



## P23-01 Tractor Trailer Parking-Storage Area

Property Owner: AF Stan Real Estate LLC  
Applicant: Jay Bruckner  
Location: 5854 West Smith Road  
(Parcel Number 53-31C-02-007)  
Zoning: I-1 (Industrial)  
Request: Site Plan and Conditional Zoning Certificate approval for a tractor trailer parking and storage area

### **LOCATION AND SURROUNDING USES**

The subject site consists of 4.14 acres located on the south side of West Smith Road, north of the railroad tracks. Adjacent properties are zoned I-1 and include the following uses:

- North – Undeveloped & Warehouse
- West – Trucking & Automotive
- South – Manufacturing
- East – Manufacturing



### **BACKGROUND & PROPOSED APPLICATION**

The existing triangular property has been proposed for the storage and parking of tractor trailers on a predominantly gravel lot. Revised plans have incorporated a stormwater basin in the central portion of the site.

## **CONDITIONAL ZONING CERTIFICATE**

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The proposed use is considered “Motor Vehicle, Truck, Trailer and Farm Implement Repair, Service and Storage”, which is Conditionally Permitted Use in the I-1 zoning district.

### ***Conditional Zoning Certificate Basis of Determination***

The Planning Commission shall establish beyond reasonable doubt that the general standards and the specific standards pertinent to each use indicated herein are satisfied by the completion and operation of the proposed development. The Planning Commission may also impose such additional conditions and safeguards deemed necessary for the general welfare, for the protection of individual property rights and for the insuring that the intent and objectives of this Zoning Ordinance will be observed.

The Planning Commission shall review the particular facts and circumstances of each proposed use in terms of the following standards and shall find adequate evidence showing that such use on the proposed location:

- (1) Will be harmonious with and in accordance with the general objectives or with any specific objectives of the Land Use and Thoroughfare Plan of current adoption;
- (2) Will be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area;
- (3) Will not be hazardous or disturbing to existing or future neighboring uses;
- (4) Will not be detrimental to property in the immediate vicinity or to the community as a whole;
- (5) Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection drainage structures, refuse disposal and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide such service adequately;
- (6) Will be in compliance with State, County and City regulations;
- (7) Will have vehicular approaches to the property which shall be so designed as not to create an interference with traffic or surrounding public streets or roads.

## **SITE PLAN**

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### ***Setbacks and Lot Coverage***

Parking Setback – Per Section 1145.04(g), parking areas must be setback 10 ft. from the right-of-way. The parking area is setback approximately 25 ft. from the right-of-way.

Lot Coverage – Section 1141.05 indicates a maximum lot coverage of 85% in the I-1 zoning district. Lot coverage is compliant.

### ***Setbacks and Lot Coverage***

Access and Circulation – The proposed site includes two access drives with concrete aprons off West Smith Road. Section 114510(e) requires that access drives must be between 24 ft. to 60 ft. wide at the right-of-way and a maximum of 120 ft. wide at the curb line. Access drives have been revised to meet the required widths.

**Surface Materials** – Section 1145.09(a)(3)(A.) requires that parking areas must be a hard surface between the right-of-way and the rear of the building. The section further indicates that gravel may be utilized beyond the rear of the building in industrial areas. As no building is proposed on the property, the area between the right-of-way and the front building setback, which is 25 ft., must be a hard surface.

Access drives within 25 ft. of the right-of-way are concrete and parking areas further than 25 ft. from the right-of-way are gravel.

#### ***Landscaping, Screening, and Buffering***

Section 1145.09(b) requires a 10 ft. wide landscape strip between the right-of-way and a parking area. The section further requires landscaping materials or other visual barriers in the landscape strip. A 25 ft. landscape strip is located between the right-of-way and the parking area, which contains landscape materials.

#### ***Utilities, Stormwater, and Lighting***

No water or sanitary sewer services are proposed for the project. The applicant is working with the City's Engineering Department regarding stormwater management, with comments noted below.

Section 1145.09 requires lighting to have a maximum height of 25 ft. and incorporate a full cut-off fixture that shines straight down. On the "Lighting Arrangement" page of the plans, lighting has been noted as 25 ft. in height with a Lithonia Model #RSX2 fixture, which appears to be a full cut-off fixture.

#### ***Engineering Department Comments***

The Engineering Department's comments have been included in your packet. The Department has included a number of remarks regarding stormwater including:

- A stormwater management analysis will be necessary for the project
- A detention basin will need to be constructed on the site
- A stormwater operation and maintenance agreement will need to be executed with the City

Further noted is a requirement for driveway aprons to be constructed with concrete and compliant with access driveway width requirements. Plans have been revised to incorporate concrete drive aprons with appropriate widths.

#### ***Site Plan Review Standards***

The Planning Commission's review and action shall be based on the following standards per Section 1109.02(c):

- (1) The site plan shows that a proper relationship does exist between thoroughfares, service roads, driveways and parking areas to encourage pedestrian and vehicular traffic safety.
- (2) All the development features including the principal buildings, open spaces, service roads, driveways and parking areas are so located and related as to minimize the possibility of any adverse effects upon adjacent development.
- (3) The site plan includes adequate provision for the screening of parking areas, service areas and active recreation areas from surrounding properties by landscaping and/or ornamental walls or fences. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (4) Grading and surface drainage provisions are reviewed and approved by the City Engineer.

- (5) The design and construction standards of all private streets, driveways and parking areas are to be built following approval of plans by the City Engineer according to construction standards specified in the Codified Ordinances.
- (6) Maximum possible privacy for multi-family dwellings and surrounding residential properties shall be provided through good design and use of proper building materials and landscaping. Visual privacy should be provided through structural screening and landscaping treatment. Auditory privacy in multi-family dwellings should be provided through soundproofing. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (7) The architectural design of buildings should be developed with consideration given to the relationship of adjacent development in terms of building height, mass, texture, materials, line and pattern and character.
- (8) Building location and placement should be developed with consideration given to minimizing removal of trees and change of topography. Any trees to be removed which are planted in a public right-of-way or on municipal property shall be reviewed by the Shade Tree Commission.
- (9) In multi-family developments, television and other antennas shall be centralized.
- (10) On-site circulation shall be designed to make possible adequate fire and police protection.
- (11) Off-street parking facilities shall be provided in accordance with Chapter 1145. In large parking areas, visual relief shall be provided through the use of tree planted and landscaped dividers, islands and walkways. In multi-family developments no parking or service areas shall be permitted between any street and the main building. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (12) Signs shall be provided in accordance with these Codified Ordinances.
- (13) Any trees planted on site shall be on approved list of Shade Tree Commission and planted in accordance with Commission standards.

**COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION**

Staff recommends **approval** of application P23-01 as submitted.

## Andrew Dutton

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**From:** Patrick Patton  
**Sent:** Monday, January 30, 2023 12:23 PM  
**To:** Andrew Dutton  
**Subject:** FW: Site Plan Review  
**Attachments:** P23-01 File 2-9-23.pdf; Engineering Checklist for Commercial Site Plan.pdf

Andrew-

My comments for this project:

1. As submitted, we will not be able to approve this project. A storm water management analysis is required. Due to the size of the parcel and the site plan indicating the extent of the proposed parking area, a storm water detention basin will have to be built on the site to accommodate the future storm water runoff. Though the storm water management analysis is not required to be completed prior to Planning Commission approval, it is noted here because the location and size of the detention basin will affect the overall site plan.
2. A storm water operation and maintenance agreement will have to be executed between the applicant/owner and the City. This agreement will then be recorded with the Medina County Recorder.
3. The driveway aprons must be concrete.
4. Per City Codified Ordinances Section 1145.10 DRIVEWAYS TO PARKING AREAS the maximum driveway width at the right of way in an industrial area is 60 feet. The plans show a width of 65 feet.
5. Please submit the attached site plan approval checklist to the applicant.

Let me know if you have any questions, thanks.

Patrick Patton, PE  
City Engineer  
City of Medina, Ohio

Phone: (330) 721-4721  
Email: [ppatton@medinaoh.org](mailto:ppatton@medinaoh.org)  
Website: [www.medinaoh.org](http://www.medinaoh.org)

Medina City Hall / 132 N. Elmwood Avenue / Medina, Ohio 44256



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**From:** Sarah Tome <stome@medinaoh.org>  
**Sent:** Monday, January 23, 2023 1:19 PM  
**To:** Larry Walters <lwalters@medinaoh.org>; Medina Forestry <medinaforestry@medinaoh.org>; Patrick Patton <ppatton@medinaoh.org>; Edward Kinney <ekinney@medinaoh.org>; Sharon Garrison <sgarrison@medinaoh.org>;

## Andrew Dutton

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**From:** Mark Crumley  
**Sent:** Wednesday, January 25, 2023 12:58 PM  
**To:** Sarah Tome  
**Cc:** Andrew Dutton  
**Subject:** FW: Site Plan Review  
**Attachments:** P23-01 File 2-9-23.pdf

Sarah,

After review of the attached plans the Fire Department has no comment at this time.

Thanks

Mark Crumley, Asst. Chief  
Medina Fire Department  
300 W. Reagan Pkwy.  
Medina, Ohio 44256

Office: 330-723-5704



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**From:** Larry Walters <lwalters@medinaoh.org>  
**Sent:** Monday, January 23, 2023 2:02 PM  
**To:** Mark Crumley <mcrumley@medinaoh.org>  
**Subject:** FW: Site Plan Review

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**From:** Sarah Tome <[stome@medinaoh.org](mailto:stome@medinaoh.org)>  
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**Cc:** Andrew Dutton <[adutton@medinaoh.org](mailto:adutton@medinaoh.org)>  
**Subject:** Site Plan Review

CITY OF MEDINA PLANNING DEPARTMENT

REVIEW AND COMMENT FORM

Meeting Date: February 9, 2023

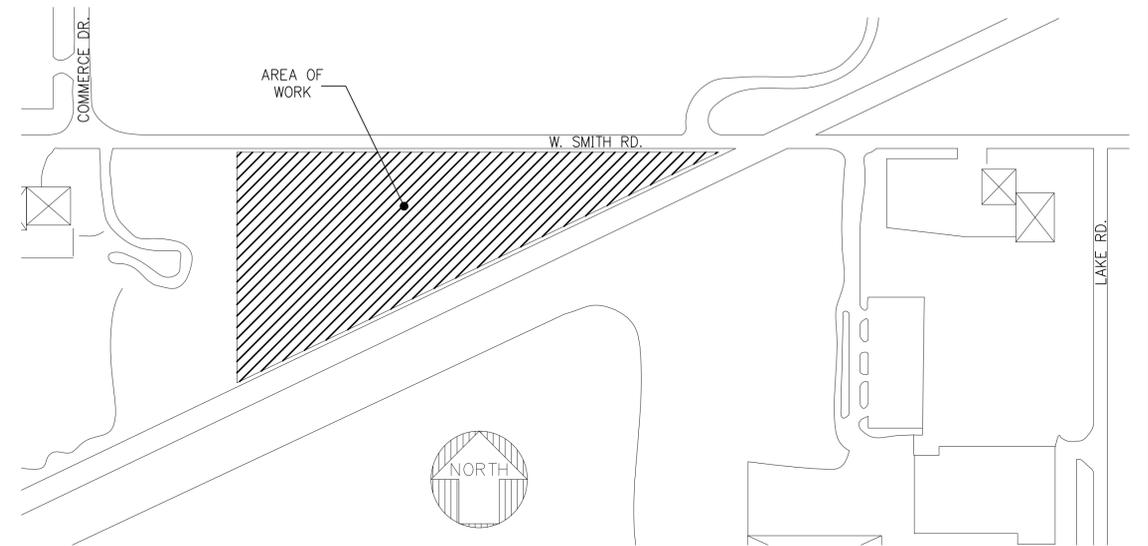
# AFSTAN REAL ESTATE LLC

5854 W. SMITH RD.  
TRUCK PARKING LOT



**CWWA, INC.**  
ENGINEERS \* DESIGNERS \* CONSULTANTS  
2575 MEDINA ROAD MEDINA, OH 44256  
330-722-9001

PROJECT MANAGER: JAY BRUCKNER  
CWWA PROJECT #: C2089



SITE PLAN

CIVIL/STRUCTURAL			
DWG. NO.	REV.	DATE	DRAWING TITLE
20890001	C	02-01-23	DRAWING INDEX & SITE PLAN
20891001	C	02-01-23	LAYOUT

ELECTRICAL			
DWG. NO.	REV.	DATE	DRAWING TITLE
20897101	C	02-01-23	ELECTRICAL WIRING DETAILS
20897201	C	02-01-23	POWER PANEL FOR PARKING LOT LIGHTS
20897301	C	02-01-23	PARKING LOT LIGHTING PLAN

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REVISION	DATE	ISSUED FOR
A	12/22/22	ISSUED FOR PLAN REVIEW
B	01/24/23	ISSUED FOR PLAN REVIEW
C	02/01/23	ISSUED FOR PLAN REVIEW
D	05/18/23	ISSUED FOR PLAN REVIEW

