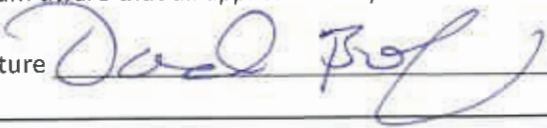




# BOARDS & COMMISSIONS APPLICATION

132 North Elmwood Avenue  
330-722-9038  
www.medinaoh.org

**Application Number**           P23-03          

|                            |  |
|----------------------------|--|
| <b>GENERAL</b>             | Date of Application <u>1/19/2023</u><br>Property Location <u>6.58 acres of vacant land located within PPN 029-19A-22-008</u><br>Description of Project <u>Construction of a 32,450 sf wholesale warehouse and showroom building and related improvements located on 6.58 acres along Commerce Drive near the corner of W. Smith Rd.</u><br><br><br>  |
| <b>CONTACT INFORMATION</b> | <b>Applicant</b><br>Name <u>WXZ Development Inc.</u><br>Address <u>22720 Fairview Center Dr. # 150</u> City <u>Fairview Park</u> State <u>OH.</u> Zip <u>44256</u><br>Phone <u>440-686-1468</u> Email <u>dbudge@wxzinc.com</u><br><b>Property Owner</b><br>Name <u>Gowe Leasing Limited</u><br>Address <u>620 E. Smith Rd. Ste. E-1</u> City <u>Medina</u> State <u>OH.</u> Zip <u>44256</u><br>Phone <u>330-722-0620</u> Email _____  |
| <b>APPLICATION TYPE</b>    | <b>Planning Commission</b> Site Plan <input checked="" type="checkbox"/> Conditional Zoning Certificate <input type="checkbox"/> Code or Map Amendment <input type="checkbox"/><br>Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Conditional Sign (EMC/Shopping Ctr) <input type="checkbox"/> Cert. of Appr. (TCOV) <input type="checkbox"/> Other <input type="checkbox"/><br><b>Historic Preservation Board</b> Certificate of Appropriateness <input type="checkbox"/> Conditional Sign <input type="checkbox"/><br><b>Board of Zoning Appeals</b> Variance <input type="checkbox"/> Appeal <input type="checkbox"/>  |
| <b>APPLICANT SIGNATURE</b> | <i>By signing this application, I hereby certify that:</i><br>1) <i>The information contained in this application is true and accurate to the best of my knowledge;</i><br>2) <i>I am authorized to make this application as the property owner of record or I have been authorized to make this application by the property owner of record;</i><br>3) <i>I assume sole responsibility for correspondence regarding this application; and</i><br>4) <i>I am aware that all application requirements must be submitted prior to the formal acceptance of my application.</i><br>Signature <u></u> Date <u>1-19-23</u> |
| <b>OFFICIAL USE</b>        | Zoning District <u>I-1</u> Fee (See Fee Sheet) \$ <u>364.50</u><br>Meeting Date <u>2/9/23</u> Check Box when Fee Paid <input checked="" type="checkbox"/>  |

**P23-03**  
**Famous Supply Wholesale Warehouse**

Property Owner: Gowe Leasing Ltd.  
Applicant: David Budge  
Location: East Side of Commerce Drive, North of West Smith Road  
(Parcel Number 029-19A-22-008)  
Zoning: I-1 (Industrial)  
Request: Site Plan approval for a wholesale warehouse

**LOCATION AND SURROUNDING USES**

The subject site is composed of two properties encompassing 6.6 acres located on the east side of Commerce Parkway, north of West Smith Road. Adjacent properties are zoned I-1 and include the following uses:

- North – Manufacturing
- West – Manufacturing
- South – Undeveloped
- East – Warehousing



**BACKGROUND & PROPOSED APPLICATION**

The northern portion of the existing undeveloped property has been proposed for the construction of a 32,450 sq. ft. warehouse for Famous Supply. The use will include wholesaling of items sold directly to contractors, a showroom, and training facilities. The Site Plan incorporates a centrally located building with two access points on Commerce Drive, parking on three sides, and a customer pickup area.

## **DEVELOPMENT STANDARDS**

The following table indicates the general development standard requirements of the I-1 zoning district:

|                              | <b>Required</b> | <b>Proposed</b> |
|------------------------------|-----------------|-----------------|
| <b>Min. Building Setback</b> |                 |                 |
| Front                        | 25 ft.          | 90 ft.          |
| Side                         | 25 ft.          | 93 ft.          |
| Rear                         | 25 ft.          | 374 ft.         |
| <b>Min. Lot Frontage</b>     | 100 ft.         | 410 ft.         |
| <b>Max Building Height</b>   | 50 ft.          | 32 ft.          |

The project meets the applicable minimum general development standards.

## **PARKING, ACCESS, AND CIRCULATION**

Access and Circulation – The proposed site will have a two-way access point off Commerce Drive. Two-way traffic circulation has been shown on the site for both passenger vehicles and commercial trucks.

Required Off-Street Spaces – Warehousing and Wholesaling uses require parking that is “enough to satisfy all the parking needs of the proposed use”. Plans show 80 off-street parking spaces, which would be considered high for warehousing and wholesaling uses. The applicant has indicated that the proposed spaces are necessary as employee training will take place at the facility in addition to the warehousing, wholesaling, and a showroom.

Customer Pickup Lanes – Contractor pickup lanes are shown on the south side of the building, which will be an option for customers. The two one-way pickup lanes directly access the southern access drive.

Loading Areas – A two-space loading area is indicated on the east side of the building. The loading spaces are adequate for delivery vehicles to maneuver.

## **LANDSCAPING, SCREENING, AND BUFFERING**

Parking Lot Setback – Per Sections 1145.04(g) and 1145.09(b), parking lots must be setback 10 ft. from any street right-of-way and must contain landscape features or other visual barriers. The parking lot is setback 20 ft. from the right-of-way and includes a variety of landscape materials.

Interior Parking Lot Landscaping – 5 sq. ft. of internal landscaping is required per 100 sq. ft. of parking lot area. In the I-1 district, this standard only applies to the parking lot area between the building and the right-of-way. Adequate internal landscaping has been provided.

Dumpsters Enclosure – A dumpster with an enclosure is shown on the southeast side of the building. The City’s standard dumpster detail is included, though the type and height of screening will need to be indicated.

## **UTILITIES AND STORMWATER**

The site has access to public water and sanitary sewer service. The applicant is working with the City’s Engineering Department regarding stormwater management, which will utilize a regional stormwater management basin to the east of the site.

### **ENGINEERING AND FIRE DEPARTMENT COMMENTS**

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Engineering Department comments have been included in your packet. As previously noted, stormwater for the site will utilize an off-site basin on the property to the east. The Department's comments are regarding a necessary stormwater analysis, easement agreement, and maintenance agreement for the shared detention basin.

The Fire Department has noted that depending on the location of the Fire Department Connection for the sprinkler system, an additional fire hydrant might be needed.

### **BUILDING ELEVATIONS AND LIGHTING**

---

Architectural plans have been submitted showing the front of the building clad in aluminum panels, CMU, and Dryvit (Upper areas). The front elevation of the building also includes multiple door openings and windows. The rear of the building incorporates CMU on lower levels and metal siding on upper levels. Colors are muted in grey and beige tones, though a "Neon Red" accent is shown on a canopy located on the west (front) and south sides of the buildings.

Section 1109.04(c)(17) states that industrial buildings shall have "Architectural details and ornamentation on the street façade shall be meaningful to the overall design and appropriate for the size and scale of proposed structures, and harmonious with other architectural details and ornamentation on adjacent structures".

Section 1145.09 requires lighting to have a maximum height of 25 ft. and incorporate a full cut-off fixture that shines straight down. Freestanding lights in the parking lot have been indicated at 24 ft. in height with full cut-off fixtures. In addition, wall packs are shown on all sides of the building, though the fixtures are not full cut-off.

### **SITE PLAN REVIEW STANDARDS**

---

The Planning Commission's review and action shall be based on the following standards per Section 1109.02(c):

- (1) The site plan shows that a proper relationship does exist between thoroughfares, service roads, driveways and parking areas to encourage pedestrian and vehicular traffic safety.
- (2) All the development features including the principal buildings, open spaces, service roads, driveways and parking areas are so located and related as to minimize the possibility of any adverse effects upon adjacent development.
- (3) The site plan includes adequate provision for the screening of parking areas, service areas and active recreation areas from surrounding properties by landscaping and/or ornamental walls or fences. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (4) Grading and surface drainage provisions are reviewed and approved by the City Engineer.
- (5) The design and construction standards of all private streets, driveways and parking areas are to be built following approval of plans by the City Engineer according to construction standards specified in the Codified Ordinances.
- (6) Maximum possible privacy for multi-family dwellings and surrounding residential properties shall be provided through good design and use of proper building materials and landscaping. Visual privacy should be provided through structural screening and landscaping treatment.

