




# BOARDS & COMMISSIONS APPLICATION

132 North Elmwood Avenue  
 Phone: 330-722-9023  
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 www.medinaoh.org

Application Number P22-15

<b>GENERAL</b>	Date of Application <u>5/17/2022</u> Property Location <u>600 W. LIBERTY ST</u> Description of Project <u>GYM EXPANSION</u> <hr/> <hr/>
<b>CONTACT INFORMATION</b>	<b>Applicant</b> Name <u>CARLIN VANDENDRIESSCHE</u> Address <u>3770 GRANGER RD</u> City <u>MEDINA</u> State <u>OH</u> Zip <u>44256</u> Phone <u>330-591-5769</u> Email <u>CARLIN@ROOT18CF.COM</u> <b>Property Owner</b> Name <u>PATRICK VANDENDRIESSCHE</u> Address <u>3770 GRANGER RD</u> City <u>MEDINA</u> State <u>OH</u> Zip <u>44256</u> Phone <u>330-350-1800</u> Email <u>PATRICK@GTSCO.COM</u>
<b>APPLICATION TYPE</b>	<b>Planning Commission</b> Site Plan <input checked="" type="checkbox"/> Conditional Zoning Certificate <input type="checkbox"/> Code or Map Amendment <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Conditional Sign (EMC/Shopping Ctr) <input type="checkbox"/> Cert. of Appr. (TCOV) <input checked="" type="checkbox"/> Other <input type="checkbox"/> <b>Historic Preservation Board</b> Certificate of Appropriateness <input type="checkbox"/> Conditional Sign <input type="checkbox"/> <b>Board of Zoning Appeals</b> Variance <input checked="" type="checkbox"/> Appeal <input type="checkbox"/>
<b>APPLICANT SIGNATURE</b>	By signing this application, I hereby certify that: 1) The information contained in this application is true and accurate to the best of my knowledge; 2) I am authorized to make this application as the property owner of record or I have been authorized to make this application by the property owner of record; 3) I assume sole responsibility for correspondence regarding this application; and 4) I am aware that all application requirements must be submitted prior to the formal acceptance of my application.  Signature <u></u> Date <u>5/17/2022</u>
<b>OFFICIAL USE</b>	Zoning District <u>M-U</u> Fee (See Fee Sheet) \$ <u>225</u> Meeting Date <u>6/9/22</u> Check Box when Fee Paid <input checked="" type="checkbox"/>

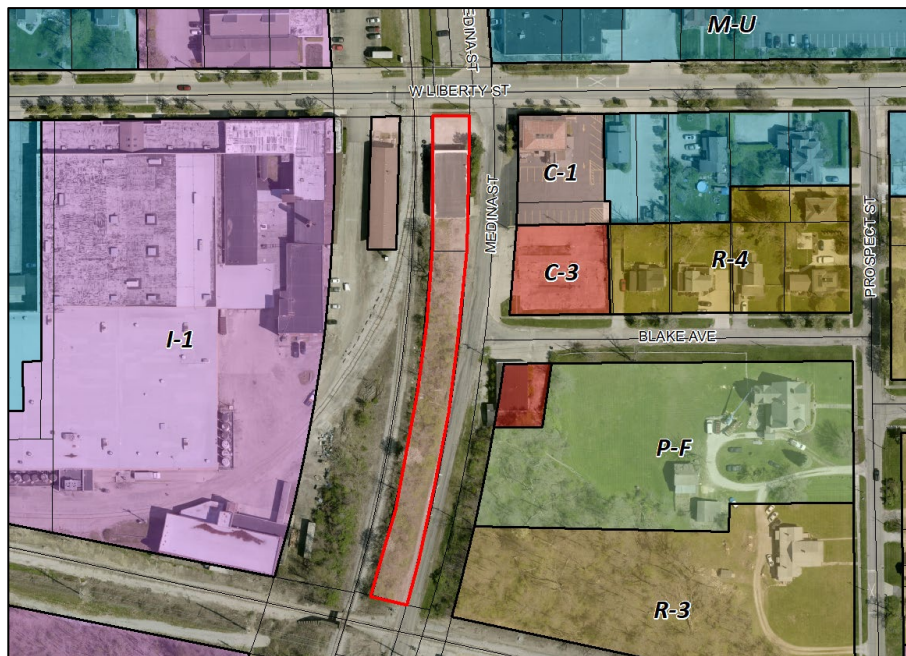
**P22-15**  
**Root 18 CrossFit Addition and Parking**  
**Revised**

Property Owner: Van-Park Properties LLC  
 Applicant: Carlin Vandendriessche  
 Location: 600 West Liberty Street  
 Zoning: C-1 (Local Commercial)  
 Request: Site Plan and TC-OV approval for a building addition, building alterations, and parking expansion

**LOCATION AND SURROUNDING USES**

The subject site is composed of 0.70 acres located on the southwest corner of West Liberty Street and Medina Street. Adjacent properties include the following uses and zoning:

- **North** – Parking and Railroad
- **South** – Railroad
- **West** – Retail (C-1) and Railroad
- **East** – Restaurants (C-1 and C-3), parking (C-3), Museum (P-F) and Single-Family Residential (R-3)



**BACKGROUND & PROPOSED APPLICATION**

The site currently contains Root 18 CrossFit, which incorporates small gravel parking lots in the front and rear of the building. The applicant is proposing a 1,880 sq. ft. (40 ft. x 47 ft.) front addition and the improvement and expansion of the parking area to the rear of the building. The application was previously approved in 2022, however, revised plans have been submitted with changes to the building, addition, and parking lot.

**DEVELOPMENT STANDARDS**

The following table indicates the general development standard requirements of the C-1 zoning district:

	<b>Required</b>	<b>Proposed</b>
<b>Min. Building Setback</b>		
Front	None	6 ft.
Side	None	1 ft.
Rear	25 ft.	NA
<b>Min. Lot Frontage</b>	None	50 ft.
<b>Max Building Height</b>	35 ft.	22 ft.

The project meets the applicable minimum general development standards.

**PARKING, ACCESS, AND CIRCULATION**

Access and Circulation – The proposed site will have a one-way counterclockwise circulation with ingress south of the existing building and egress on the south side of the property.

Required Off-Street Spaces – The subject use falls under the definition of “Personal and Professional Services” which requires a minimum of 1 parking space for every 300 sq. ft. of floor area, which can be exceeded by 20%. The total 5,606 sq. ft. building thus requires between 19 and 23 parking spaces. The site plan indicates 22 parking spaces.

Parking Dimensional Standards – Angled parking spaces must be 9 ft. x 18 ft. with a 13 ft. one-way drive aisle. The proposed parking lot meets these standards.

**LANDSCAPING, SCREENING, AND BUFFERING**

Parking Lot Landscaping – Per Sections 1145.04(g) and 1145.09(b), parking lots must be setback 10 ft. from any street right-of-way and must contain landscape features or other visual barriers. Parking is shown at a 2 ft. setback from the right-of-way with no visual barrier, which has received a variance from the Board of Zoning Appeals.

**UTILITIES AND STORMWATER**

The site has access to public water and sanitary sewer service. The applicant is working with the City’s Engineering Department regarding stormwater management and has proposed a small detention basin on the south side of the site.

**BUILDING ELEVATIONS AND LIGHTING**

The existing building has a green exterior composed of Concrete Masonry Units (CMU’s) on the rear section and brick on the front section. In addition, the existing building has a flat roof.

The front of the addition will have lower areas with green brick veneer and upper areas with gray vertical metal siding. The front will also have three large windows with white Azek features above them and decorative lighting.

The west side of the addition will incorporate white vertical metal siding. Vertical metal siding will also be added to the upper portion of the existing building.

The east side of the addition will have green CMU on the lower portion and vertical metal siding on the upper portion. The east side of the addition will also have a covered entryway. An awning is also shown over an existing entry on the south side of the building elevation.

Section 1109.04(c)(10) includes design guidelines stating:

- (7) Materials shall be appropriate for the structure and the use therein. Materials shall be weather-resistant. The materials shall be compatible with and not in stark contrast to the materials used on adjacent structures.
- (10) The following styles and materials are inappropriate and shall be **discouraged** from use:
  - C. Exposed concrete or cinder block on the front or sides of any building (except split face, ½ high or other special "architecturally patterned" block).

As noted, CMU's are proposed on the subject addition to be covered with an approved material. The Planning Commission has the ability to accept CMU's on all or part of the addition, or require other materials changes.

Lighting information is not included in revised plans, however, parking lot lights must be a maximum 25 ft. in height with a full cut-off (shining straight down) fixture per Section 1145.09(c).

