





### **DEVELOPMENT STANDARDS**

The following table indicates the general development standard requirements of the PF zoning district:

	<b>Required</b>	<b>Proposed</b>
<b>Min. Building Setback</b>		
Front	50 ft.	725 ft.+
Side	50 ft.	1,600 ft.+
Rear	50 ft.	500 ft.+
<b>Min. Lot Frontage</b>	40 ft.	3,500 ft.+
<b>Max Building Height</b>	45 ft.	13 ft.

The project meets the applicable minimum general development standards.

### **PARKING, ACCESS, AND CIRCULATION**

The proposed addition does not propose any alterations to parking, access, or circulation for the site. The addition is minor and does not require any changes.

### **LANDSCAPING, SCREENING, AND BUFFERING**

The proposed addition does not propose any changes to landscaping, screening, or buffering for the site. The addition is minor and does not require any additional landscaping.

### **BUILDING ELEVATIONS AND LIGHTING**

Architectural plans have been submitted showing the front and side of the addition clad in brick with scored CMU accents. The addition will also include three sets of windows facing to the north and one set of windows facing east. The proposed addition's exterior is similar to the existing facade of the Medina Recreation Center.

No lighting is proposed for the addition.

### **ENGINEERING AND FIRE DEPARTMENT COMMENTS**

The Engineering and Fire Departments had no comments regarding the application.

### **SITE PLAN REVIEW STANDARDS**

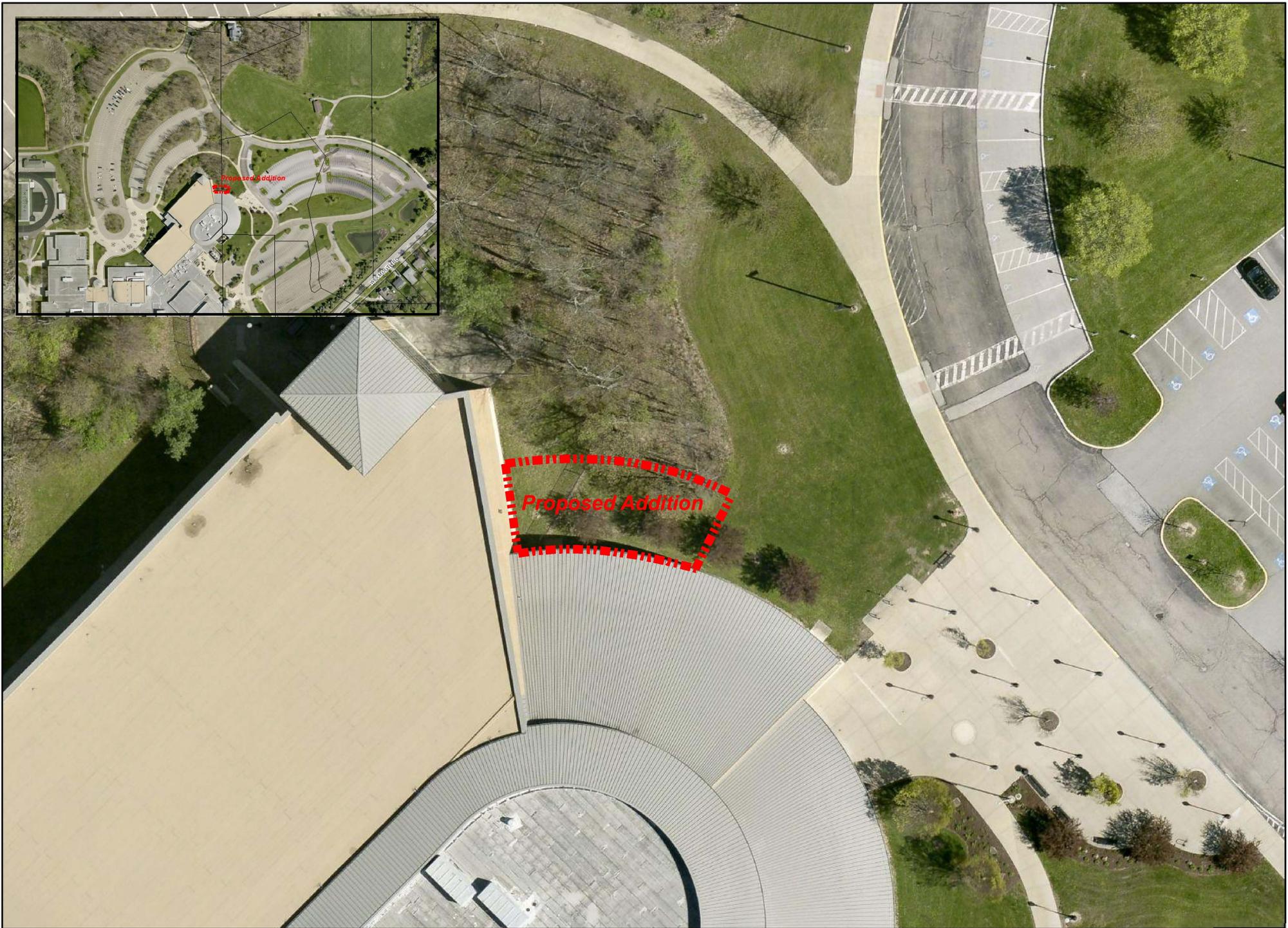
The Planning Commission's review and action shall be based on the following standards per Section 1109.02(c):