- Auditory privacy in multi-family dwellings should be provided through soundproofing. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (7) The architectural design of buildings should be developed with consideration given to the relationship of adjacent development in terms of building height, mass, texture, materials, line and pattern and character.
  - (8) Building location and placement should be developed with consideration given to minimizing removal of trees and change of topography. Any trees to be removed which are planted in a public right-of-way or on municipal property shall be reviewed by the Shade Tree Commission.
  - (9) In multi-family developments, television and other antennas shall be centralized.
  - (10) On-site circulation shall be designed to make possible adequate fire and police protection.
  - (11) Off-street parking facilities shall be provided in accordance with Chapter 1145. In large parking areas, visual relief shall be provided through the use of tree planted and landscaped dividers, islands and walkways. In multi-family developments no parking or service areas shall be permitted between any street and the main building. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
  - (12) Signs shall be provided in accordance with these Codified Ordinances.
  - (13) Any trees planted on site shall be on approved list of Shade Tree Commission and planted in accordance with Commission standards.

#### **COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION**

Staff recommends **approval** of application P23-03 as submitted, with the following conditions:

1. The dumpster enclosure screening type and height shall be indicated and shall comply with the requirements of Section 1155.05(a).
2. All lighting shall incorporate full cut-off fixtures per Section 1145.09(c)(5).
3. The project shall comply with stormwater and all other applicable requirements of the City of Medina Engineering Department.

---

19 Jan 2023

Planning Commission  
City of Medina  
132 North Elmwood Ave.  
Medina OH. 44256

RE: Site Plan Approval Request Famous Supply

Dear Commission Members:

WXZ Development Inc. is requesting site plan approval for the construction of a 32,450 sf warehouse and showroom building with related improvements for Famous Supply along Commerce Drive near Smith Road. Attached with this application are preliminary plans for the building and site including site, grading, utility, lighting, stormwater, and landscaping plans. We have also included proposed elevations of the building for your review.

Famous Supply is a wholesaler that specializes in selling HVAC, plumbing, and industrial building supply products to contractors. The building proposed is a 32,450 sf warehouse building and showroom. Product delivery to Famous is made in the rear of the property at the loading docks shown. Contractor product pickup is walk in or done through the pickup window and onsite loading kiosks on the side of the building. Typical operating hours for a Famous Supply warehouse are 7am-4:30 PM. Famous Supply typically employs twelve full-time employees in its warehouses.

WXZ Development Inc. is a developer general contractor located in Fairview Park Ohio. In business since 1990 WXZ specializes in build to suit development and construction for commercial clients. Since its inception WXZ has developed and constructed over 250 freestanding commercial buildings.

---

Famous Supply is a fourth-generation family-owned wholesaler of building supply products that has been in business since 1933. Currently Famous operates over 40 warehouse and showroom locations in northeast Ohio and western Pennsylvania. Committed to the communities they locate in Famous is looking forward to becoming a part of the Medina community.

Thank you for your consideration. I look forward to answering your questions at the February Planning Commission meeting.

Sincerely,



David Budge  
Assistant Vice President  
WXZ Development Inc.

## Andrew Dutton

---

**From:** Dave Budge <DBudge@wxzdevelopment.com>  
**Sent:** Monday, January 23, 2023 3:10 PM  
**To:** Andrew Dutton; Brad McLean; Matt Weber  
**Cc:** Daniel Gladish; Fred Himmelreich; Patrick Patton; Sarah Tome  
**Subject:** RE: 2022-289 Famous Supply

Thanks Andrew,

Brad will be down later today with the hard copies of the plans and a check. We'll update the plans to show a dumpster enclosure detail and the wall pack lighting detail in a new set per your email below. Is it ok to wait for all staff's comments to make those changes and resubmit or would you like those now?

Regarding the parking Famous has asked us for additional parking to accommodate their employee training room they're showing in the building. Right now the floorplan is showing a 1000 sf training room to accommodate 24 seats with desks and a presentation area. They plan on holding classes on a quarterly basis to train employees from different branches on new product offerings. Let me know if we need to adjust or revise or provide more detail on the number of spaces being shown. Thanks

David Budge  
Assistant Vice President  
WXZ  
22720 Fairview Center Dr. #150  
Fairveiw Park OH. 44126

( D )440-686-1468  
( C )216-533-8531



## Andrew Dutton

---

**From:** Patrick Patton  
**Sent:** Monday, January 30, 2023 12:25 PM  
**To:** Andrew Dutton  
**Subject:** FW: Site Plan Review  
**Attachments:** P23-03 File 2-9-23.pdf; Engineering Checklist for Commercial Site Plan.pdf

Andrew-

My comments for this project:

1. There is an existing storm water detention pond that serves this lot as well as two adjoining lots. This pond was designed to accommodate future development on all three of the lots. The applicant will be required to complete an analysis that verifies that the proposed development does not exceed the design assumptions assumed when the detention pond was originally designed.
2. The applicant and the two adjoining lots must execute an easement agreement between themselves to allow for access and drainage to the detention pond by all parties.
3. A storm water operation and maintenance agreement (SWOMA) will have to be executed between the applicant/owner and the City. This agreement will then be recorded with the Medina County Recorder. The three property owners must designate one entity that will be enter into the SWOMA agreement with the City.
4. Please submit the attached site plan approval checklist to the applicant.

Let me know if you have any questions, thanks.

Patrick Patton, PE  
City Engineer  
City of Medina, Ohio

Phone: (330) 721-4721  
Email: [ppatton@medinaoh.org](mailto:ppatton@medinaoh.org)  
Website: [www.medinaoh.org](http://www.medinaoh.org)

Medina City Hall / 132 N. Elmwood Avenue / Medina, Ohio 44256



## Andrew Dutton

---

**From:** Mark Crumley  
**Sent:** Wednesday, January 25, 2023 1:16 PM  
**To:** Sarah Tome  
**Cc:** Andrew Dutton  
**Subject:** FW: Site Plan Review  
**Attachments:** P23-03 File 2-9-23.pdf

Sarah,

After review of the attached plans the only comment the Fire Department has at this time is that depending on the location of the Fire Department Connection for the sprinkler system an additional fire hydrant might be needed.

Thanks

Mark Crumley, Asst. Chief  
Medina Fire Department  
300 W. Reagan Pkwy.  
Medina, Ohio 44256

