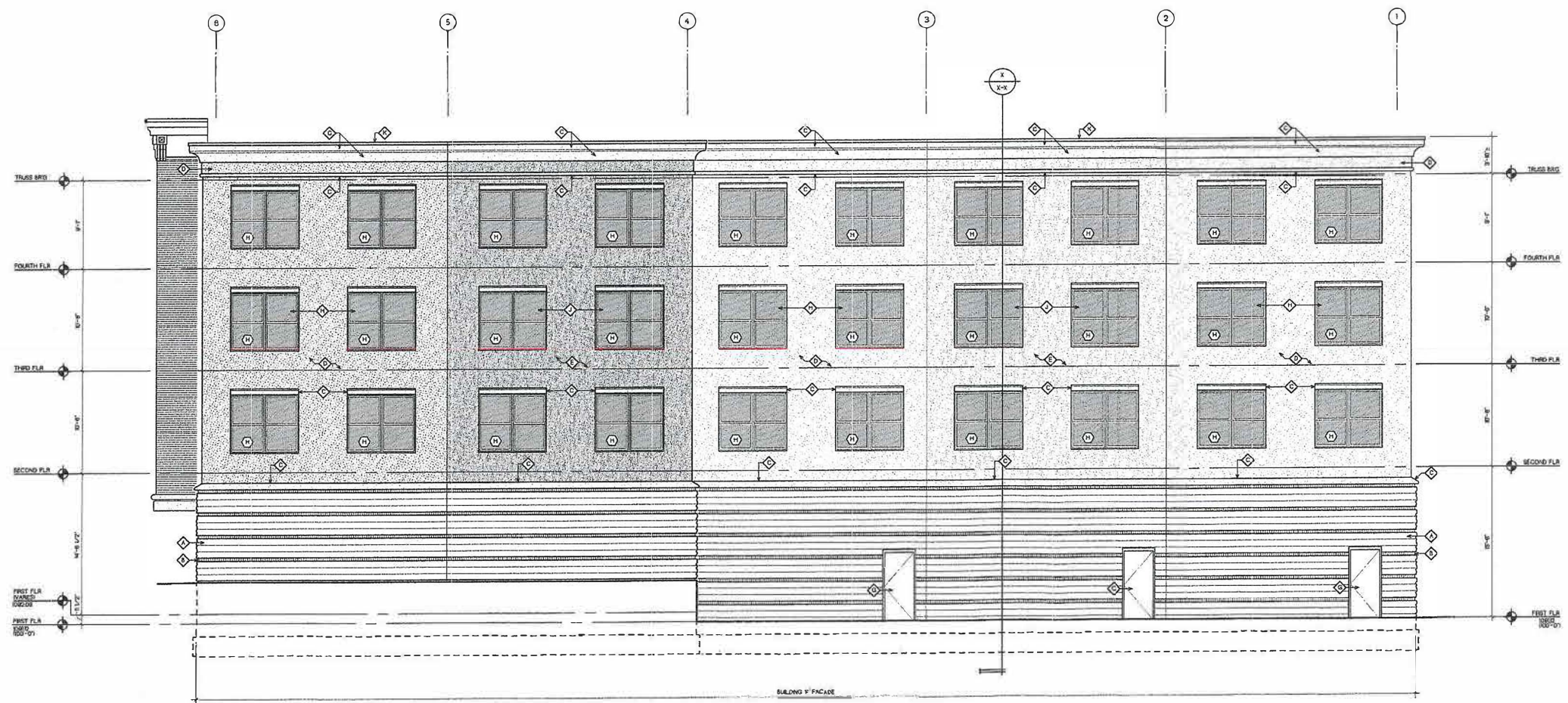
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**NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"

1:\DRAWINGS\WP\MOZLAKEA\_ARCH\BANKEN.AIA

# West Elevation Initially Approved No Significant Changes



WEST ELEVATION  
SCALE 3/16" = 1'-0"

STATE OF OHIO  
ANTHONY J. CERNY  
7926  
REGISTERED ARCHITECT  
ANTHONY J. CERNY #1805  
EXPIRATION DATE 12/31/2021

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# Early Concept



# Liberty View



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