### **SITE PLAN REVIEW STANDARDS**

The Planning Commission's review and action shall be based on the following Standards per Section 1109.02(c):

- (1) The site plan shows that a proper relationship does exist between thoroughfares, service roads, driveways and parking areas to encourage pedestrian and vehicular traffic safety.
- (2) All the development features including the principal buildings, open spaces, service roads, driveways and parking areas are so located and related as to minimize the possibility of any adverse effects upon adjacent development.
- (3) The site plan includes adequate provision for the screening of parking areas, service areas and active recreation areas from surrounding properties by landscaping and/or ornamental walls or fences. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (4) Grading and surface drainage provisions are reviewed and approved by the City Engineer.
- (5) The design and construction standards of all private streets, driveways and parking areas are to be built following approval of plans by the City Engineer according to construction standards specified in the Codified Ordinances.
- (6) Maximum possible privacy for multi-family dwellings and surrounding residential properties shall be provided through good design and use of proper building materials and landscaping. Visual privacy should be provided through structural screening and landscaping treatment. Auditory privacy in multi-family dwellings should be provided through soundproofing. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (7) The architectural design of buildings should be developed with consideration given to the relationship of adjacent development in terms of building height, mass, texture, materials, line and pattern and character.
- (8) Building location and placement should be developed with consideration given to minimizing removal of trees and change of topography. Any trees to be removed which are planted in a public right-of-way or on municipal property shall be reviewed by the Shade Tree Commission.
- (9) In multi-family developments, television and other antennas shall be centralized.
- (10) On-site circulation shall be designed to make possible adequate fire and police protection.
- (11) Off-street parking facilities shall be provided in accordance with Chapter 1145. In large parking areas, visual relief shall be provided through the use of tree planted and landscaped dividers, islands and

walkways. In multi-family developments no parking or service areas shall be permitted between any street and the main building. All trees planted shall be as found in specifications approved by the Shade Tree Commission.

- (12) Signs shall be provided in accordance with these Codified Ordinances.
- (13) Any trees planted on site shall be on approved list of Shade Tree Commission and planted in accordance with Commission standards.

### **TC-OV OVERLAY DEVELOPMENT GUIDELINES**

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The criteria contained in the Overlay District Development Guidelines shall be used by the Planning Commission to guide their decision. Applicable sections are as follows:

#### **TCOV.7 Exterior Renovation or Alterations of Existing Structures.**

- (a) The distinguishing original qualities of a building or structure should not be destroyed. The removal or alteration of historic materials or distinctive architectural features should be avoided when possible.
- (b) Architectural elements shall be sensitively designed to reflect detailing associated with the particular style of building.
- (c) The design elements and scale of a building addition shall be compatible with the design elements of the principal structure, in particular, building materials and color, roof lines and shapes and window proportions and alignment.

#### **TCOV.8 Building Materials and Appurtenances.**

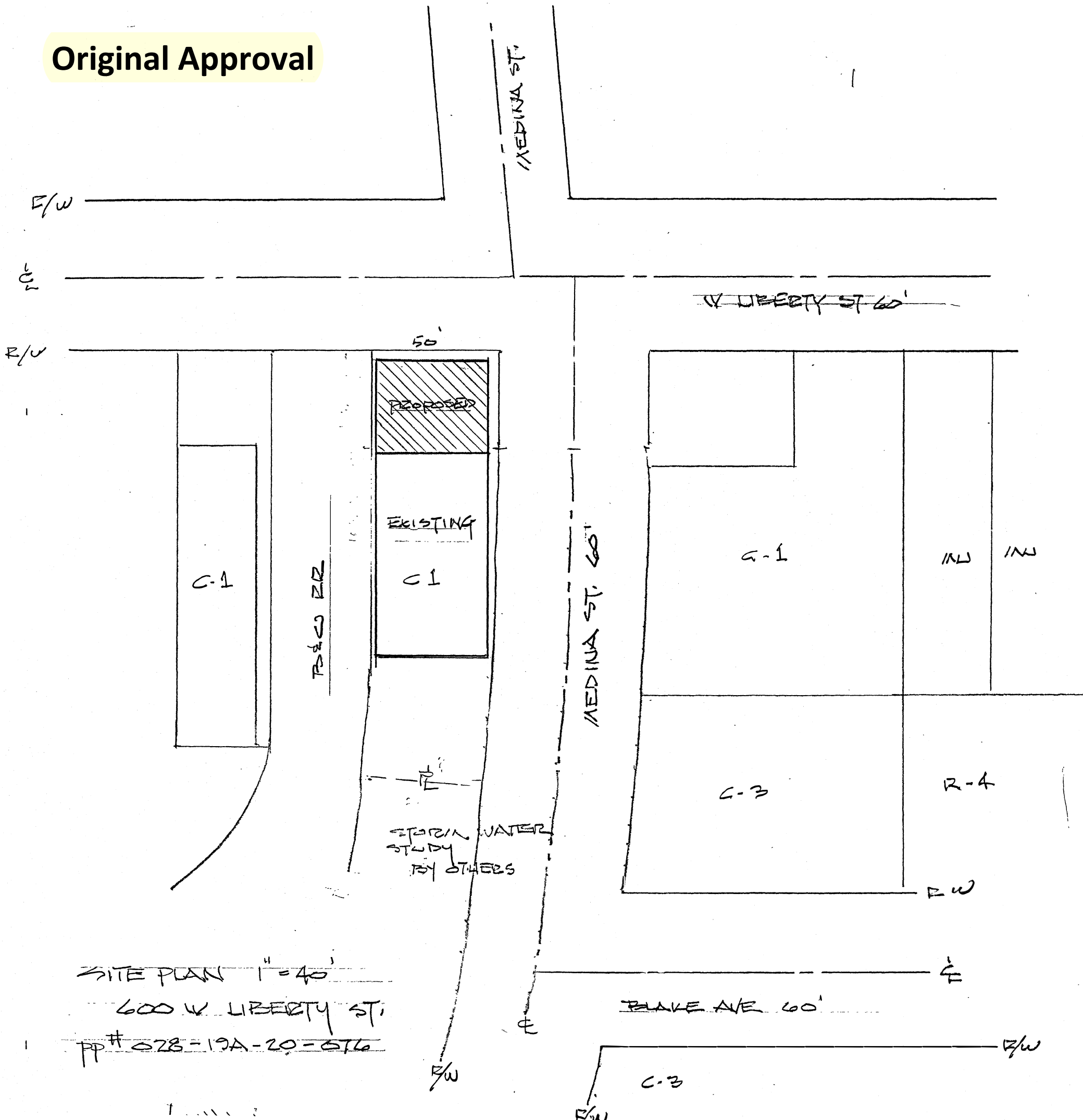
- (a) The architectural character and exterior building materials of new and remodeled buildings should be harmonious with surrounding buildings in color and texture, proportion, scale, patterns and opening sizes and shapes.
- (b) Construction materials and colors for walls and fences that are visible from the street should be uniform and compatible with the architectural style, color and building material of the building and its surroundings.
- (c) The original pattern of window and door openings and their shape and configuration should not be altered. Window and door openings should not be reduced, enlarged, or filled-in on street facade. Replacement windows and doors should match the original in size, shape and design.
- (d) Original materials should be repaired, restored, and reused whenever possible. Where necessary missing or deteriorated materials should be replaced with appropriate recycled or new materials which match the original as closely as possible.

### **COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION**

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Staff recommends **approval** of revised application P22-15 as submitted, with the condition that parking lot lighting shall be provided in compliance with Section 1145.09(c).