Office: 330-723-5704



# FAMOUS SUPPLY

## CITY OF MEDINA COUNTY OF MEDINA STATE OF OHIO

### MEDINA COUNTY/MONTVILLE TOWNSHIP UTILITY CONTACTS

MEDINA COUNTY FIBER NETWORK  
144 N. BROADWAY  
MEDINA, OH 44256  
DAVID CORRADO, CEO

MEDINA COUNTY PLANNING  
132 N. ELMWOOD AVENUE  
MEDINA, OH 44256  
ROB HENWOOD

OHIO DEPARTMENT OF TRANSPORTATION (ODOT)  
1980 WEST BROAD STREET  
COLUMBUS, OH 43223  
JARED FELLER

MEDINA COUNTY SANITARY ENGINEER  
791 W. SMITH ROAD  
MEDINA, OH 44256  
JEREMY SINKO

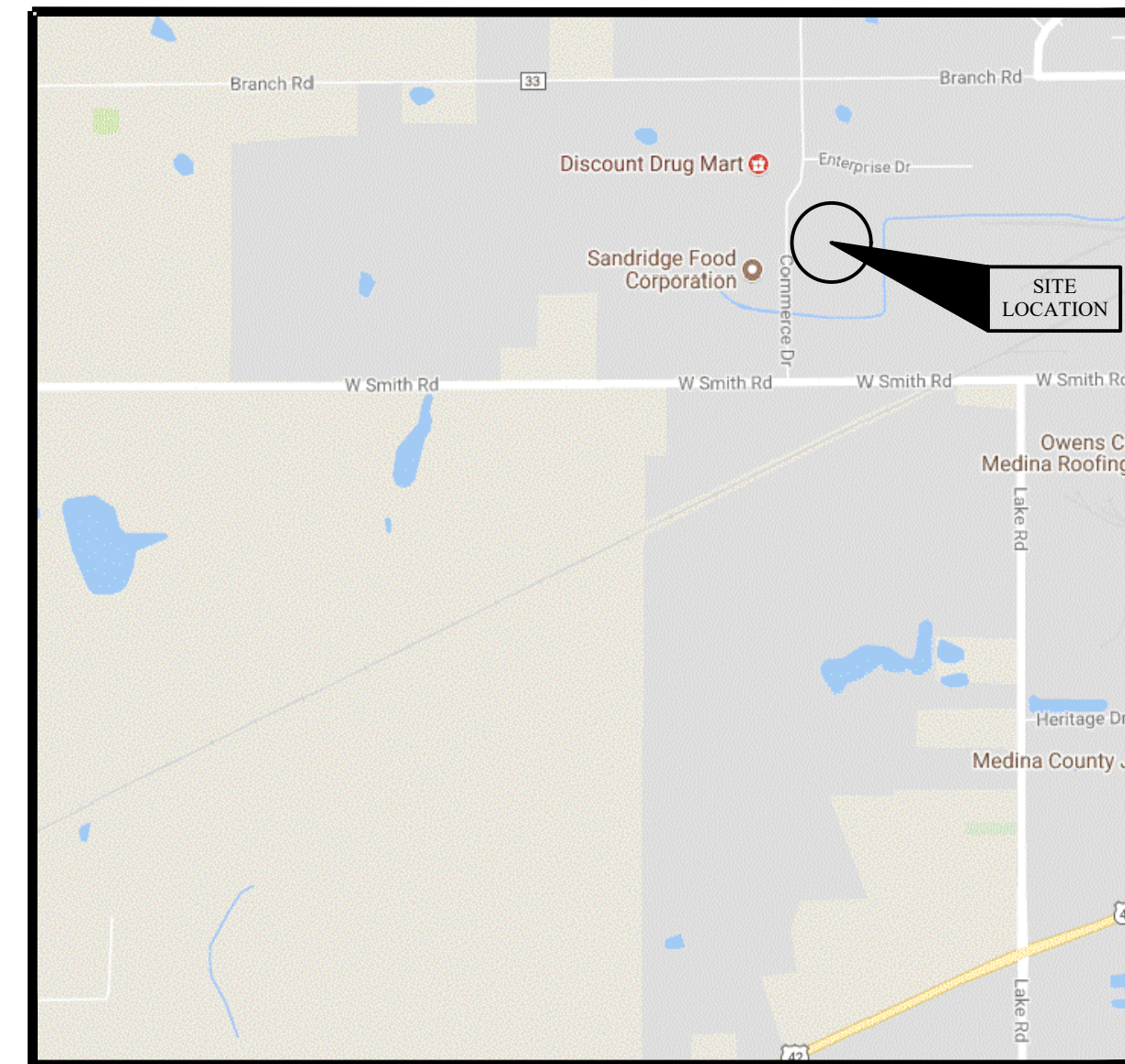
MEDINA COUNTY HIGHWAY ENGINEER  
791 W. SMITH ROAD  
P.O. BOX 825  
MEDINA, OH 44256  
ANDY CONRAD, P.E., P.S.

COLUMBIA GAS OF OHIO  
3719 WHITE OAK DRIVE  
NORTON, OH 44203  
RUSS JOHNSON  
800-440-6111  
PROJECT # 128068

MEDINA SOIL & WATER CONSERVATION DISTRICT  
6090 WEDGEWOOD ROAD  
MEDINA, OH 44256  
JIM DIETER

MEDINA COUNTY HEALTH DEPARTMENT  
4800 LEDGEWOOD DRIVE  
MEDINA, OH 44256  
STEVE MAZAK

OHIO EDISON  
MELISSA FRANK  
330-436-4122  
WO#743556882



VICINITY MAP  
NO SCALE



NPDES PERMIT No.: 3GC10053\*BG



2555 Hartville Rd., Suite B  
Rookstown, OH 44272  
www.WeberEngineeringServices.com  
330-329-2037  
matt@webercivil.com



Reg. No.: 61709

CLIENT:



22720 Fairview Center Drive  
#150  
Fairview Park, Ohio 44126  
Phone: (440) 801-1690

OWNER:

GOWE LEASING  
LIMITED

620 EAST SMITH ROAD  
MEDINA, OHIO 44256

Issue Date

01-12-2023  
01-19-2023  
01-24-2023

FAMOUS SUPPLY  
NEW CONSTRUCTION  
COMMERCE DRIVE MEDINA, OHIO

TITLE  
SHEET

C100

Project No. 2022-289

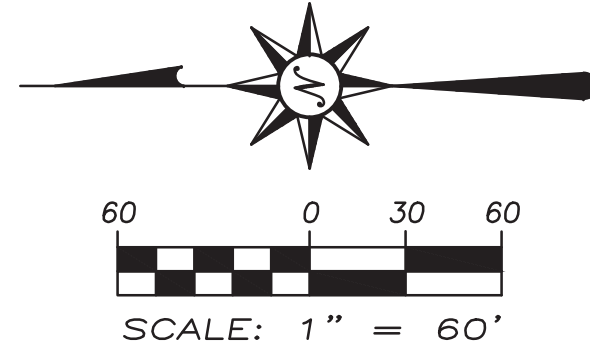
### INDEX

#### DESCRIPTION

TITLE SHEET  
OVERALL DEMOLITION PLAN  
PARTIAL DEMOLITION PLAN  
OVERALL SITE PLAN  
PARTIAL SITE PLAN  
LANDSCAPE PLAN  
SITE LIGHTING PLAN  
SITE LIGHTING DETAILS  
OVERALL UTILITY PLAN  
PARTIAL UTILITY PLAN  
OVERALL GRADING PLAN  
PARTIAL GRADING PLAN  
SITE DETAILS  
OVERALL SWP3  
PARTIAL SWP3  
SWP3 DETAILS

#### SHEET NO.

C100  
C101  
C101A  
C102  
C102A  
C102B  
C102C  
C102D  
C103  
C103A  
C104  
C104A  
C105-C105F  
C106  
C106A  
C107-C110



ABBREVIATIONS

- Abbreviations for symbols used in the plan, including D.d. for DEED, MSD for MEASURED, ACT for ACTUAL, etc.

LEGEND

- Legend for symbols representing various utilities and structures such as SANITARY MANHOLE, STORM MANHOLE, GAS LINE MARKER, etc.

EXISTING SANITARY INVERT DATA

- List of existing sanitary manholes with their IDs (A-F) and invert elevations.

MISCELLANEOUS NOTES

- Notes regarding survey features, dimensions, bearings, and utility locations.

HORIZONTAL AND VERTICAL DATUM

Horizontal basis of bearings: BEARINGS ARE REFERENCED TO GRID NORTH OF THE OHIO STATE PLANE COORDINATE SYSTEM NORTH ZONE, NAD 83 (2011) DATUM.

NOTE

PLOTTABLE RECORDED EASEMENTS SHOWN ARE BASED ON FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS-1143385-CLE, COMMITMENT DATE AUGUST 15, 2022 AT 7:59 A.M.

EXISTING STORM INVERT DATA

- Comprehensive list of existing storm manholes and structures with their IDs and invert elevations.

MEDINA COUNTY RECORDER'S RECORDS

SUBJECT AND ADJOINING DEEDS AS SHOWN. Lists plat volumes and page numbers for various deeds.

MEDINA COUNTY TAX MAP SURVEY RECORDS

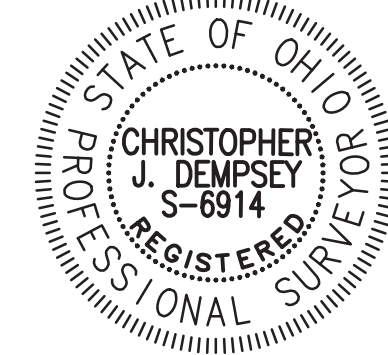
BOOK 2, SURVEY 6a; BOOK 21, SURVEY 72; BOOK 35, SURVEY 344.