**TOLERANCES**  
UNLESS OTHERWISE SPECIFIED  
FRACTIONAL DIMENSIONS FABRICATED  $\pm 1/16"$   
FRACTIONAL DIMENSIONS MACHINED  $\pm 1/64"$   
2 PLACE DECIMAL DIMENSIONS  $\pm .010"$   
3 PLACE DECIMAL DIMENSIONS  $\pm .005"$   
ANGULAR DIMENSIONS  $\pm 0' 15"$

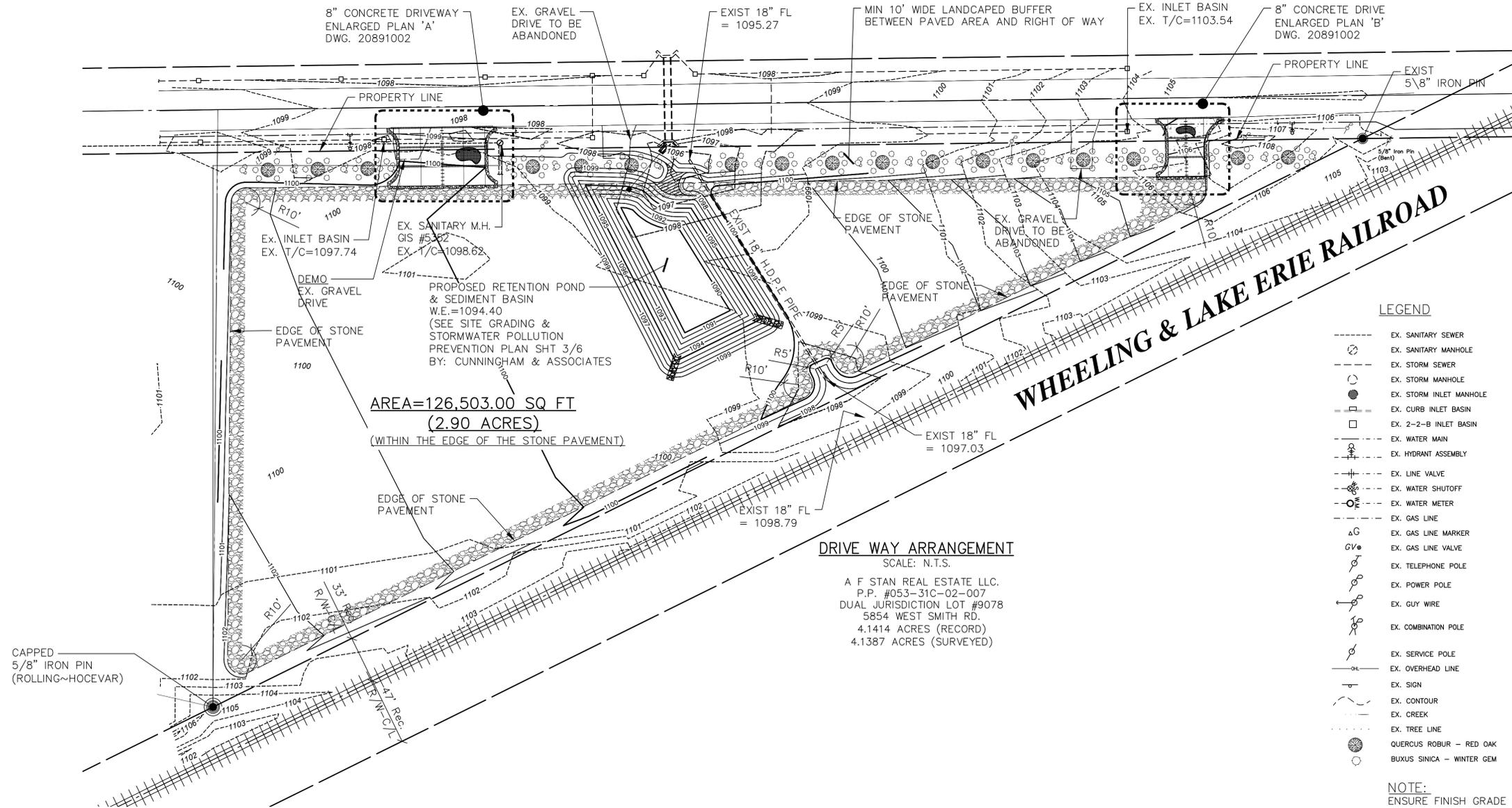
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BILLS OF MAT'L. \_\_\_\_\_  
DETAIL DWGS. \_\_\_\_\_  
\_\_\_\_\_

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CHK'D BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
APPR'D BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
SCALE: N.T.S. (D-SIZE PRINT ONLY)



CLIENT	
AFSTAN REAL ESTATE LLC	
MEDINA, OHIO	
AFSTAN REAL ESTATE LLC	
TRUCK PARKING LOT	
DRAWING INDEX & SITE PLAN	
	CWWA, INC. ENGINEERS * DESIGNERS * CONSULTANTS 2575 MEDINA ROAD MEDINA, OH 44256 330-722-9001
	PROJECT MANAGER JB
CWWA NO. 20890001	20890001 REV D
CLIENT PO.	20890001

# SMITH ROAD (C.H. 4) (60' R/W)



### LEGEND

- EX. SANITARY SEWER
- EX. SANITARY MANHOLE
- EX. STORM SEWER
- EX. STORM MANHOLE
- EX. STORM INLET MANHOLE
- EX. CURB INLET BASIN
- EX. 2-2-B INLET BASIN
- EX. WATER MAIN
- EX. HYDRANT ASSEMBLY
- EX. LINE VALVE
- EX. WATER SHUTOFF
- EX. WATER METER
- EX. GAS LINE
- △ EX. GAS LINE MARKER
- EX. GAS LINE VALVE
- EX. TELEPHONE POLE
- EX. POWER POLE
- EX. GUY WIRE
- EX. COMBINATION POLE
- EX. SERVICE POLE
- EX. OVERHEAD LINE
- EX. SIGN
- EX. CONTOUR
- EX. CREEK
- EX. TREE LINE
- QUERCUS ROBUR - RED OAK
- BUXUS SINICA - WINTER GEM

**NOTE:**  
ENSURE FINISH GRADE PROVIDES POSITIVE DRAINAGE TO NORTH OR SOUTH SWALES.

### DRIVE WAY ARRANGEMENT

SCALE: N.T.S.  
A F STAN REAL ESTATE LLC.  
P.P. #053-31C-02-007  
DUAL JURISDICTION LOT #9078  
5854 WEST SMITH RD.  
4.1414 ACRES (RECORD)  
4.1387 ACRES (SURVEYED)