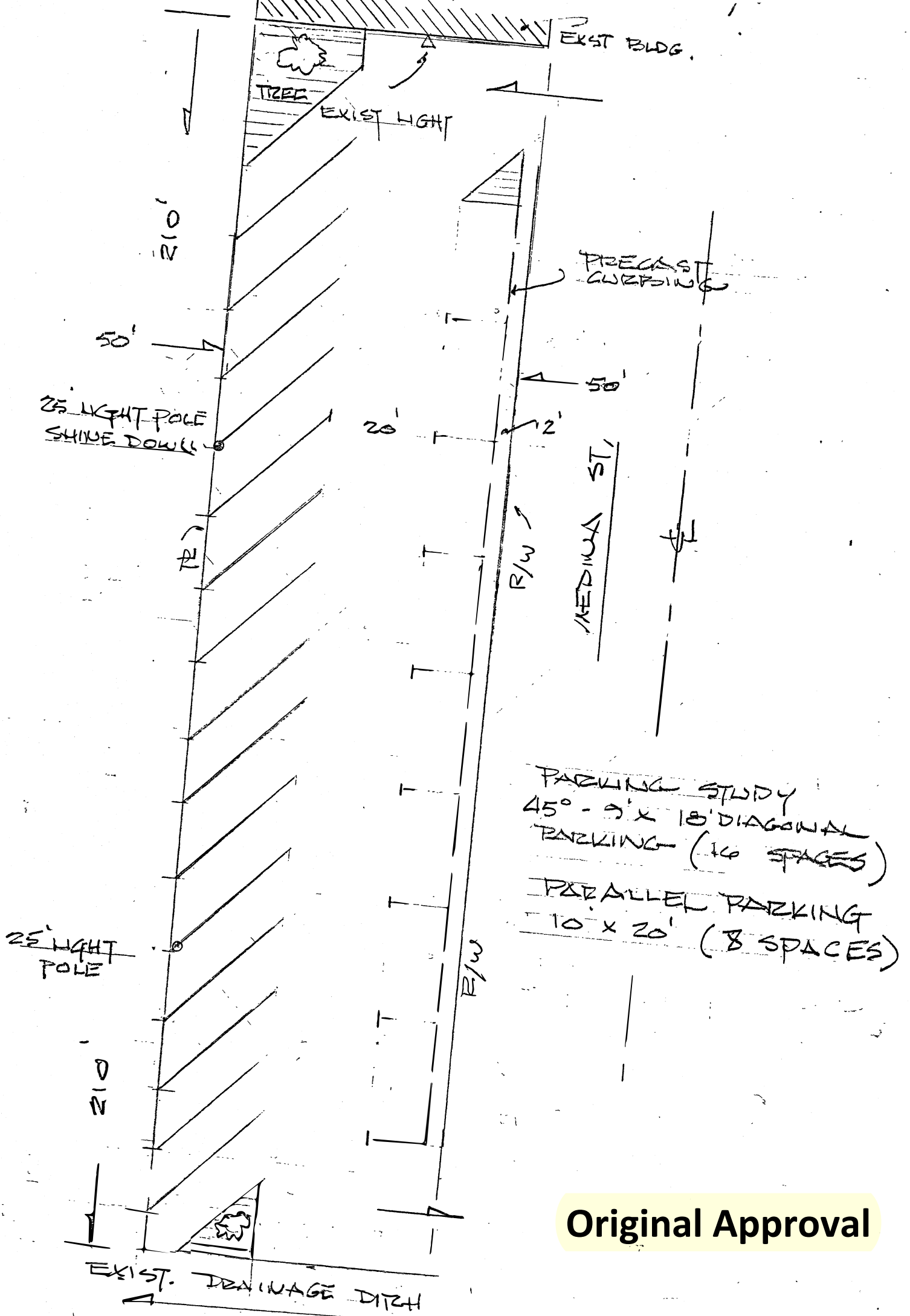
# Original Approval



SITE PLAN 1" = 40'

600 W LIBERTY ST.

PP# 028-19A-20-516



**Original Approval**

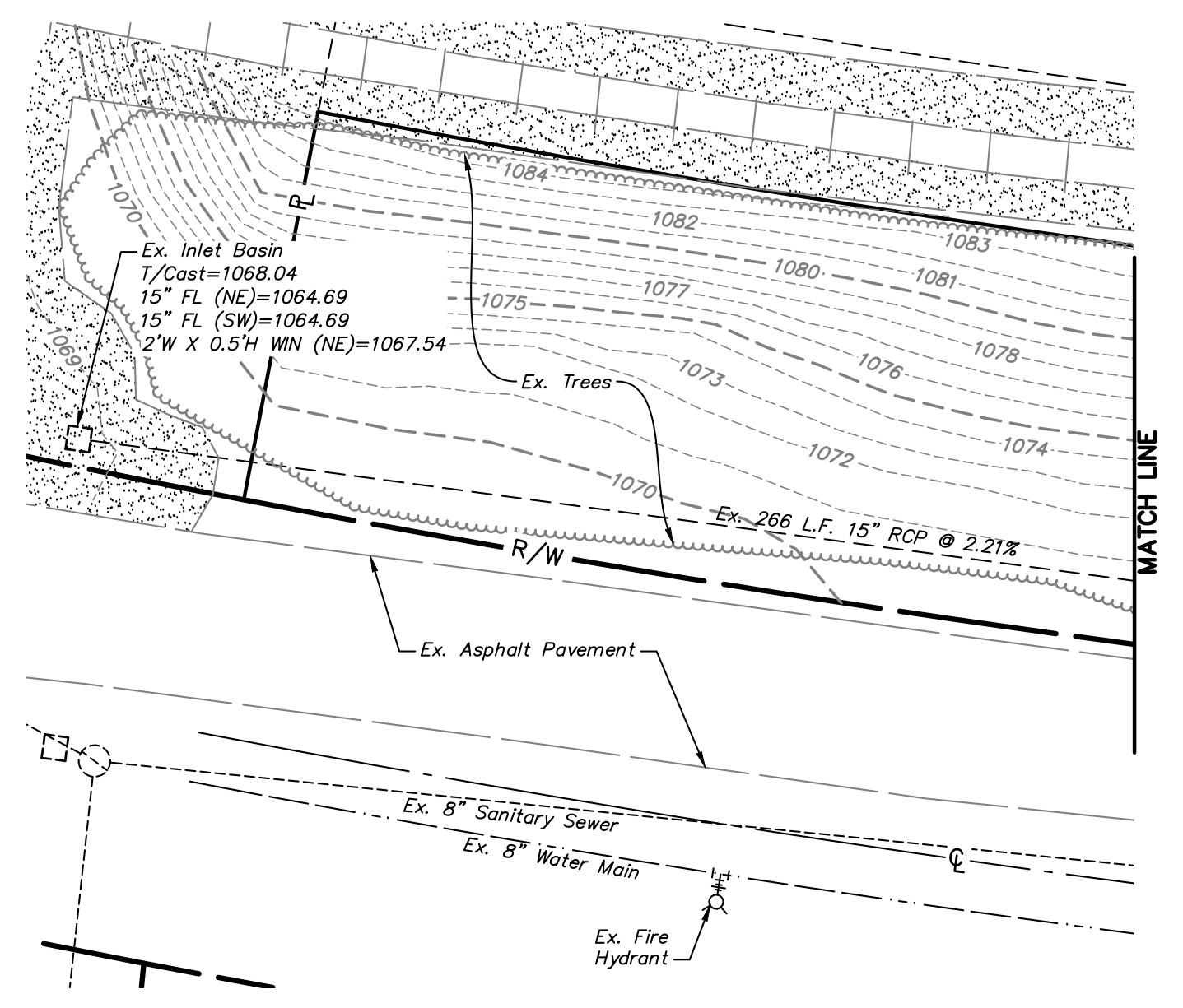
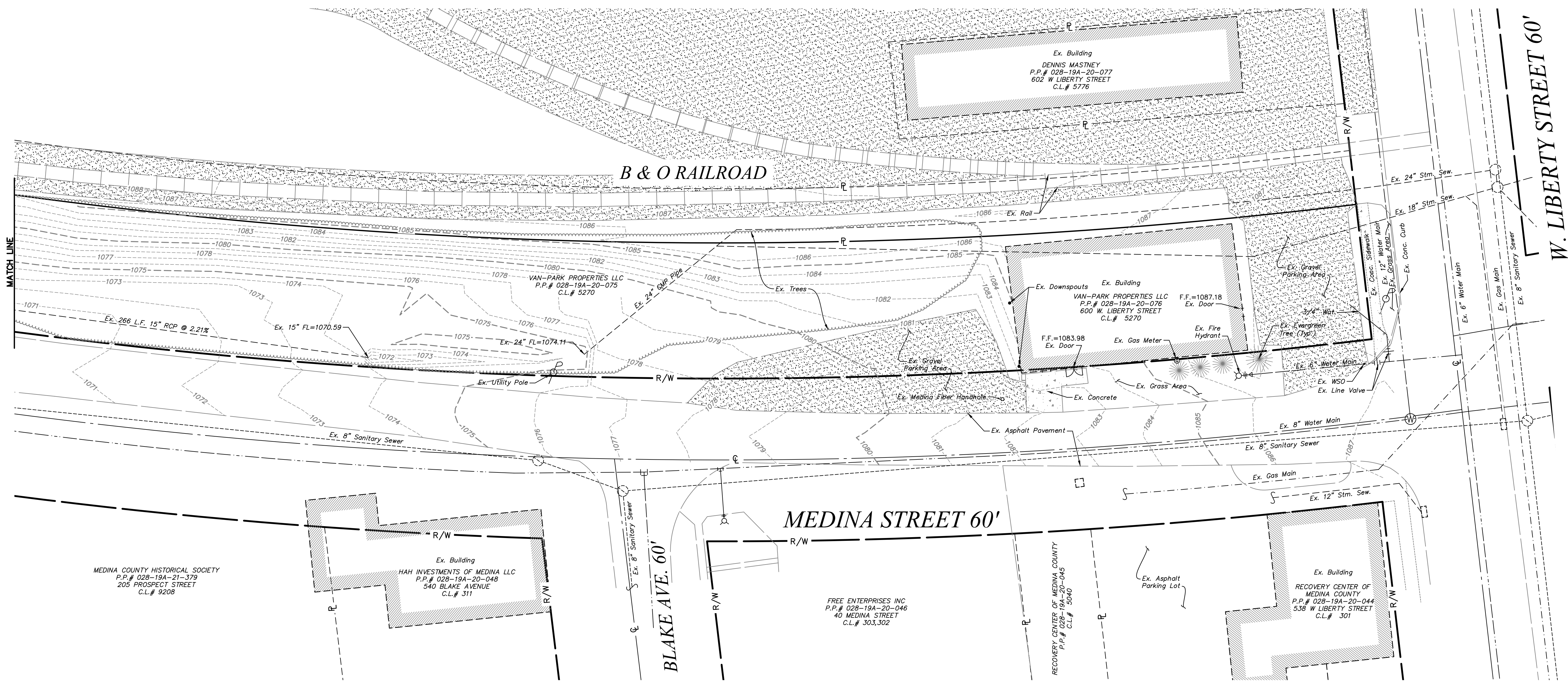
DATE	DESCRIPTION	BY

**ROOT 18 CROSSFIT**  
 LOCATED IN COUNTY OF MEDINA  
 CITY OF MEDINA  
**CUNNINGHAM & ASSOCIATES, INC.**  
 CIVIL ENGINEERING and SURVEYING  
 203 W. LIBERTY ST. MEDINA, OHIO 44226 330-725-5980