TOPOGRAPHIC SURVEY FOR WXZ ACQUISITIONS CO., LLC

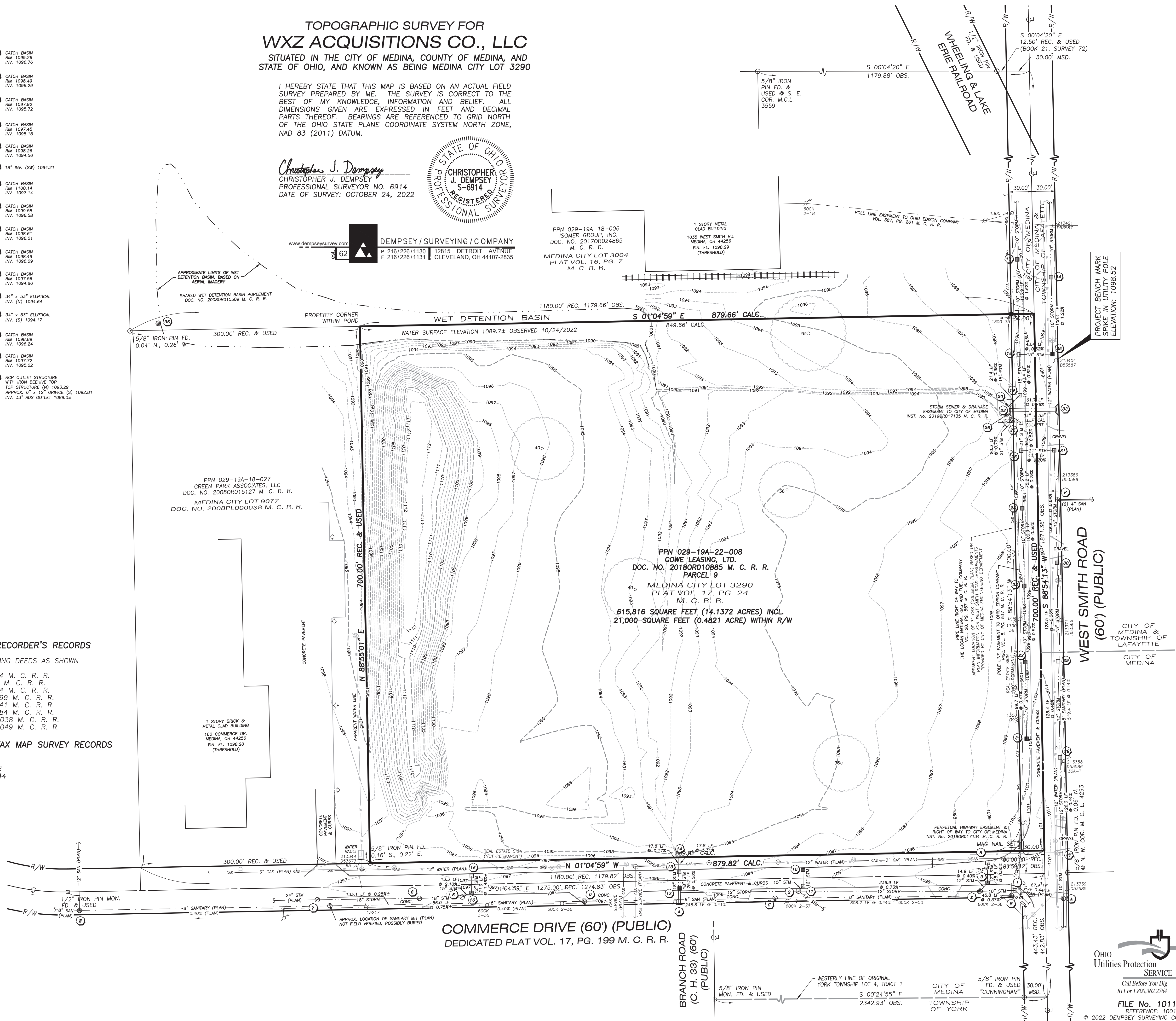
SITUATED IN THE CITY OF MEDINA, COUNTY OF MEDINA, AND STATE OF OHIO, AND KNOWN AS BEING MEDINA CITY LOT 3290

I HEREBY STATE THAT THIS MAP IS BASED ON AN ACTUAL FIELD SURVEY PREPARED BY ME. THE SURVEY IS CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

Signature and title of Christopher J. Dempsey, Professional Surveyor No. 6914.



Dempsey Surveying / Company, 12815 Detroit Avenue, Cleveland, OH 44107-2835.



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 330-329-2037  
 matt@webercivil.com

STATE OF OHIO  
 MATTHEW WEBER  
 61709 REGISTERED PROFESSIONAL ENGINEER

Reg. No.: 61709

CLIENT:  
**WXZ DEVELOPMENT, INC.**

22720 Fairview Center Drive  
 #150  
 Fairview Park, Ohio 44126  
 Phone: (440) 801-1690

OWNER:  
**GOWE LEASING LIMITED**

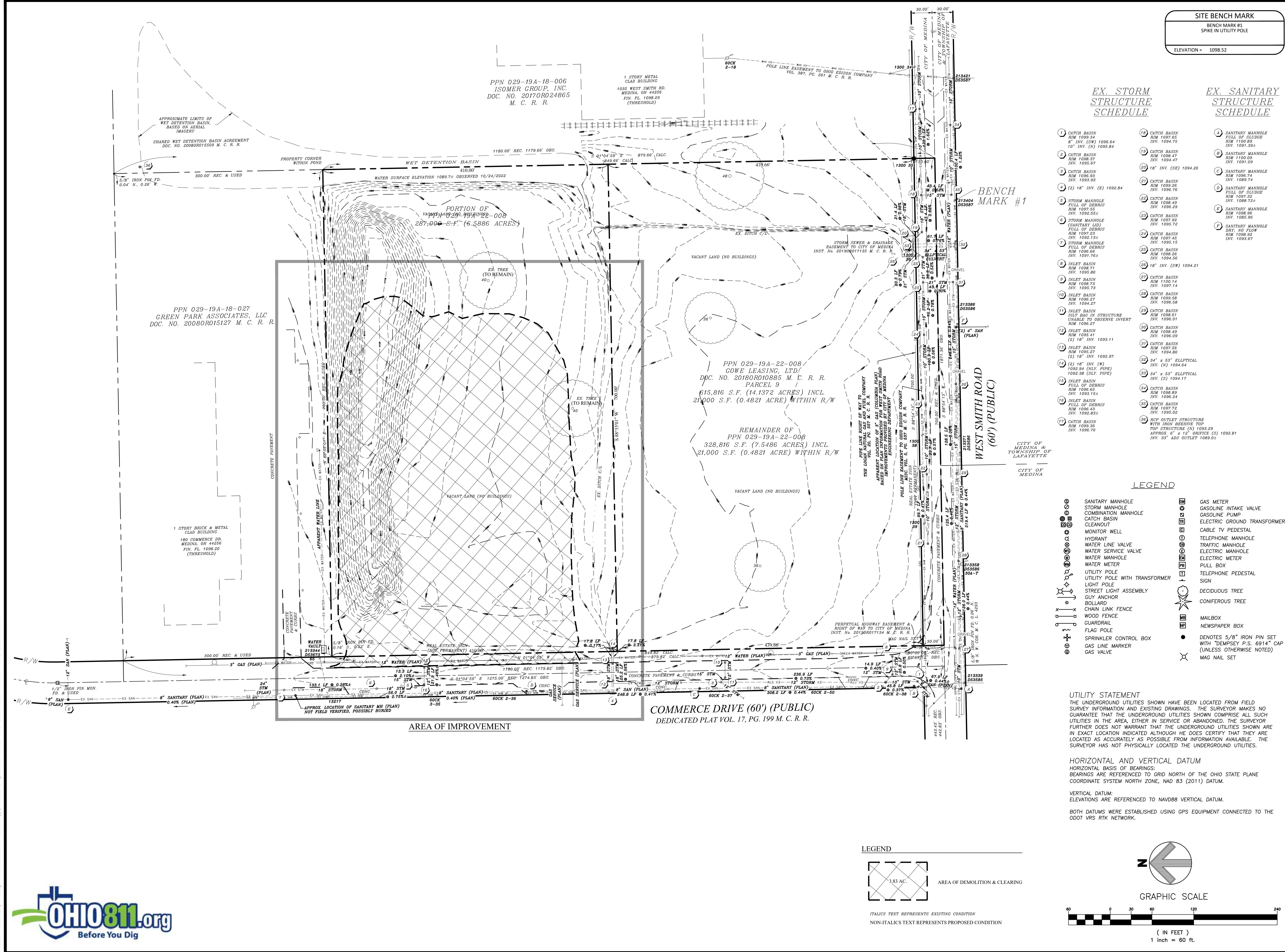
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FAMOUS SUPPLY  
 NEW CONSTRUCTION  
 COMMERCE DRIVE MEDINA, OHIO