AREA=126,503.00 SQ FT  
(2.90 ACRES)  
(WITHIN THE EDGE OF THE STONE PAVEMENT)

CLIENT  
**AFSTAN REAL ESTATE LLC**

MEDINA, OH  
AFSTAN REAL ESTATE LLC  
PARKING LOT  
LAYOUT



**CWVA, INC.**  
ENGINEERS \* DESIGNERS \* CONSULTANTS  
2575 MEDINA ROAD MEDINA, OH 44256  
330-722-9001

PROJECT MANAGER: JB  
CLIENT P.O.: C-2089  
20891001  
REV D

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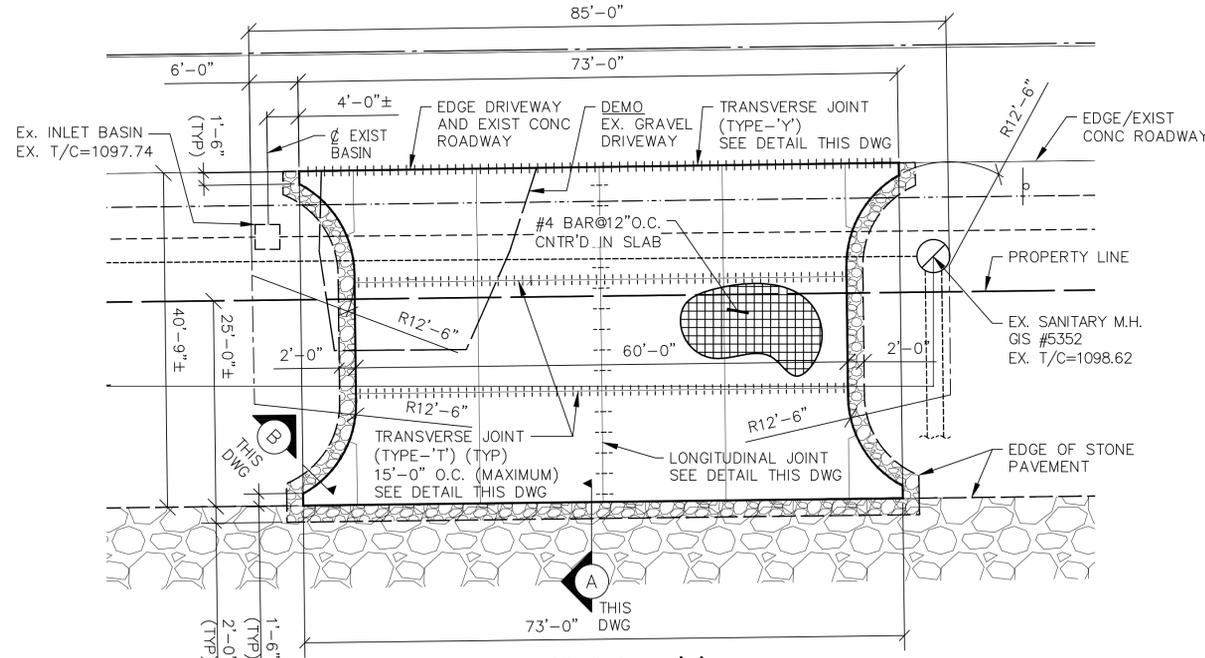
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FRACTIONAL DIMENSIONS MACHINED ±1/64"  
2 PLACE DECIMAL DIMENSIONS ±.010"  
3 PLACE DECIMAL DIMENSIONS ±.005"  
ANGULAR DIMENSIONS ±0° 15'

**REFERENCE DRAWINGS**  
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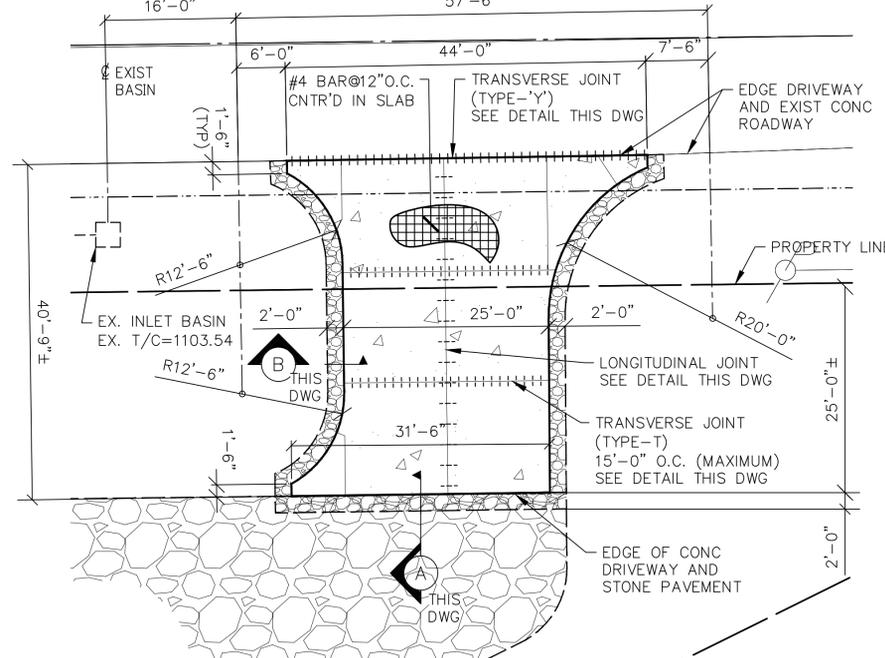
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CHK'D BY: JB DATE: 12-22-22  
APPR'D BY: JB DATE: 12-22-22  
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### SMITH ROAD (C.H. 4) (60' R/W)

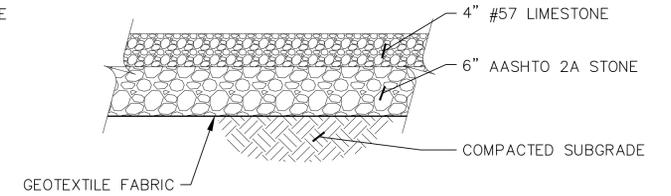
### SMITH ROAD (C.H. 4) (60' R/W)