**EXISTING CONDITIONS PLAN**

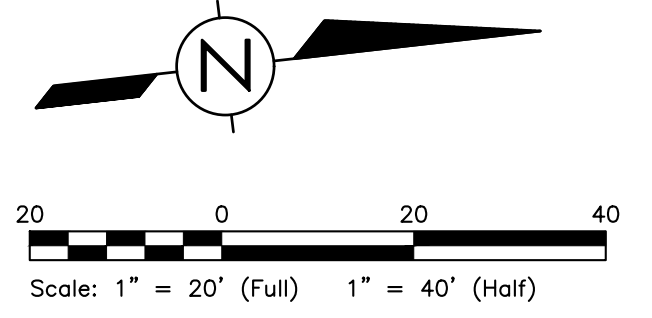
DRAWN BY: CAH  
 DATE: 02/02/23  
 CHECKED BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PROJECT No. 22-284  
 ACAD FILE No. M:122-284-EP

SCALE: PLAN- 1"=20'  
 PROFILE-Horz. Vert.  
 SHEET NO. 2/6



**LEGEND**

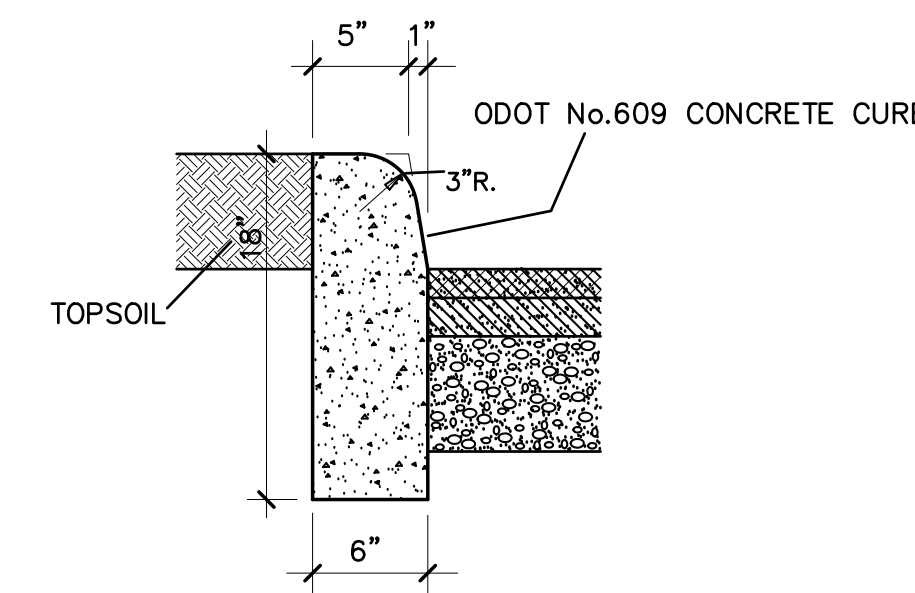
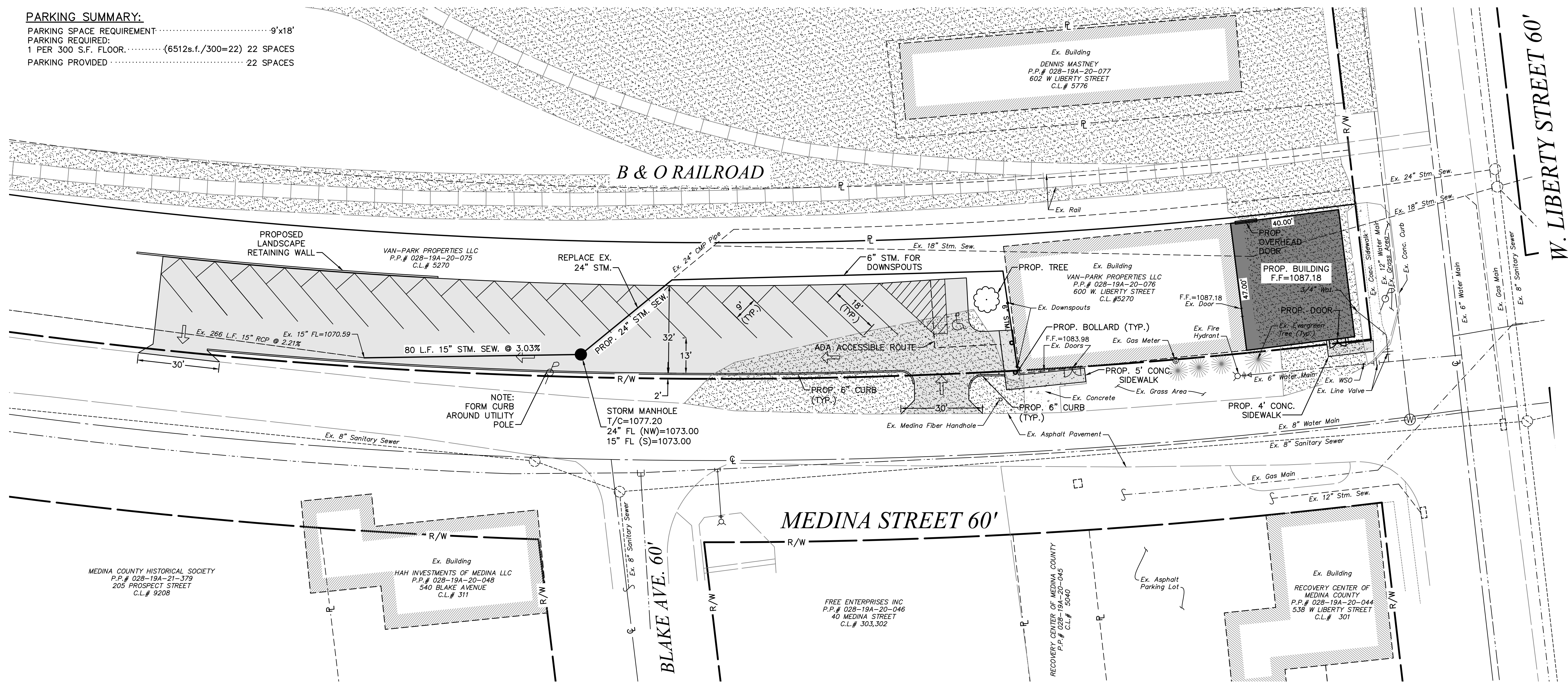
- EX. SANITARY SEWER
- ⊗ EX. SANITARY MANHOLE
- EX. STORM SEWER
- ⊙ EX. STORM MANHOLE
- EX. 2-2-B INLET BASIN
- EX. WATER MAIN
- ⊕ EX. HYDRANT ASSEMBLY
- EX. GAS LINE
- ⊕ EX. TELEPHONE POLE
- ⊕ EX. POWER POLE
- EX. CONTOUR
- EX. TREE LINE



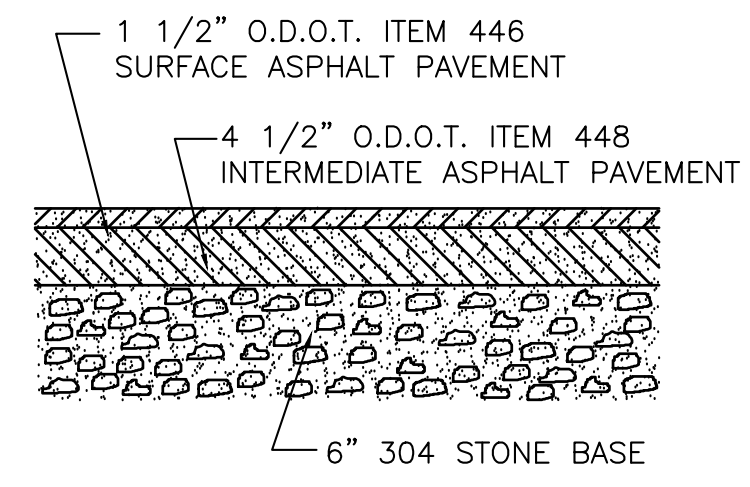


**PARKING SUMMARY:**

PARKING SPACE REQUIREMENT ..... 9'x18'  
 PARKING REQUIRED:  
 1 PER 300 S.F. FLOOR ..... (6512s.f./300=22) 22 SPACES  
 PARKING PROVIDED ..... 22 SPACES



**CONCRETE CURB DETAIL**  
 NOTE: USE INTEGRAL CURB IF PAVEMENT IS CONCRETE

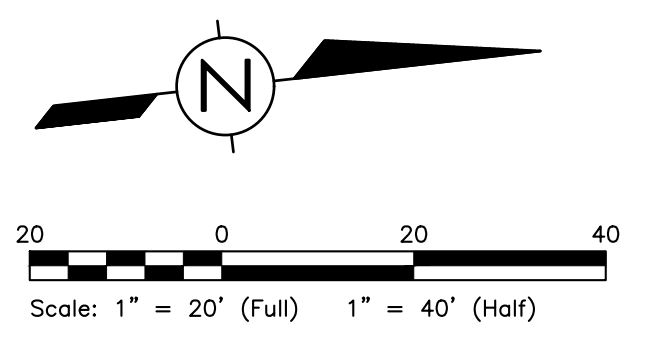


**ASPHALT PAVEMENT TYPICAL SECTION**

**LEGEND**

- EX. SANITARY SEWER
- EX. SANITARY MANHOLE
- EX. STORM SEWER
- EX. STORM MANHOLE
- EX. 2-2-B INLET BASIN
- EX. WATER MAIN
- ⊕ EX. HYDRANT ASSEMBLY
- EX. GAS LINE
- ⊕ EX. TELEPHONE POLE
- ⊕ EX. POWER POLE
- EX. CONTOUR
- EX. TREE LINE