OVERALL  
 DEMOLITION  
 PLAN

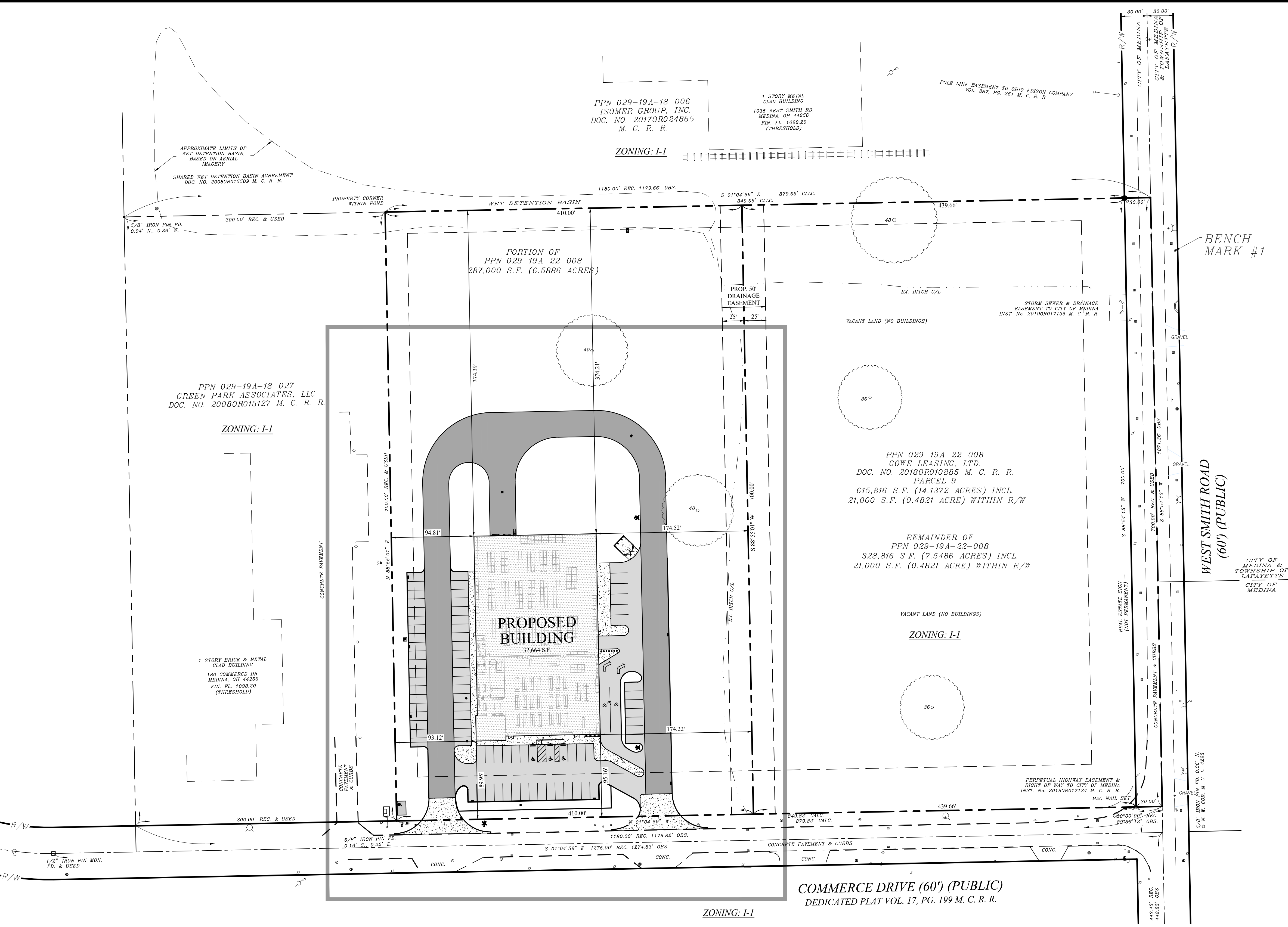
**C101**  
 Project No. 2022-289



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C:\Users\Owner\Desktop\Working Folder\2022-289 Famous Supply\2022-289 Site\18 - 01-24-2023\2022-289 Site\18.DWG 12/4/2023 2:39:09 PM



**SITE BENCH MARK**  
BENCH MARK #1  
SPIKE IN UTILITY POLE  
ELEVATION = 1098.52

**SITE DATA**

|                                  |                           |
|----------------------------------|---------------------------|
| USE DISTRICT                     | = I-1 (INDUSTRIAL)        |
| SITE AREA                        | = (6.5886 AC. BUILDABLE)  |
| PROP. BUILDING AREA              | = 32,664 S.F. (FOOTPRINT) |
| <b>BUILDING SETBACKS:</b>        |                           |
| FRONT YARD                       | = 50'                     |
| SIDE YARD                        | = 25'                     |
| REAR YARD                        | = 25'                     |
| <b>NUMBER OF PARKING SPACES:</b> |                           |
| REGULAR PARKING SPACES           | = 77                      |
| HANDICAP PARKING SPACES          | = 3                       |
| TOTAL PARKING SPACES             | = 80                      |

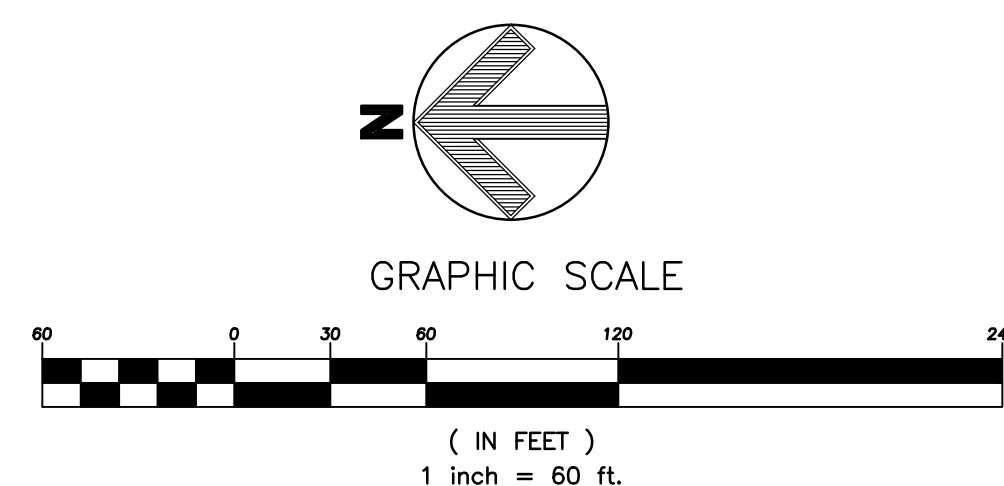
**FLOOD ZONE**

FLOOD ZONE "X" PER FLOOD INSURANCE  
RATE MAP NUMBER 39103C 0145 D  
COMMUNITY PANEL NUMBER 39103 0145 D  
EFFECTIVE DATE AUGUST 4, 2008

**LEGEND**

- REGULAR DUTY ASPHALT
- HEAVY DUTY ASPHALT
- CONCRETE PAVING

*ITALICS TEXT REPRESENTS EXISTING CONDITION*  
NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION



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330-329-2037  
matt@webercivil.com

STATE OF OHIO  
MATTHEW WEBER  
61709 REGISTERED PROFESSIONAL ENGINEER

Reg. No.: 61709

CLIENT:

**W X Z** DEVELOPMENT, INC.

22720 Fairview Center Drive #150  
Fairview Park, Ohio 44126  
Phone: (440) 801-1690

OWNER:

**GOWE LEASING LIMITED**

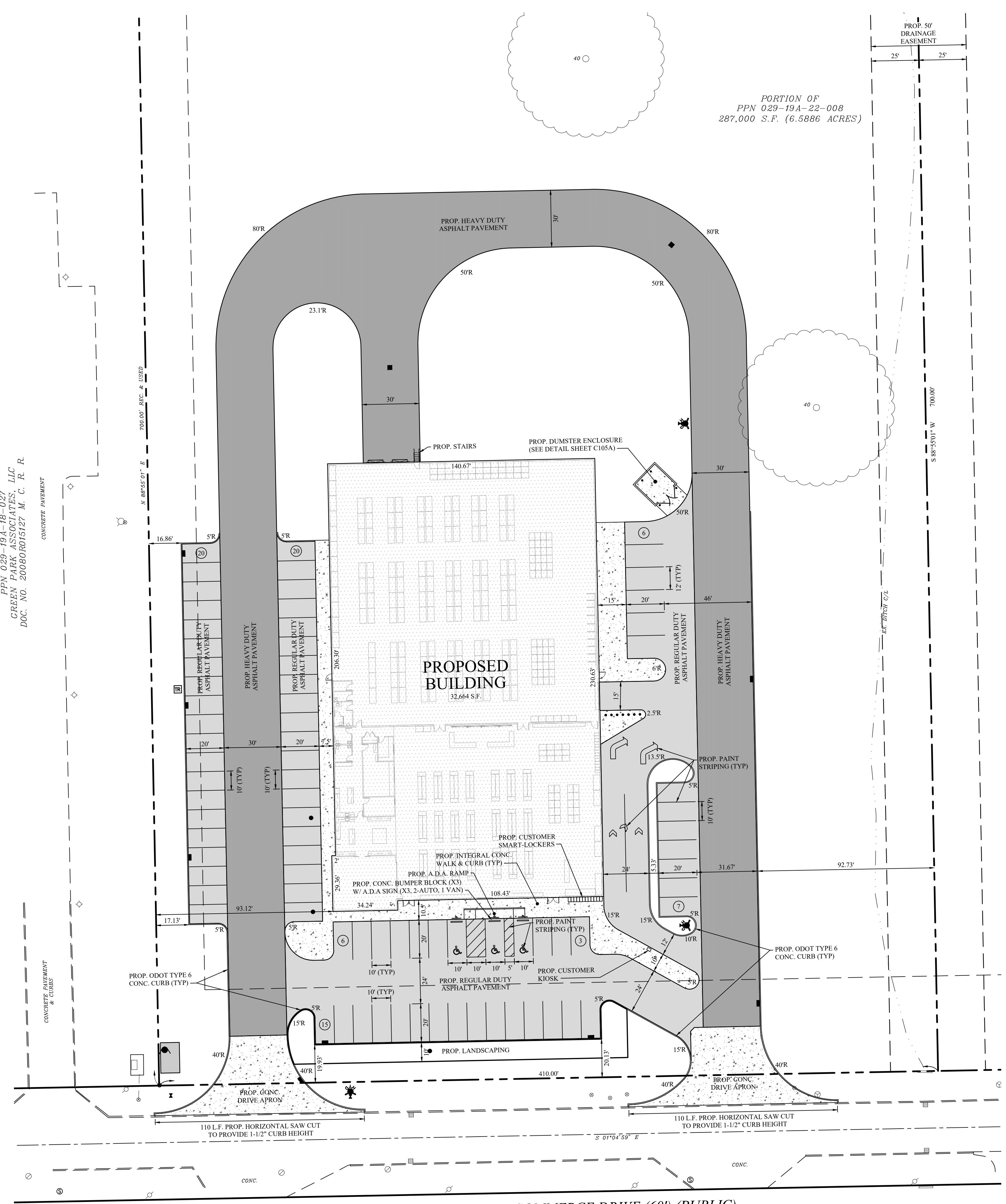
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FAMOUS SUPPLY  
NEW CONSTRUCTION  
COMMERCE DRIVE MEDINA, OHIO