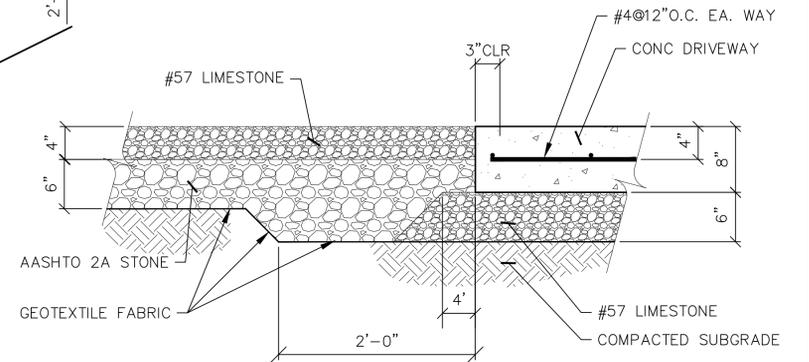
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DWG. 20891001



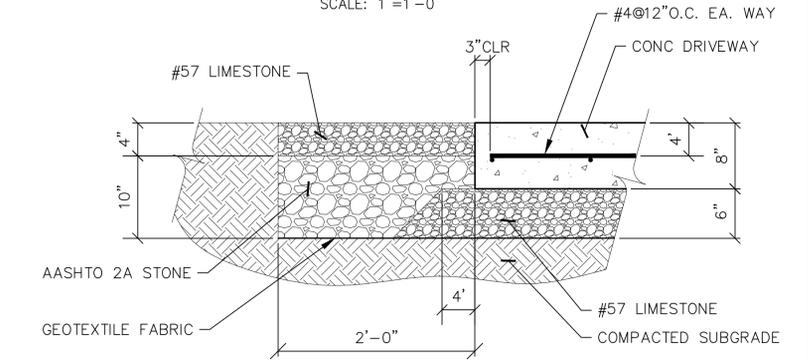
**ENLARGED PLAN 'B'**  
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DWG. 20891001



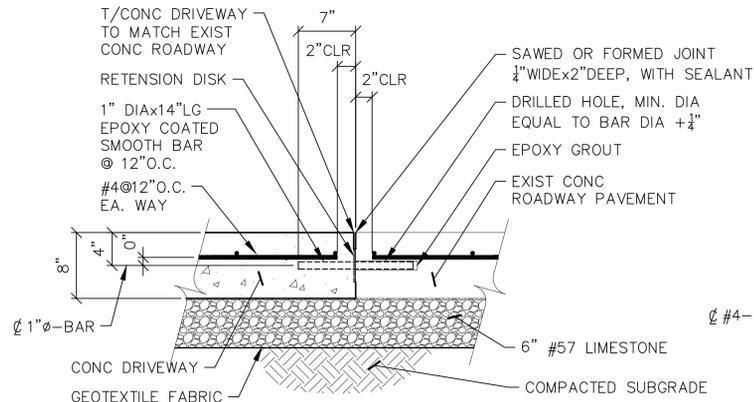
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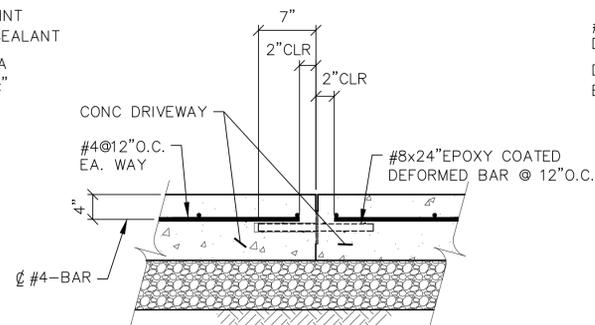
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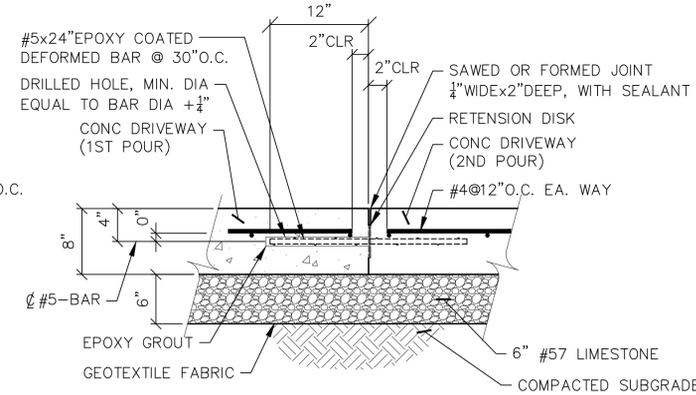
**SECTION 'B'**  
SCALE: 1"=1'-0"