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT



DATE	DESCRIPTION	BY

**ROOT 18 CROSSFIT**  
 LOCATED IN  
 COUNTY OF MEDINA  
 CITY OF MEDINA

**CUNNINGHAM & ASSOCIATES, INC.**  
 CIVIL ENGINEERING and SURVEYING  
 203 W. LIBERTY ST. MEDINA, OHIO 44226 330-725-5980

**SITE, PAVING & UTILITY PLAN**

DRAWN BY: CAH  
 DATE: 02/02/23  
 CHECKED BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PROJECT No. 22-284  
 ACAD FILE No. M:122-284-EP

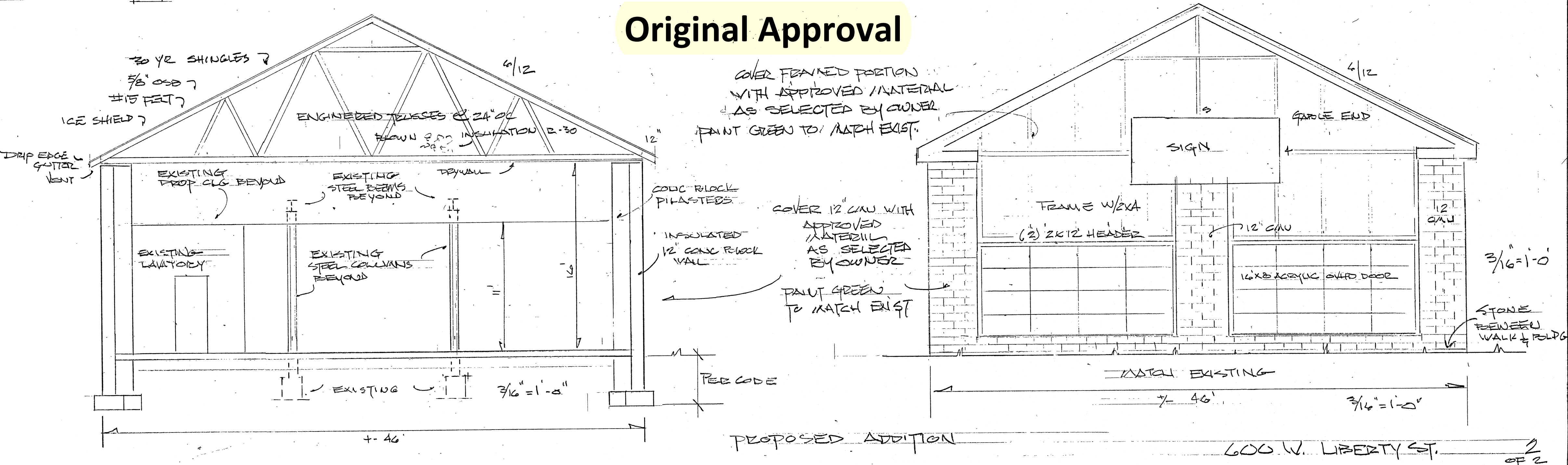
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 PROFILE-Horz. Vert.

SHEET NO.  
3 / 6

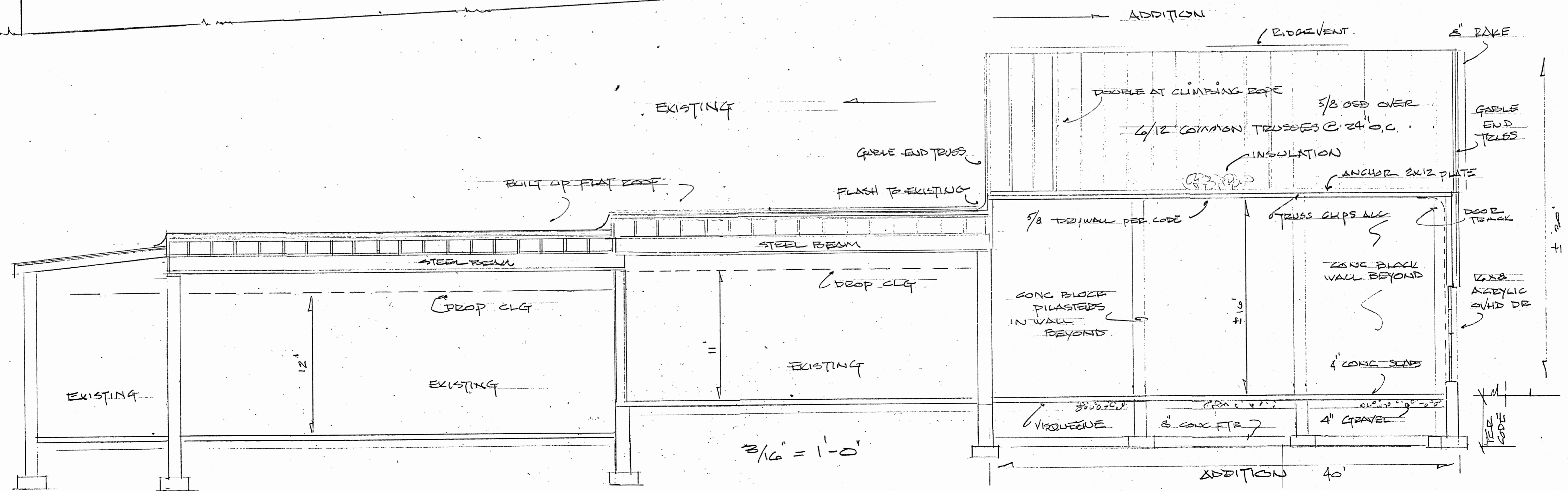
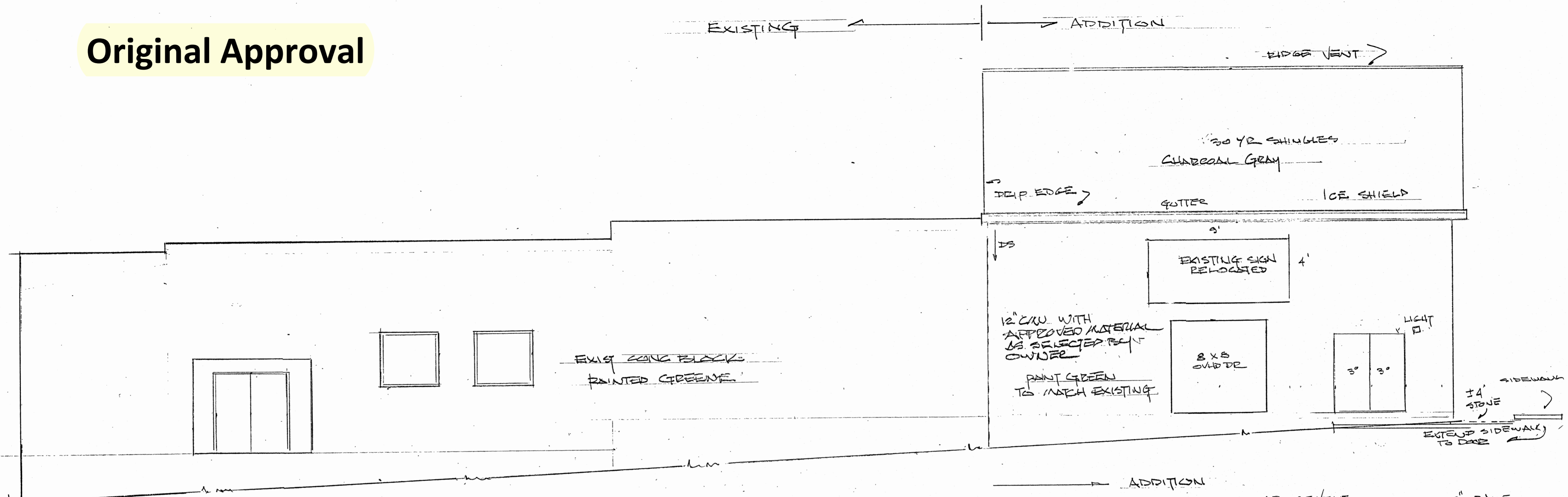
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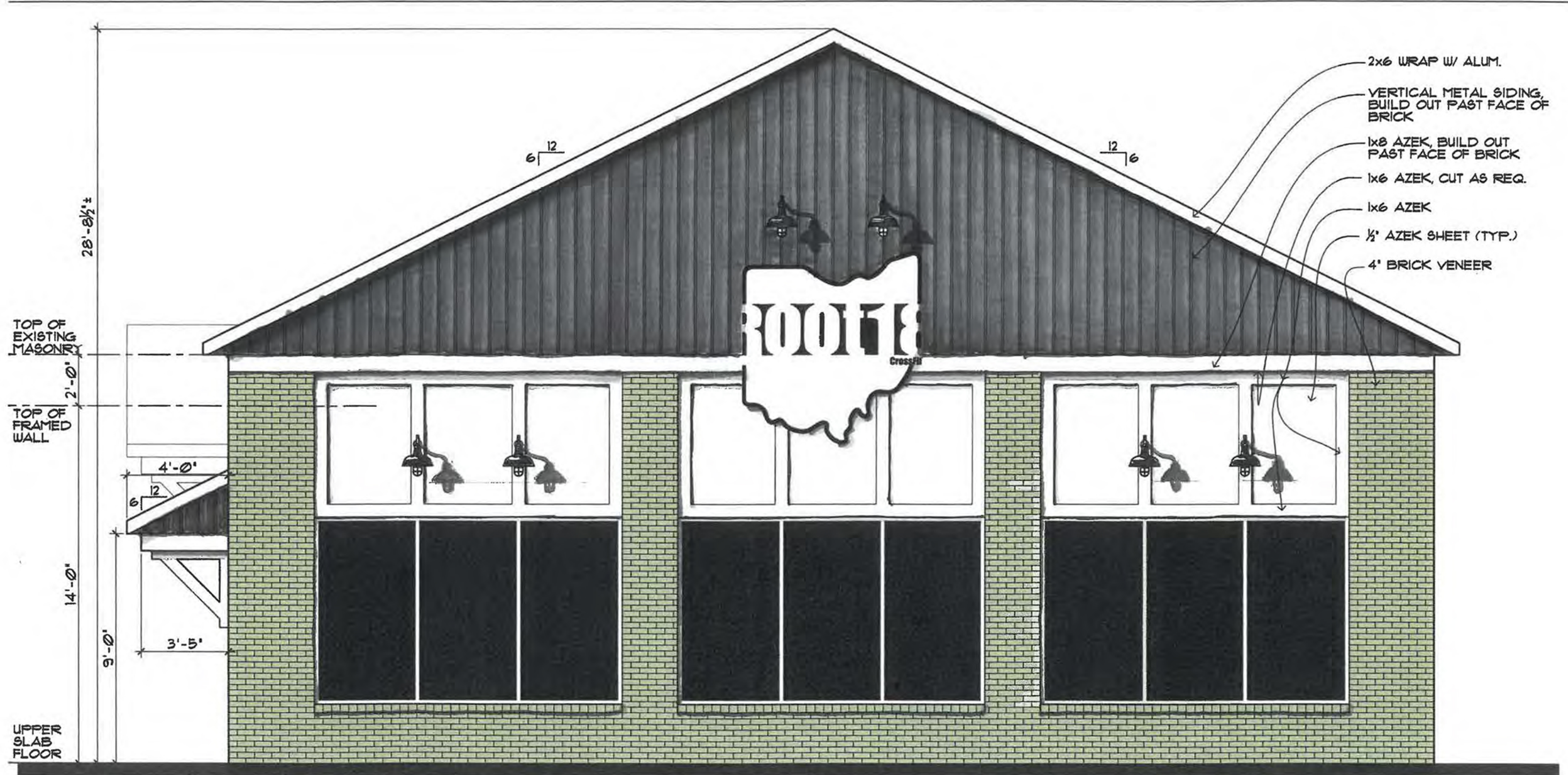