Issue Date  
01-12-2023  
01-19-2023  
01-24-2023

**OVERALL SITE PLAN**

**C102**  
Project No. 2022-289



PPN 029-19A-18-027  
 GREEN PARK ASSOCIATES, LLC  
 DOC. NO. 200808015127 M. C. R. R.

PORTION OF  
 PPN 029-19A-22-008  
 287,000 S.F. (6.5886 ACRES)

COMMERCE DRIVE (60') (PUBLIC)  
 DEDICATED PLAT VOL. 17, PG. 199 M. C. R. R.

**SITE BENCH MARK**  
 BENCH MARK #1  
 SPIKE IN UTILITY POLE  
 ELEVATION = 1098.52

**SITE DATA**

|                                  |                           |
|----------------------------------|---------------------------|
| USE DISTRICT                     | = I-1 (INDUSTRIAL)        |
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| REAR YARD                        | = 25'                     |
| <b>NUMBER OF PARKING SPACES:</b> |                           |
| REGULAR PARKING SPACES           | = 77                      |
| HANDICAP PARKING SPACES          | = 3                       |
| TOTAL PARKING SPACES             | = 80                      |

**FLOOD ZONE**  
 FLOOD ZONE "X" PER FLOOD INSURANCE  
 RATE MAP NUMBER 39103C 0145 D  
 COMMUNITY PANEL NUMBER 39103 0145 D  
 EFFECTIVE DATE AUGUST 4, 2008

**LEGEND**

- REGULAR DUTY ASPHALT
- HEAVY DUTY ASPHALT
- CONCRETE PAVING

*ITALICS TEXT REPRESENTS EXISTING CONDITION*  
 NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION

**GRAPHIC SCALE**

**WEBER ENGINEERING SERVICES**  
*Where Strong Relationships & Superior Service Guide Your Project*

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 Rossstown, OH 44272  
 www.WeberEngineeringServices.com  
 330-329-2037  
 matt@webercivil.com

STATE OF OHIO  
 MATTHEW WEBER  
 61709 REGISTERED PROFESSIONAL ENGINEER

Reg. No.: 61709

**CLIENT:**

**W X Z DEVELOPMENT, INC.**

22720 Fairview Center Drive  
 #150  
 Fairview Park, Ohio 44126  
 Phone: (440) 801-1690

**OWNER:**

**GOWE LEASING LIMITED**

620 EAST SMITH ROAD  
 MEDINA, OHIO 44256

**Issue Date**

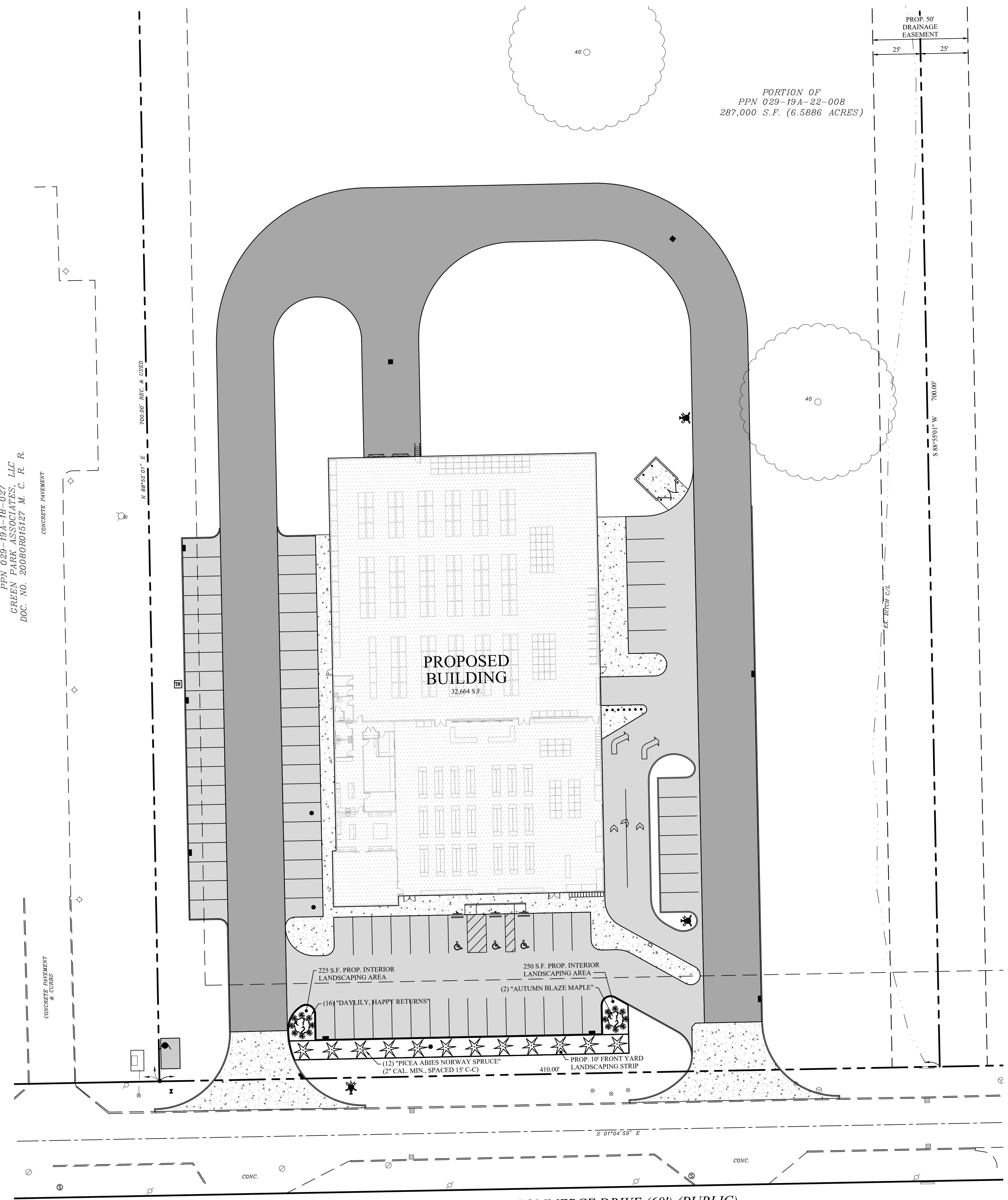
01-12-2023  
 01-19-2023  
 01-24-2023

FAMOUS SUPPLY  
 NEW CONSTRUCTION  
 COMMERCE DRIVE MEDINA, OHIO

**PARTIAL SITE PLAN**

**C102A**  
 Project No. 2022-289





PORTION OF  
PPN 029-19A-22-008  
287,000 S.F. (6.5886 ACRES)

PPN 029-19A-18-027  
GREEN PARK ASSOCIATES, LLC  
DOC. NO. 200808015127 M. C. R. R.

COMMERCE DRIVE (60') (PUBLIC)  
DEDICATED PLAT VOL. 17, PG. 199 M. C. R. R.