- (1) The site plan shows that a proper relationship does exist between thoroughfares, service roads, driveways and parking areas to encourage pedestrian and vehicular traffic safety.
- (2) All the development features including the principal buildings, open spaces, service roads, driveways and parking areas are so located and related as to minimize the possibility of any adverse effects upon adjacent development.
- (3) The site plan includes adequate provision for the screening of parking areas, service areas and active recreation areas from surrounding properties by landscaping and/or ornamental walls or fences. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (4) Grading and surface drainage provisions are reviewed and approved by the City Engineer.

- (5) The design and construction standards of all private streets, driveways and parking areas are to be built following approval of plans by the City Engineer according to construction standards specified in the Codified Ordinances.
- (6) Maximum possible privacy for multi-family dwellings and surrounding residential properties shall be provided through good design and use of proper building materials and landscaping. Visual privacy should be provided through structural screening and landscaping treatment. Auditory privacy in multi-family dwellings should be provided through soundproofing. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (7) The architectural design of buildings should be developed with consideration given to the relationship of adjacent development in terms of building height, mass, texture, materials, line and pattern and character.
- (8) Building location and placement should be developed with consideration given to minimizing removal of trees and change of topography. Any trees to be removed which are planted in a public right-of-way or on municipal property shall be reviewed by the Shade Tree Commission.
- (9) In multi-family developments, television and other antennas shall be centralized.
- (10) On-site circulation shall be designed to make possible adequate fire and police protection.
- (11) Off-street parking facilities shall be provided in accordance with Chapter 1145. In large parking areas, visual relief shall be provided through the use of tree planted and landscaped dividers, islands and walkways. In multi-family developments no parking or service areas shall be permitted between any street and the main building. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (12) Signs shall be provided in accordance with these Codified Ordinances.
- (13) Any trees planted on site shall be on approved list of Shade Tree Commission and planted in accordance with Commission standards.

**COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION**

Staff recommends **approval** of application P23-02 as submitted.



0 20 40 60 80 Feet

# Recreation Center Expansion at Medina High School

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OWNER  
**CITY OF MEDINA &  
MEDINA CITY  
SCHOOLS**



ARCHITECT  
**FANNING HOWEY  
ASSOCIATES INC.**  
DUBLIN, OH 43017  
614-764-4661



STRUCTURAL ENGINEER  
**JEZERINAC GEERS &  
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DUBLIN, OH 43017  
614-766-0066