# Original Approval

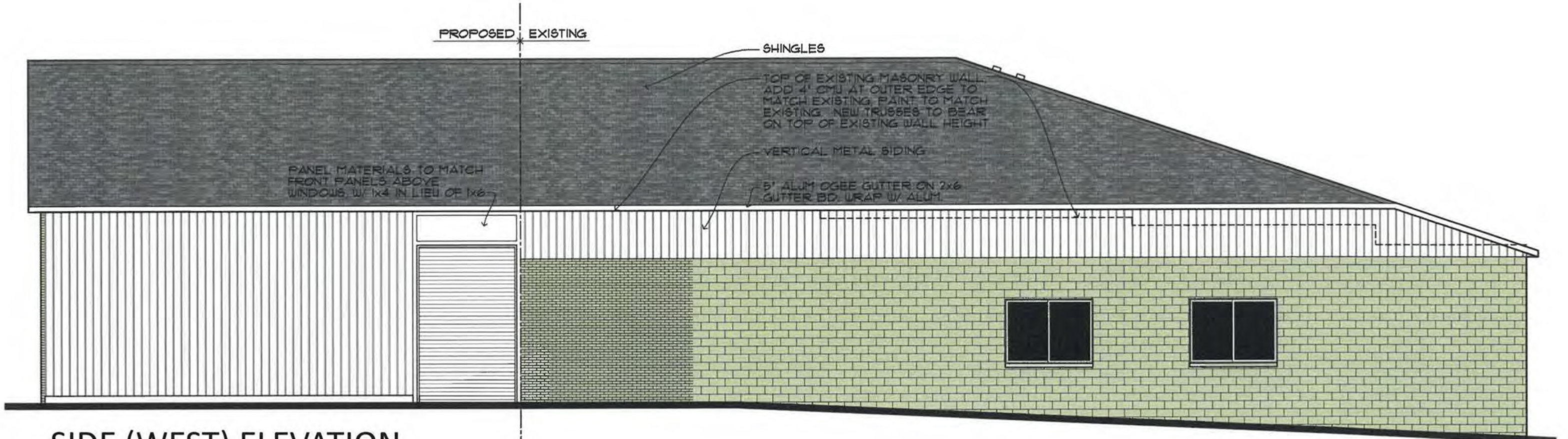


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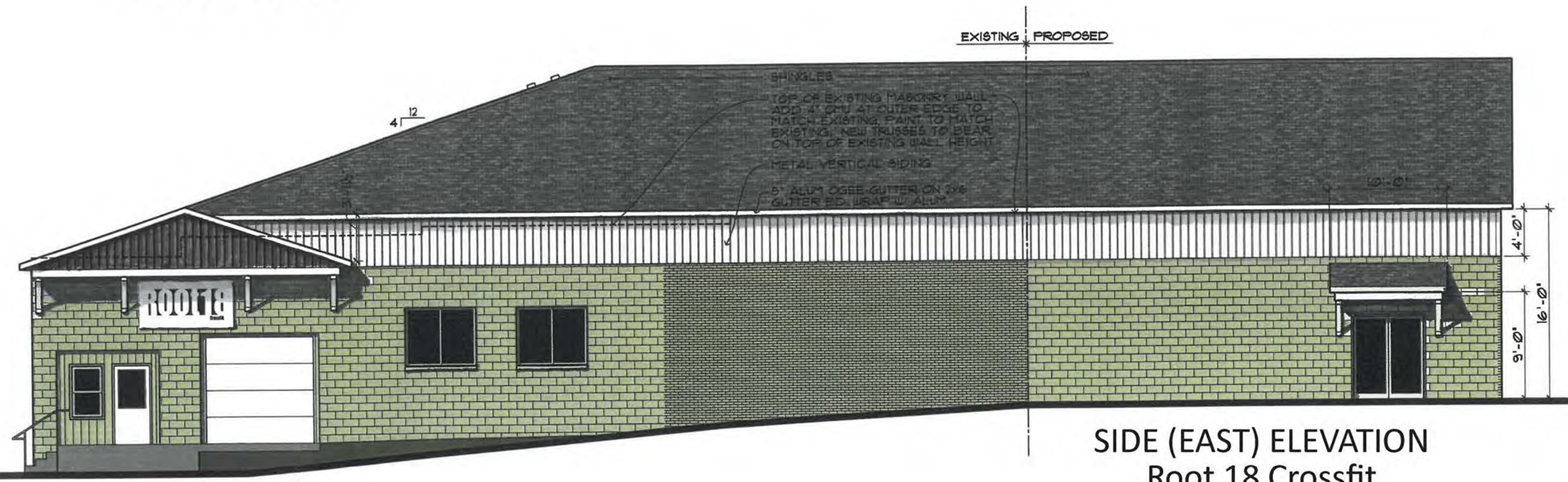