SITE BENCH MARK  
BENCH MARK #1  
SPIKE IN UTILITY POLE  
ELEVATION = 1098.52

LEGEND  
ITALICS TEXT REPRESENTS EXISTING CONDITION  
NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION

**LANDSCAPING REQUIREMENTS**  
 INTERIOR PARKING LANDSCAPING:  
 REQUIRED (5 S.F. PER 100 S.F. PARKING AREA) = 456 S.F.  
 PROVIDED = 475 S.F.  
 FRONT YARD LANDSCAPING STRIP:  
 REQUIRED = 10' WIDE  
 PROVIDED = 10' WIDE

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 2555 Hartville Rd., Suite B  
 Rossstown, OH 44272  
 www.WeberEngineeringServices.com  
 330-329-2037  
 matt@webercivil.com

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 MATTHEW WEBER  
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 Reg. No.: 61709

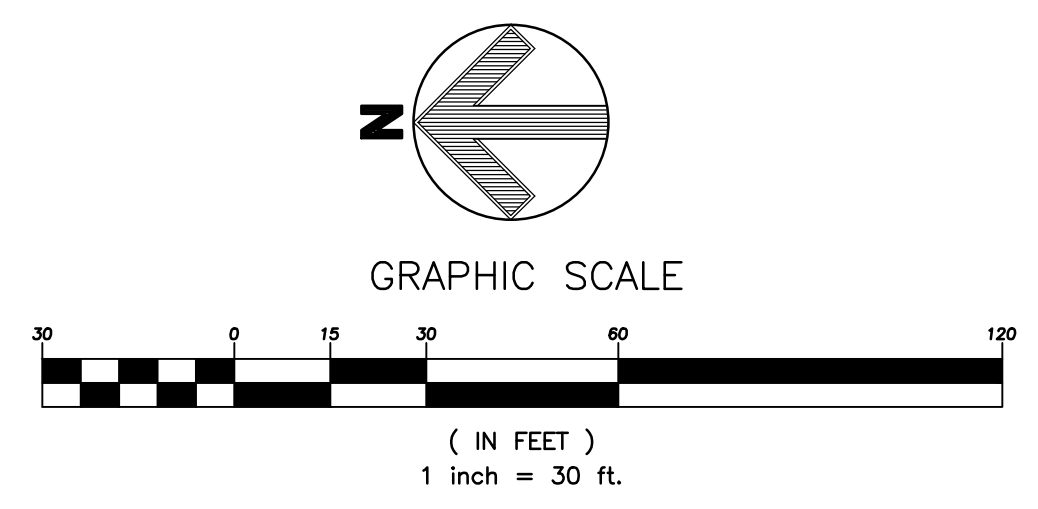
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 01-12-2023  
 01-19-2023  
 01-24-2023  
 FAMOUS SUPPLY  
 NEW CONSTRUCTION  
 COMMERCE DRIVE MEDINA, OHIO

LANDSCAPE PLAN

**C102B**  
 Project No. 2022-289

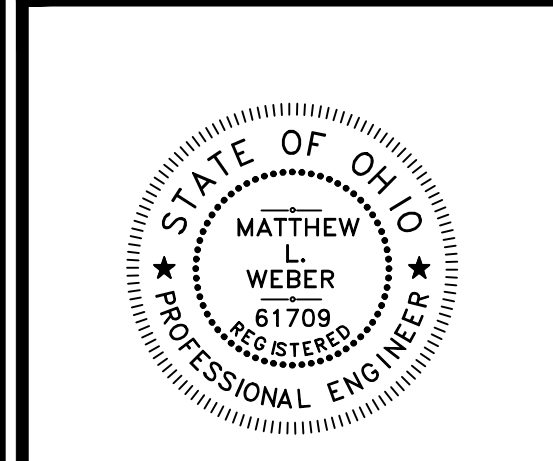




**SITE BENCH MARK**  
 BENCH MARK #1  
 SPIKE IN UTILITY POLE  
 ELEVATION = 1098.52

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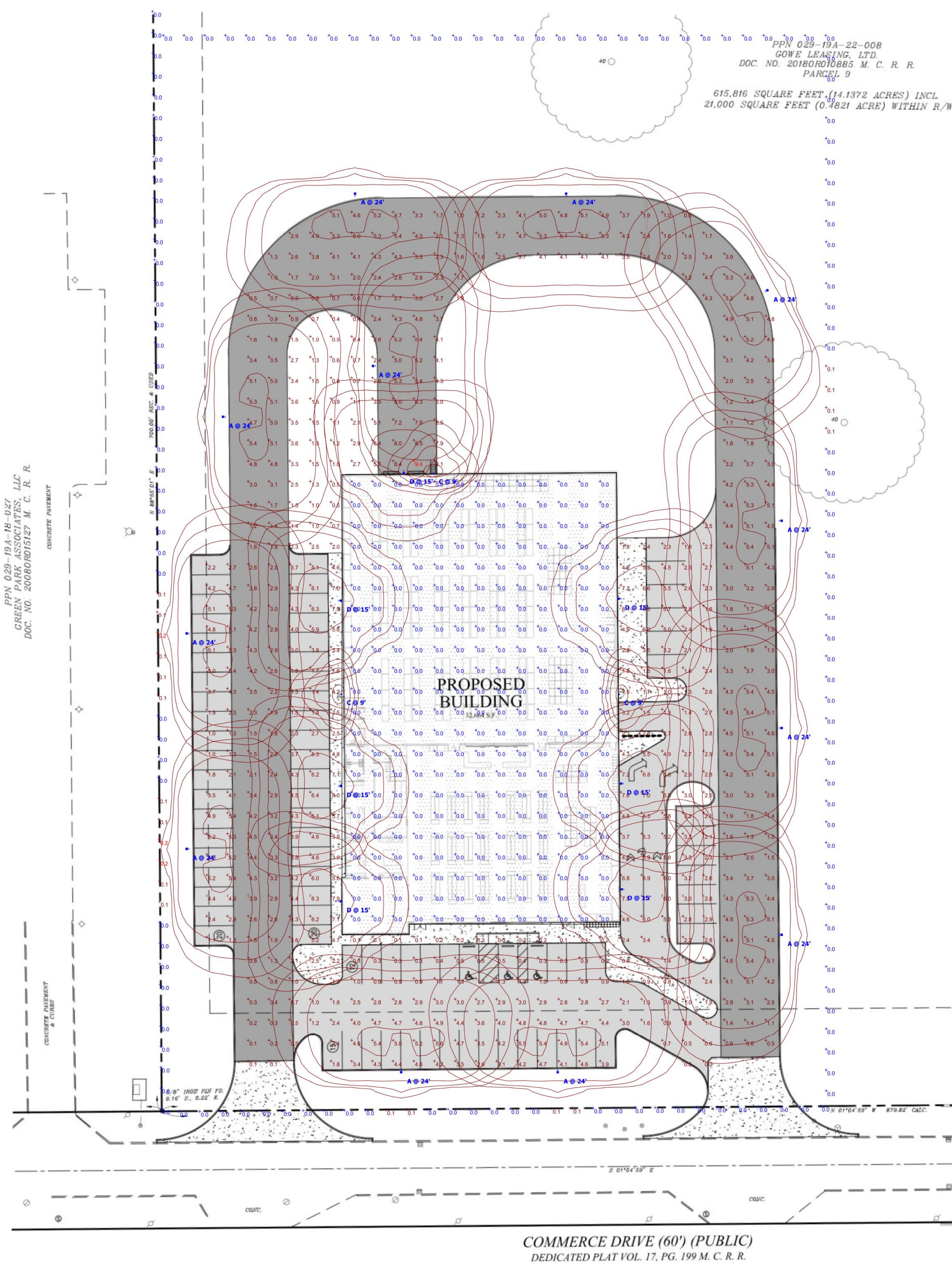
620 EAST SMITH ROAD  
 MEDINA, OHIO 44256

**Issue Date**  
 01-12-2023  
 01-19-2023  
 01-24-2023

**FAMOUS SUPPLY  
 NEW CONSTRUCTION  
 COMMERCE DRIVE MEDINA, OHIO**

**SITE LIGHTING PLAN**

**C102C**  
 Project No. 2022-289



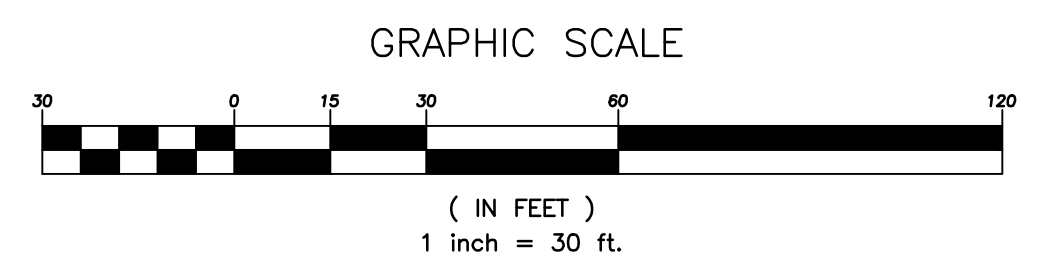
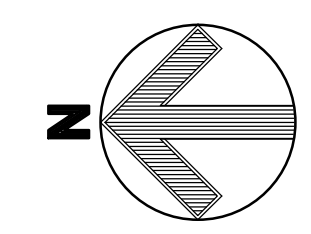
| Structure | Item | Quantity | Manufacturer | Model Number | Manufacturer | Quantity | Manufacturer | Model Number | Notes      |
|-----------|------|----------|--------------|--------------|--------------|----------|--------------|--------------|------------|
| 6         | A    | 1        | 10           | 10           | 10           | 1        | 10           | 10           | See Note 1 |
| 6         | C    | 1        | 10           | 10           | 10           | 1        | 10           | 10           | See Note 1 |
| 6         | D    | 1        | 10           | 10           | 10           | 1        | 10           | 10           | See Note 1 |