**TRANSVERSE JOINT DETAIL  
TYPE 'Y' (COMPRESSION)**  
SCALE: 1"=1'-0"



**TRANSVERSE JOINT DETAIL  
TYPE 'T' (TIED)**  
SCALE: 1"=1'-0"



**LONGITUDINAL JOINT DETAIL**  
SCALE: 1"=1'-0"

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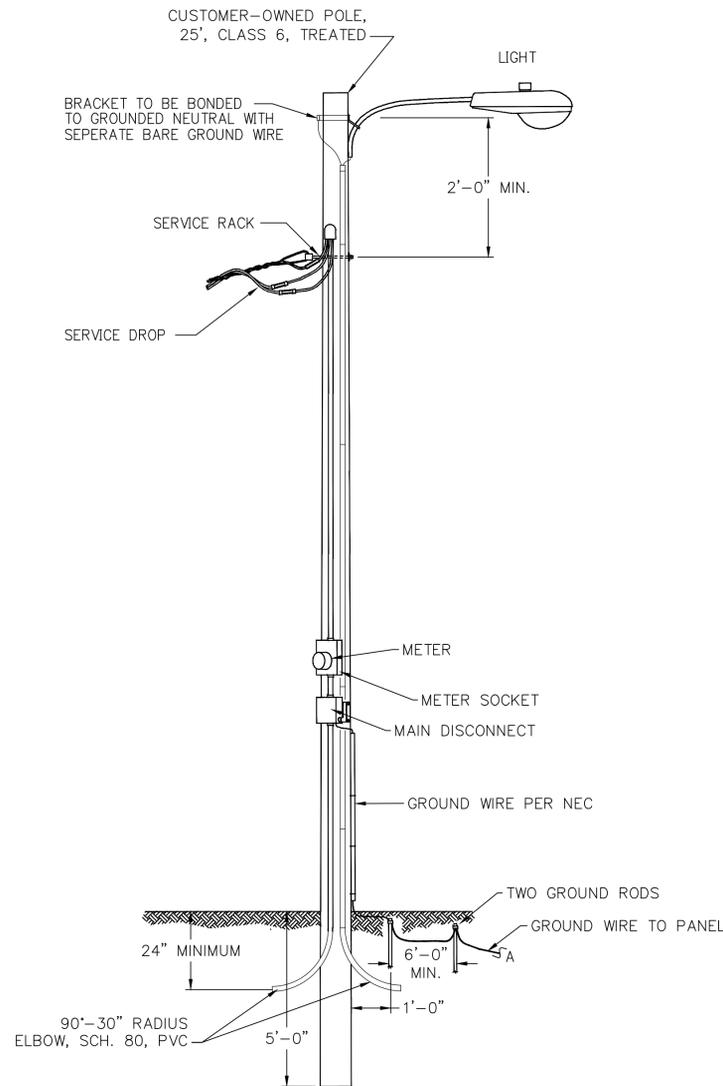
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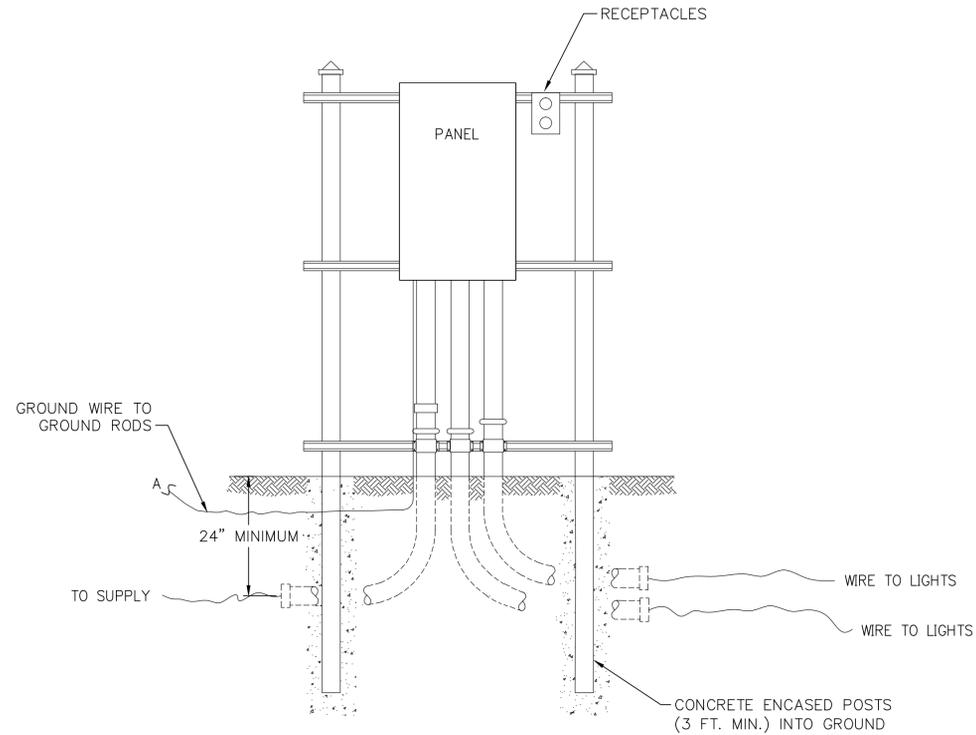
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CHK'D BY: JB	DATE: 02-03-23
APPR'D BY: JB	DATE: 02-03-23
SCALE: 1"=	(D-SIZE PRINT ONLY)

CLIENT	
AFSTAN REAL ESTATE LLC	
MEDINA, OH AFSTAN REAL ESTATE LLC PARKING LOT ENLARGED PLAN 'A'	
	CWWA, INC. ENGINEERS * DESIGNERS * CONSULTANTS 2575 MEDINA ROAD MEDINA, OH 44256 330-722-9001
PROJECT MANAGER JB	CWWA NO. C-2089 CLIENT P.O. 20891002
	REV D

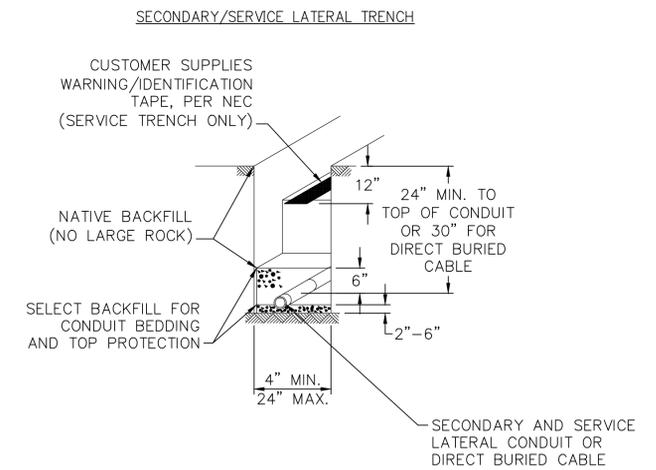
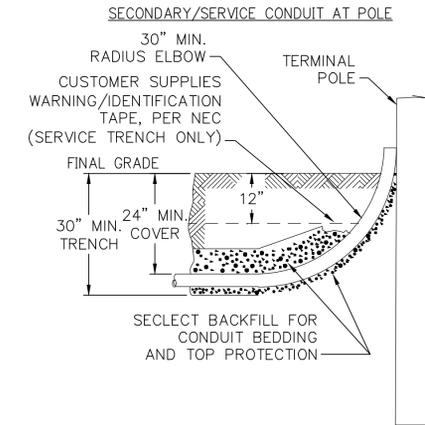
OVERHEAD SERVICE  
CENTRAL DISTRIBUTION INSTALLATION