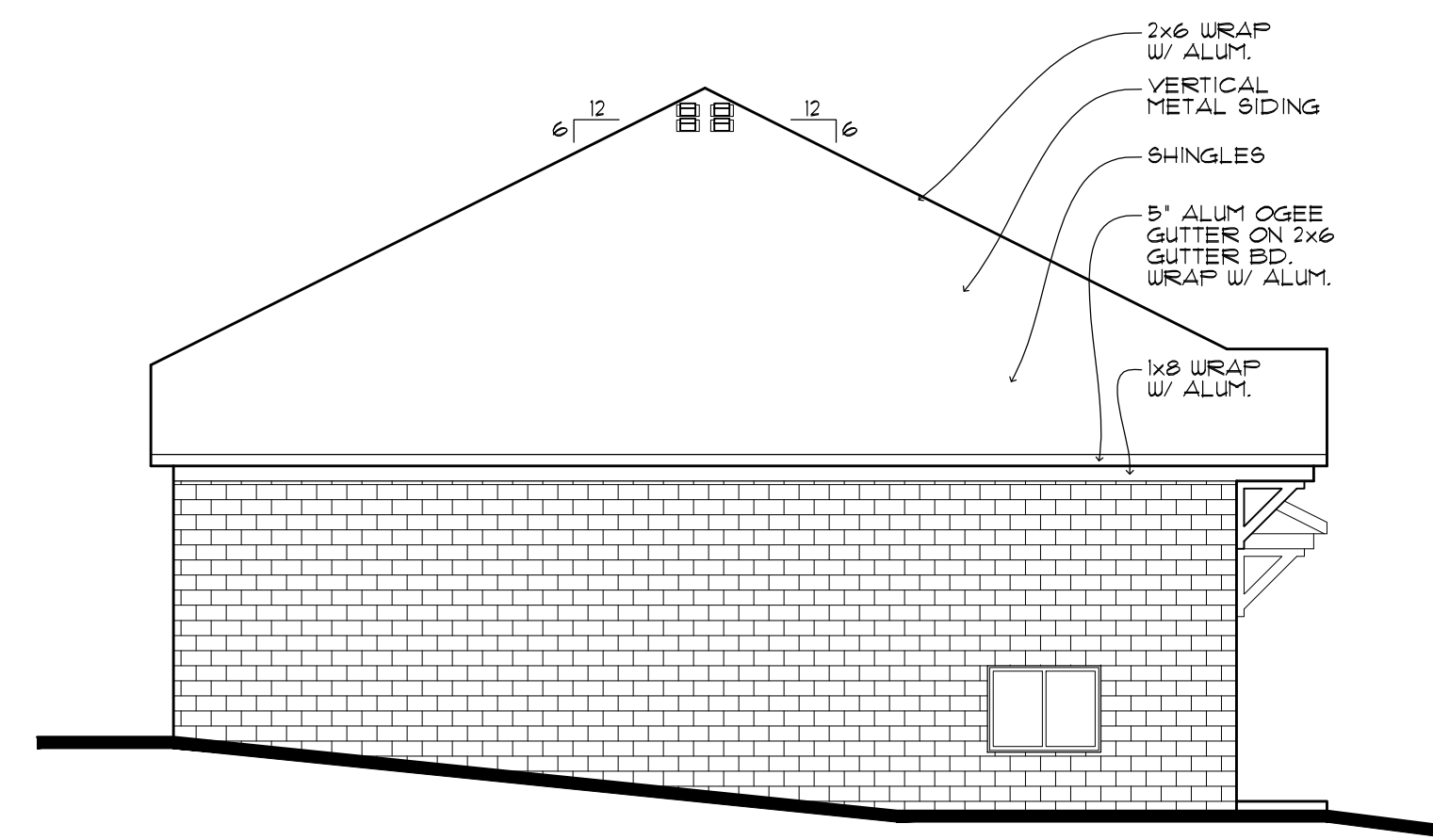
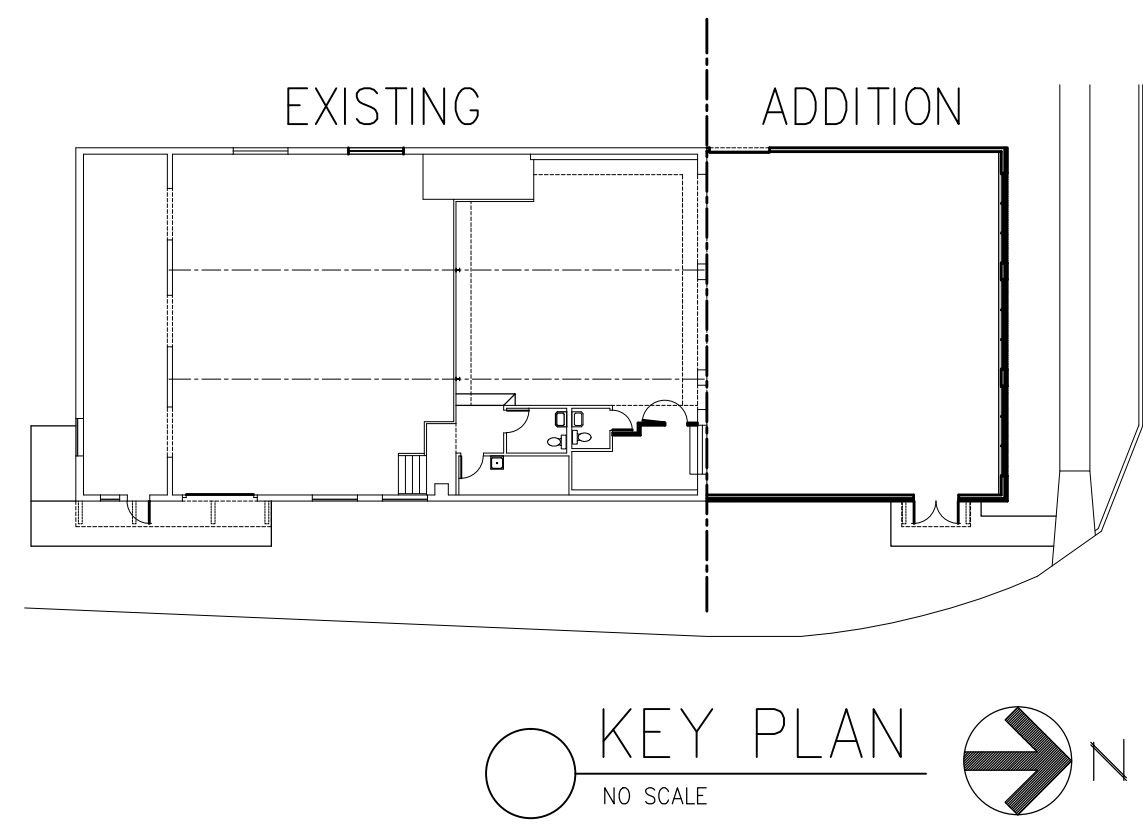
**FRONT (NORTH) ELEVATION**  
 Root 18 Crossfit



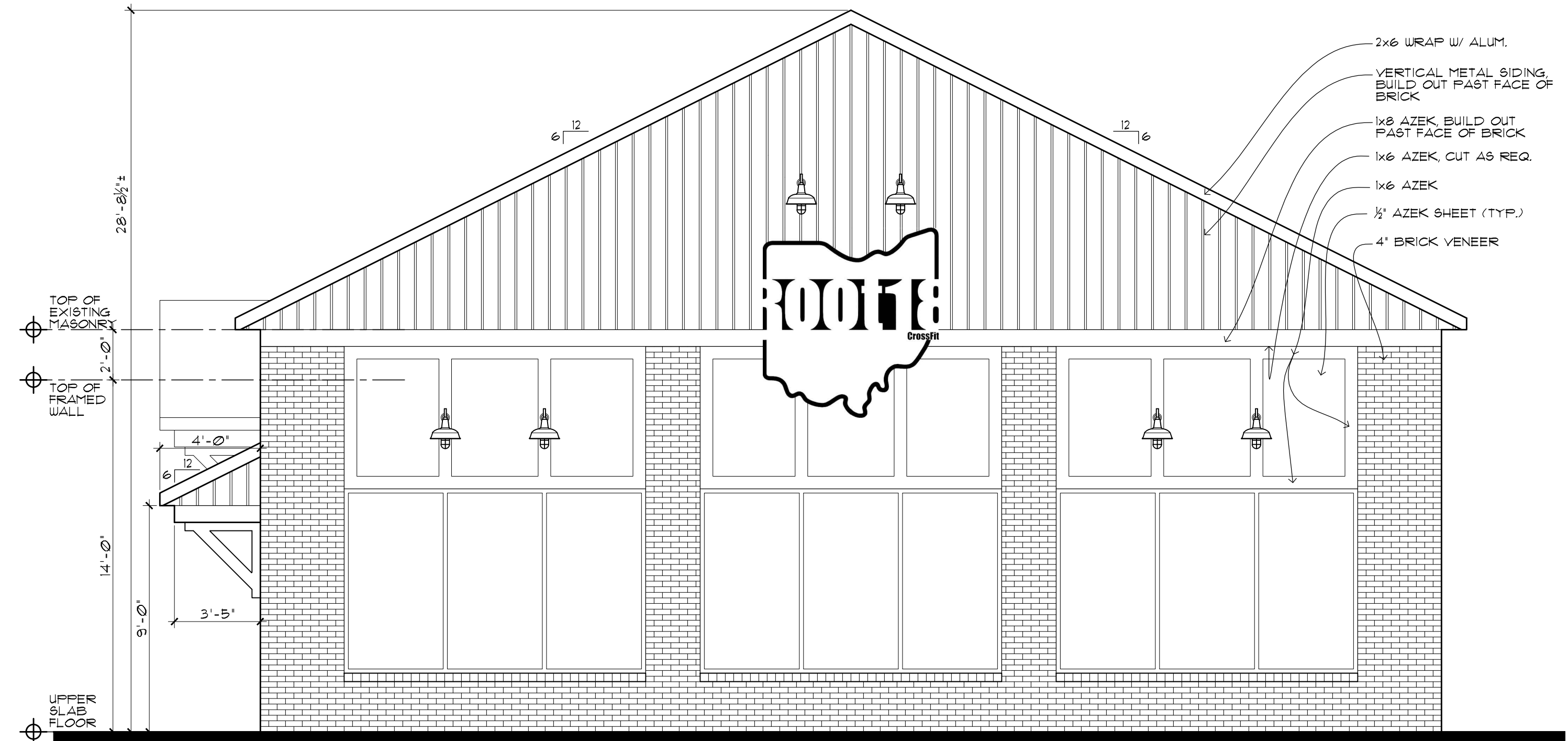
SIDE (WEST) ELEVATION  
Root 18 Crossfit