PROJECT NUMBER: 222066.01  
PROJECT ISSUE DATE: 1/27/23

COVER SHEET

## VOLUME A

ARCHITECTURAL PLAN GENERAL NOTES

- A. ALL CMU WALLS THAT DO NOT LAY OUT IN FULL OR HALF LENGTHS SHOULD BE BALANCED SO AS NOT TO HAVE ANY PIECES LESS THAN 4" IN SIZE EXPOSED TO VIEW.
- B. WHERE DISSIMILAR FLOOR MATERIALS MEET, THEY SHALL DO SO UNDER THE CENTERLINE OF THE DOOR, UNLESS NOTED OTHERWISE.
- C. THERE SHALL BE PERIMETER INSULATION CONTINUOUS AROUND THE ENTIRE PERIMETER OF THE BUILDING EXTENDING 2'-0" MINIMUM BELOW GRADE.
- D. THE BASE FLOOR ELEVATION INDICATED FOR THE PROJECT IS 100'-0". REFER TO SITE PLAN FOR CORRELATION TO USGS DATUM.
- E. ALL INTERIOR MASONRY WALLS THAT RUN TO UNDERSIDE OF DECK ABOVE SHALL HAVE A 2" JOINT (U.N.O.) AT THE DECK TO BE FILLED WITH FIRE STOPPING AT RATED WALLS PER PROJECT MANUAL AND MINERAL WOOL AT THE NON-RATED WALLS, TO ALLOW FOR DEFLECTION.
- F. FOR TYPICAL COMMON JOINT DETAILS AND CONSTRUCTION MOVEMENT JOINT DETAILS REFER TO DETAILS ON SHEET XX.
- G. ALL DIMENSIONS ON FLOOR PLANS ARE TO FINISH FACE OF CMU, CONCRETE, BRICK OR FINISH FACE OF GNB AT METAL STUD WALLS, UNLESS NOTED OTHERWISE. EXCEPTION: EXTERIOR METAL STUD WALLS ARE TO FACE OF METAL STUDS.
- H. HINGE SIDE DOOR JAMB AT WALLS WILL TYPICALLY BE LOCATED 4" MINIMUM FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
- I. ALL EXPOSED CONCRETE MASONRY UNITS (CMU) CORNERS ARE TO BE BULLNOSE, EXCEPT AT WINDOW JAMBS, BULKHEADS, WINDOW AND DOOR HEADS. SEE REFLECTED CEILING PLANS FOR BULKHEAD LOCATIONS AND DETAIL REFERENCES.
- J. REFER TO ROOM FINISH SCHEDULE OR PLAN AND EQUIPMENT PLANS FOR LOCATION AND EXTENT OF FINISH FLOOR MATERIALS.
- K. PROVIDE WOOD BLOCKING AS REQUIRED, WITHIN METAL STUD WALLS FOR WALL MOUNTED ITEMS. REFER TO MASTER CODE PLANS FOR CODE INFORMATION AND FIRE RATED WALL LOCATIONS.
- L. PROVIDE SPRAY FOAM INSULATION AND THERMAL BARRIER CONTINUOUS AT INTERSECTION OF EXTERIOR WALLS AND DECK.