UNDERGROUND SERVICE  
STAND-ALONE DISTRIBUTION  
INSTALLATION



TRENCHING DETAILS FOR  
INSTALLATION OF CONDUCTORS



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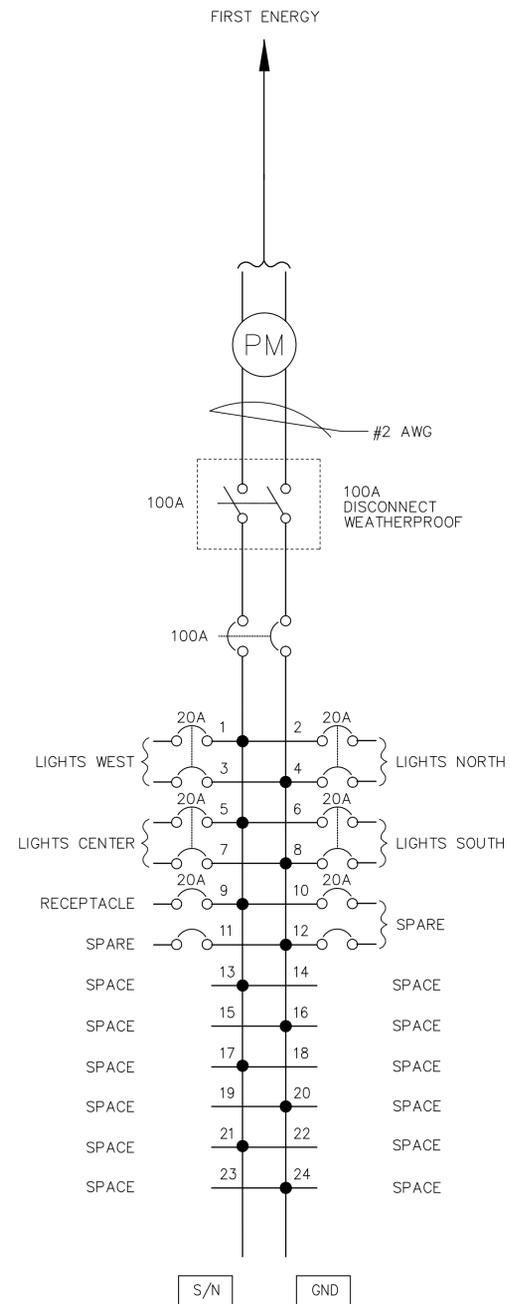
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**REFERENCE DRAWINGS**  
GENERAL ARR'G. \_\_\_\_\_  
BILLS OF MAT'L. \_\_\_\_\_  
DETAIL DWGS. \_\_\_\_\_

DRAWN BY: DJS DATE: 12-21-22  
CHK'D BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
APPR'D BY: JB DATE: \_\_\_\_\_  
SCALE: (D-SIZE PRINT ONLY)

CLIENT		AFSTAN REAL ESTATE LLC	
THIS SEAL VALID ONLY WITH ORIGINAL SIGNATURE.		MEDINA, OHIO	
		AFSTAN REAL ESTATE LLC	
		ELECTRICAL WIRING DETAILS	
PROJECT MANAGER		CWWA NO. <u>C-2089</u>	
		ENGINEERS * DESIGNERS * CONSULTANTS 2575 MEDINA ROAD MEDINA, OH 44256 330-722-9001	
		20897101	
REV		D	



POWER PANEL  
 120/240V, 1 $\phi$ , 3W, 100A BUS  
 NEMA 3R ENCLOSURE  
 Q0112M100PRB

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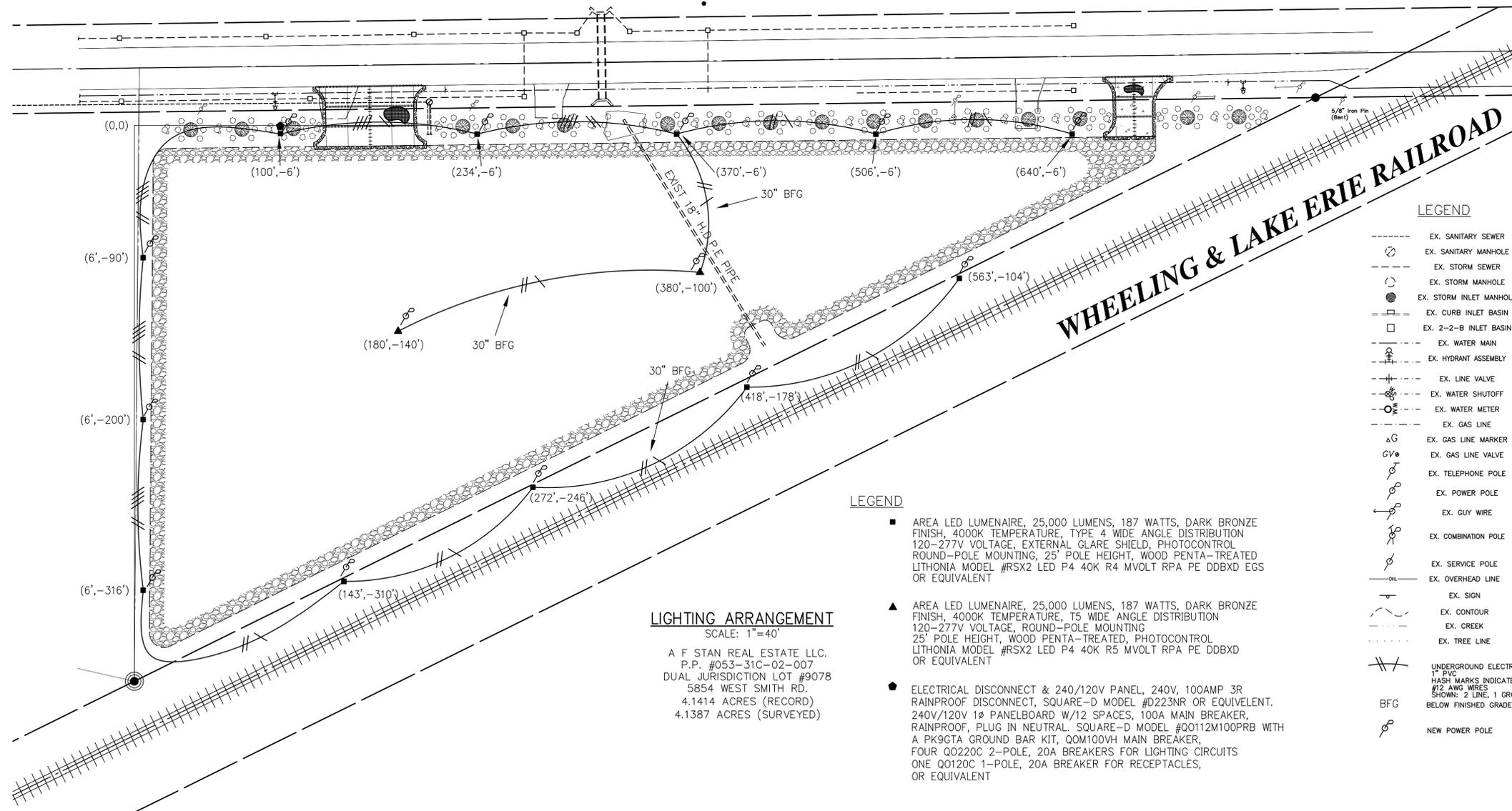
**REFERENCE DRAWINGS**  
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 BILLS OF MAT'L: \_\_\_\_\_  
 DETAIL DWGS: \_\_\_\_\_

DRAWN BY: DJS DATE: 8-16-22  
 CHCK'D BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 APPR'D BY: JB DATE: \_\_\_\_\_  
 SCALE: (D-SIZE PRINT ONLY)