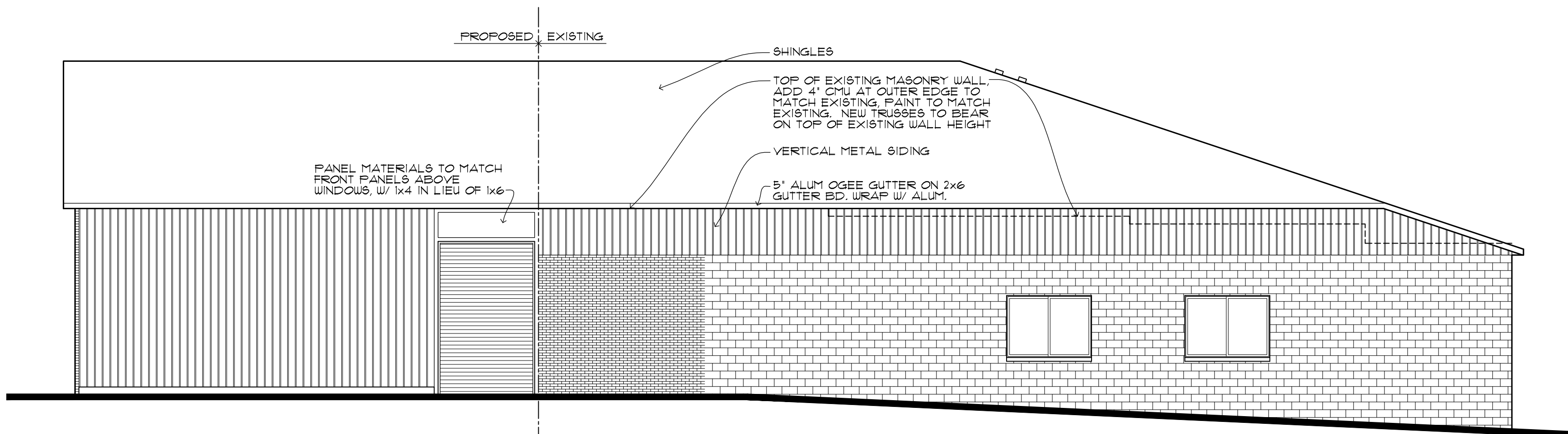
SIDE (EAST) ELEVATION  
Root 18 Crossfit



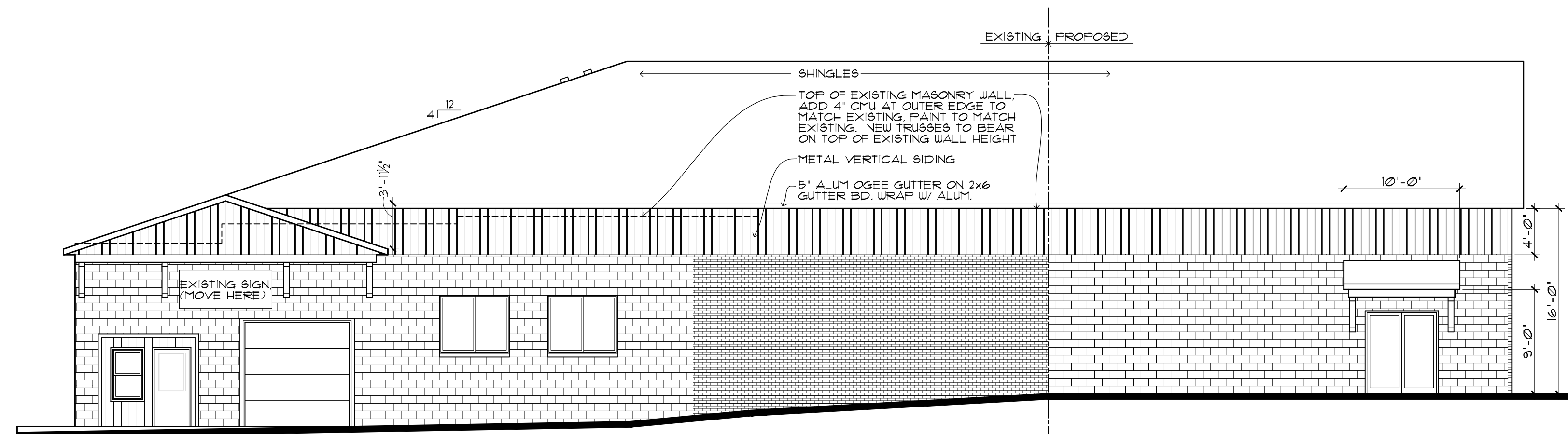
5 REAR ELEVATION (SOUTH)  
SCALE 1/8" = 1'-0"



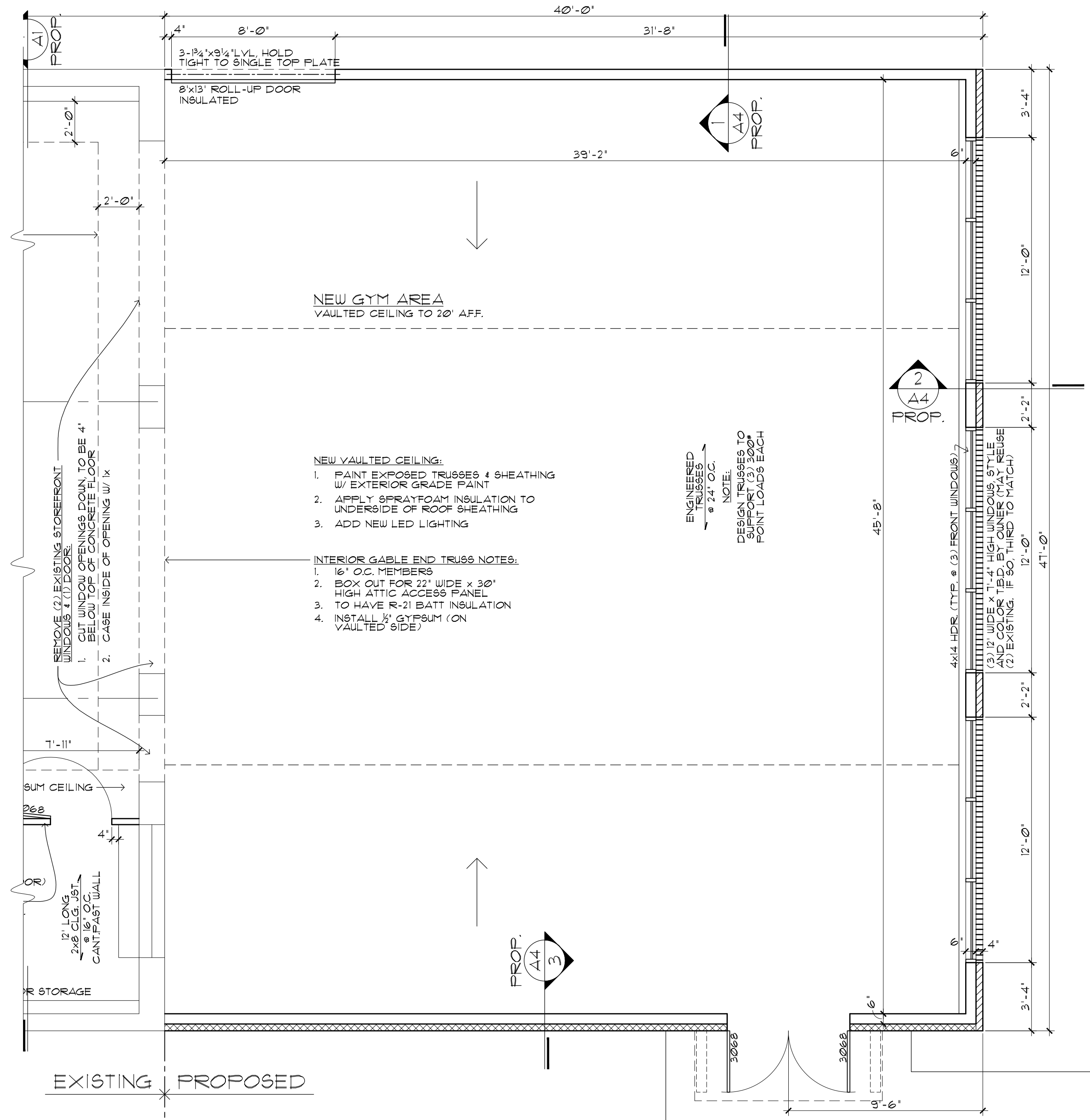
2 FRONT ELEVATION (NORTH)  
SCALE 1/4" = 1'-0"



4 SIDE ELEVATION (WEST)  
SCALE 1/8" = 1'-0"



3 SIDE STREET ELEVATION (EAST)  
SCALE 1/8" = 1'-0"



1 FIRST FLOOR ADDITION  
SCALE 1/4" = 1'-0"