# Recreation Center Expansion at Medina High School

777 E Union Street  
Medina, OH 44256

CITY OF MEDINA & MEDINA CITY SCHOOLS

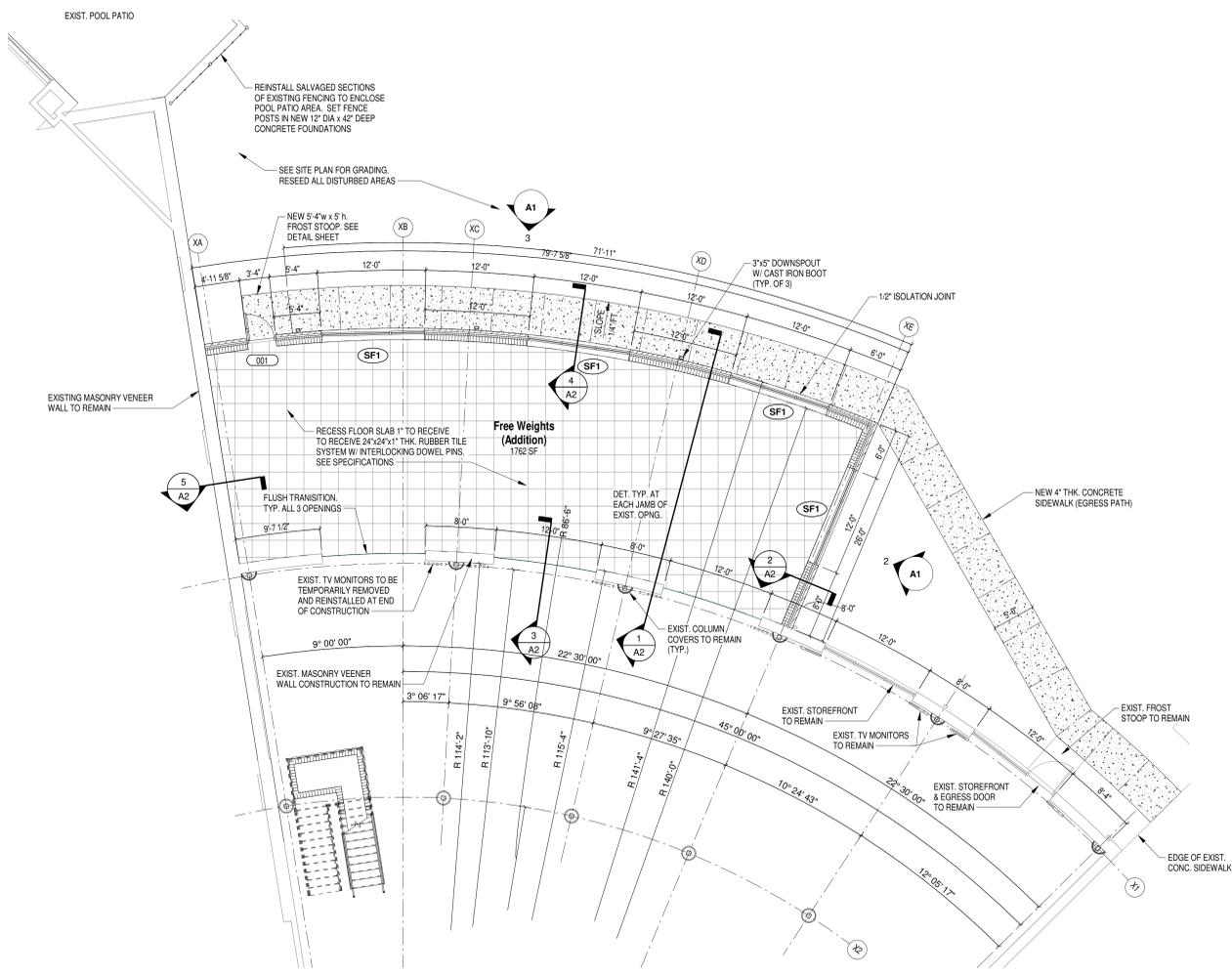


ARCHITECT



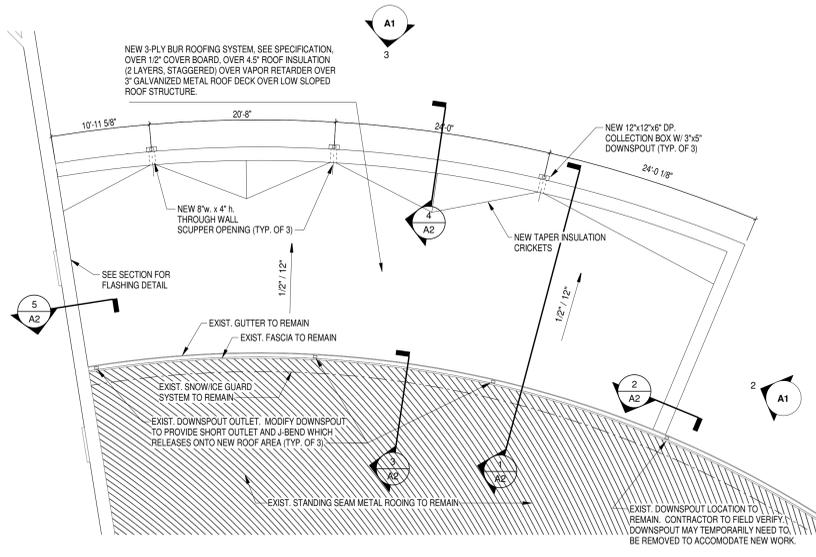
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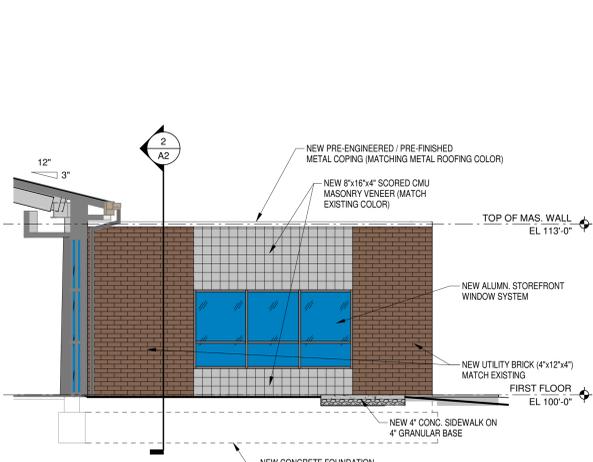
**1 ARCHITECTURAL FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**4 ROOF PLAN**

SCALE: 1/8" = 1'-0"



**2 EAST EXTERIOR ELEVATION**

SCALE: 3/16" = 1'-0"



**3 NORTH EXTERIOR ELEVATION**

SCALE: 3/16" = 1'-0"

VERIFICATION NOTE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CLEARANCES AND ALL EXISTING FIELD CONDITIONS BEFORE STARTING CONSTRUCTION. COMMENCEMENT OF WORK CONSTITUTES ACCEPTANCE OF CONDITIONS. SHOULD DIFFERENT CONDITIONS BE ENCOUNTERED, CONTACT THE ARCHITECT BEFORE PROCEEDING WITH WORK.

CONSTRUCTION DOCUMENTS



DRAWN BY: MSM  
PROJECT NUMBER: 222066.01  
PROJECT ISSUE DATE: 1/27/23

REV. NO.	DESCRIPTION	DATE

FLOOR & ROOF PLAN, EXT. ELEV., DETAILS

**A1**

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