4  
 05-18-23

CLIENT	
AFSTAN REAL ESTATE LLC	
<small>THIS SEAL VALID ONLY WITH ORIGINAL SIGNATURE.</small>	
	MEDINA, OHIO AFSTAN REAL ESTATE LLC PARKING LOT POWER PANEL FOR PARKING LOT LIGHTS
CWWA, INC. ENGINEERS * DESIGNERS * CONSULTANTS 2575 MEDINA ROAD MEDINA, OH 44256 330-722-9001	
PROJECT MANAGER <u>JB</u>	CWWA NO. <u>JB</u> CLIENT PO. _____ <b>20897201</b> REV <b>D</b>

# SMITH ROAD (C.H. 4) (60' R/W)



### LEGEND

- EX. SANITARY SEWER
- EX. SANITARY MANHOLE
- EX. STORM SEWER
- EX. STORM MANHOLE
- EX. STORM INLET MANHOLE
- EX. CURB INLET BASIN
- EX. 2-2-B INLET BASIN
- EX. WATER MAIN
- EX. HYDRANT ASSEMBLY
- EX. LINE VALVE
- EX. WATER SHUTOFF
- EX. WATER METER
- EX. GAS LINE
- △ EX. GAS LINE MARKER
- GV EX. GAS LINE VALVE
- EX. TELEPHONE POLE
- EX. POWER POLE
- EX. GUY WIRE
- EX. COMBINATION POLE
- EX. SERVICE POLE
- EX. OVERHEAD LINE
- EX. SIGN
- EX. CONTOUR
- EX. CREEK
- EX. TREE LINE
- UNDERGROUND ELECTRICAL CONDUIT
- 1" PVC HASH MARKS INDICATE NUMBER OF #12 AWG WIRES SHOWN: 2 LINE, 1 GROUND BELOW FINISHED GRADE
- BFG NEW POWER POLE

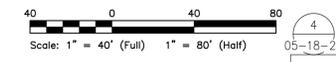
### LEGEND

- AREA LED LUMINAIRE, 25,000 LUMENS, 187 WATTS, DARK BRONZE FINISH, 4000K TEMPERATURE, TYPE 4 WIDE ANGLE DISTRIBUTION 120-277V VOLTAGE, EXTERNAL CLARE SHIELD, PHOTOCONTROL ROUND-POLE MOUNTING, 25' POLE HEIGHT, WOOD PENTA-TREATED LITHONIA MODEL #RSX2 LED P4 40K R4 MVOLT RPA PE DDBXD EGS OR EQUIVALENT
- ▲ AREA LED LUMINAIRE, 25,000 LUMENS, 187 WATTS, DARK BRONZE FINISH, 4000K TEMPERATURE, T5 WIDE ANGLE DISTRIBUTION 120-277V VOLTAGE, ROUND-POLE MOUNTING 25' POLE HEIGHT, WOOD PENTA-TREATED, PHOTOCONTROL LITHONIA MODEL #RSX2 LED P4 40K R5 MVOLT RPA PE DDBXD OR EQUIVALENT
- ELECTRICAL DISCONNECT & 240/120V PANEL, 240V, 100AMP 3R RAINPROOF DISCONNECT, SQUARE-D MODEL #D223NR OR EQUIVALENT. 240V/120V 1Ø PANELBOARD W/12 SPACES, 100A MAIN BREAKER, RAINPROOF, PLUG IN NEUTRAL SQUARE-D MODEL #Q0112M100PRB WITH A PK96TA GROUND BAR KIT, QOM100VH MAIN BREAKER, FOUR Q0220C 2-POLE, 20A BREAKERS FOR LIGHTING CIRCUITS ONE Q0120C 1-POLE, 20A BREAKER FOR RECEPTACLES, OR EQUIVALENT

### LIGHTING ARRANGEMENT

SCALE: 1"=40'

A F STAN REAL ESTATE LLC.  
P.P. #053-31C-02-007  
DUAL JURISDICTION LOT #9078  
5854 WEST SMITH RD.  
4.1414 ACRES (RECORD)  
4.1387 ACRES (SURVEYED)



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REVISION	DATE	ISSUED FOR
A	12/22/22	ISSUED FOR PLAN REVIEW
B	01/24/23	ISSUED FOR PLAN REVIEW
C	02/01/23	ISSUED FOR PLAN REVIEW
D	05/18/23	ISSUED FOR PLAN REVIEW

TOLERANCES
UNLESS OTHERWISE SPECIFIED
FRACTIONAL DIMENSIONS FABRICATED ±1/16"
FRACTIONAL DIMENSIONS MACHINED ±1/64"
2 PLACE DECIMAL DIMENSIONS ±.010"
3 PLACE DECIMAL DIMENSIONS ±.005"
ANGULAR DIMENSIONS ±0' 15'

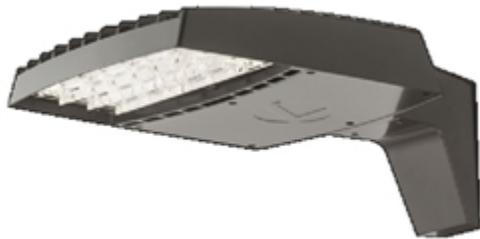
REFERENCE DRAWINGS
GENERAL ARR'G.
BILLS OF MAT'L.
DETAIL DWGS.

DRAWN BY: <u>DJS</u>	DATE: <u>8-16-22</u>
CHK'D BY: _____	DATE: _____
APPR'D BY: <u>JB</u>	DATE: _____
SCALE: 1"= 40' (D-SIZE PRINT ONLY)	

CLIENT	
AFSTAN REAL ESTATE LLC	
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	MEDINA, OHIO AFSTAN REAL ESTATE LLC PARKING LOT PARKING LOT LIGHTING PLAN
CWWA, INC. ENGINEERS * DESIGNERS * CONSULTANTS 2575 MEDINA ROAD MEDINA, OH 44256 330-722-9001	
PROJECT MANAGER J.B.	CWWA NO. <u>C-2089</u> CLIENT PO. _____
	20897301 REV D

Home > BRANDS > Lithonia Lighting > Lithonia Area Lights > Lithonia RSX LED Area Lights >

# Lithonia RSX2 LED P4 40K R4 MVOLT RPA DDBXD 187W LED Area Light, 4000K Color Temperature, Type 4 Wide Distribution, 120-277V, Round Pole Mounting, Dark Bronze Finish



**Our Price: \$729.82**

Model: LITHONIA-RSX2-105824

Usually Ships in 3-5 business days. Urgent Project? Contact Us.

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**Add To Cart**