**Statistics**

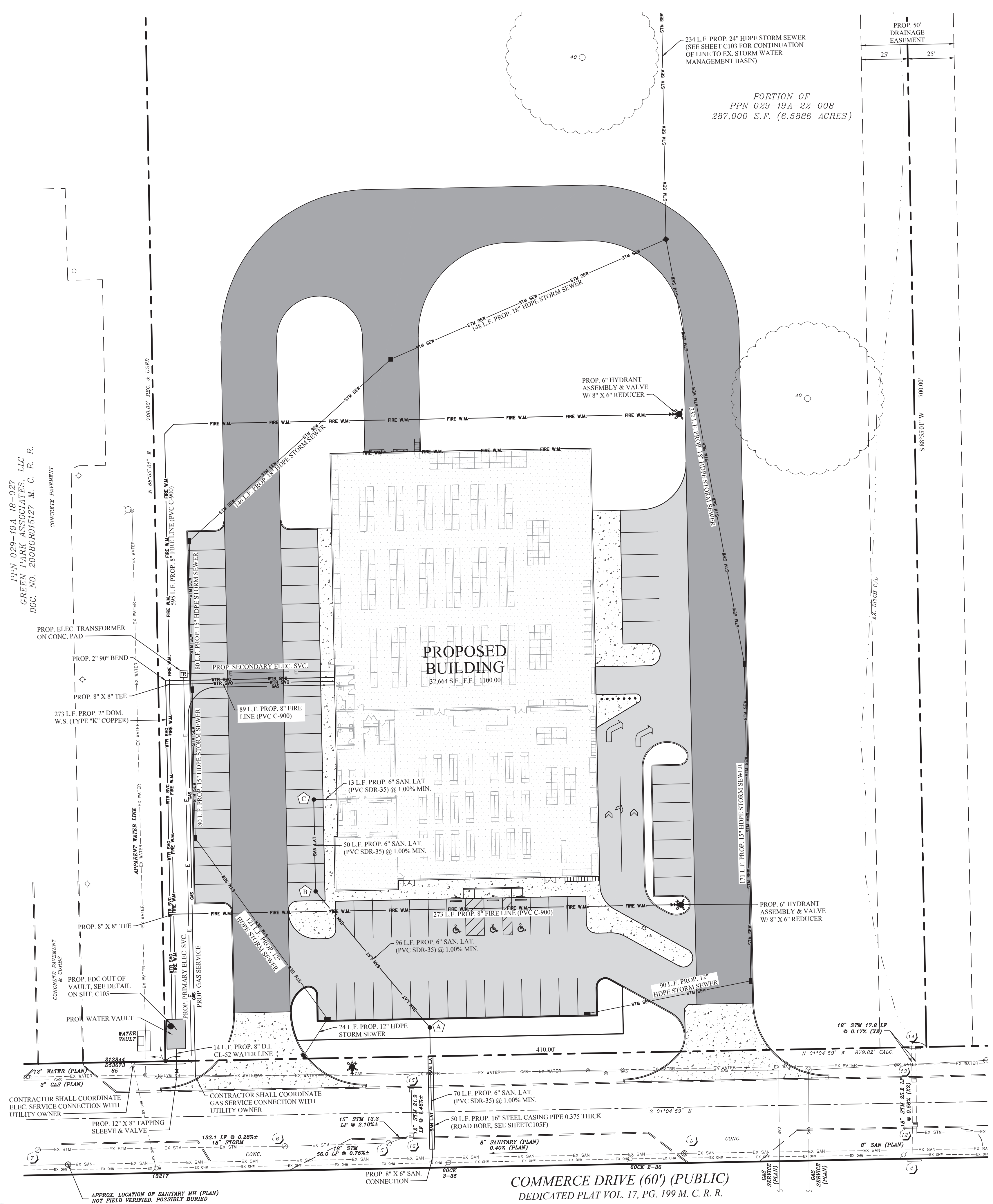
| Description   | Symbol | Avg    | Max    | Min    | Max/Min | Avg/Min |
|---------------|--------|--------|--------|--------|---------|---------|
| Calc Zone #1  | +      | 2.2 fc | 9.4 fc | 0.0 fc | N/A     | N/A     |
| PROPERTY LINE | +      | 0.0 fc | 0.2 fc | 0.0 fc | N/A     | N/A     |

**Note**

1. FC CALCULATIONS AT GROUND LEVEL
2. POLES ON 2' BASE
3. NO SPILL LIGHT CALCULATED







**SITE BENCH MARK**  
 BENCH MARK #1  
 SPIKE IN UTILITY POLE  
 ELEVATION = 1098.52

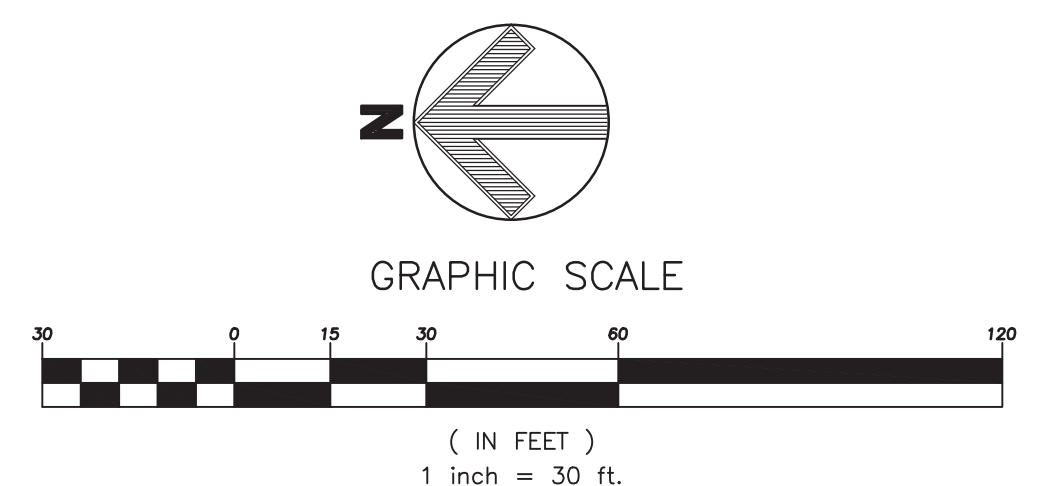
**EX. STORM  
 STRUCTURE  
 SCHEDULE**

**EX. SANITARY  
 STRUCTURE  
 SCHEDULE**

- 1 (2) 18" INV. (8) 1092.84
- 2 STORM MANHOLE  
 FULL OF DEBRIS  
 RIM 1097.55  
 INV. 1092.55
- 3 STORM MANHOLE  
 (SANITARY LID)  
 FULL OF DEBRIS  
 RIM 1097.23  
 INV. 1092.13
- 4 STORM MANHOLE  
 FULL OF DEBRIS  
 RIM 1096.06  
 INV. 1091.76
- 5 INLET BASIN  
 RIM 1095.41  
 (2) 18" INV. 1093.11
- 6 INLET BASIN  
 RIM 1096.27  
 (2) 18" INV. 1092.97
- 7 (2) 18" INV. (P)  
 1092.84 (HLL. PIPE)  
 1092.38 (SLY. PIPE)
- 8 INLET BASIN  
 FULL OF DEBRIS  
 RIM 1096.65  
 INV. 1093.15
- 9 INLET BASIN  
 FULL OF DEBRIS  
 RIM 1096.48  
 INV. 1092.82
- 10 SANITARY MANHOLE  
 FULL OF SLUDGE  
 RIM 1097.32  
 INV. 1088.72

**NOTE 1:**  
 CONTRACTOR SHALL DEFLECT W.M. AS NECESSARY  
 TO MAINTAIN 18" MIN. VERTICAL CLEARANCE  
 BETWEEN W.M. & SAN. SEW. AND/OR STM. SEW. AT  
 ALL TIMES. (INSTALL BENDS WHERE NECESSARY)

**LEGEND**  
 ITALICS TEXT REPRESENTS EXISTING CONDITION  
 NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION



**COMMERCE DRIVE (60') (PUBLIC)**  
 DEDICATED PLAT VOL. 17, PG. 199 M. C. R. R.

PPN 029-19A-1B-027  
 GREEN PARK ASSOCIATES, LLC  
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FAMOUS SUPPLY  
 NEW CONSTRUCTION  
 COMMERCE DRIVE MEDINA, OHIO

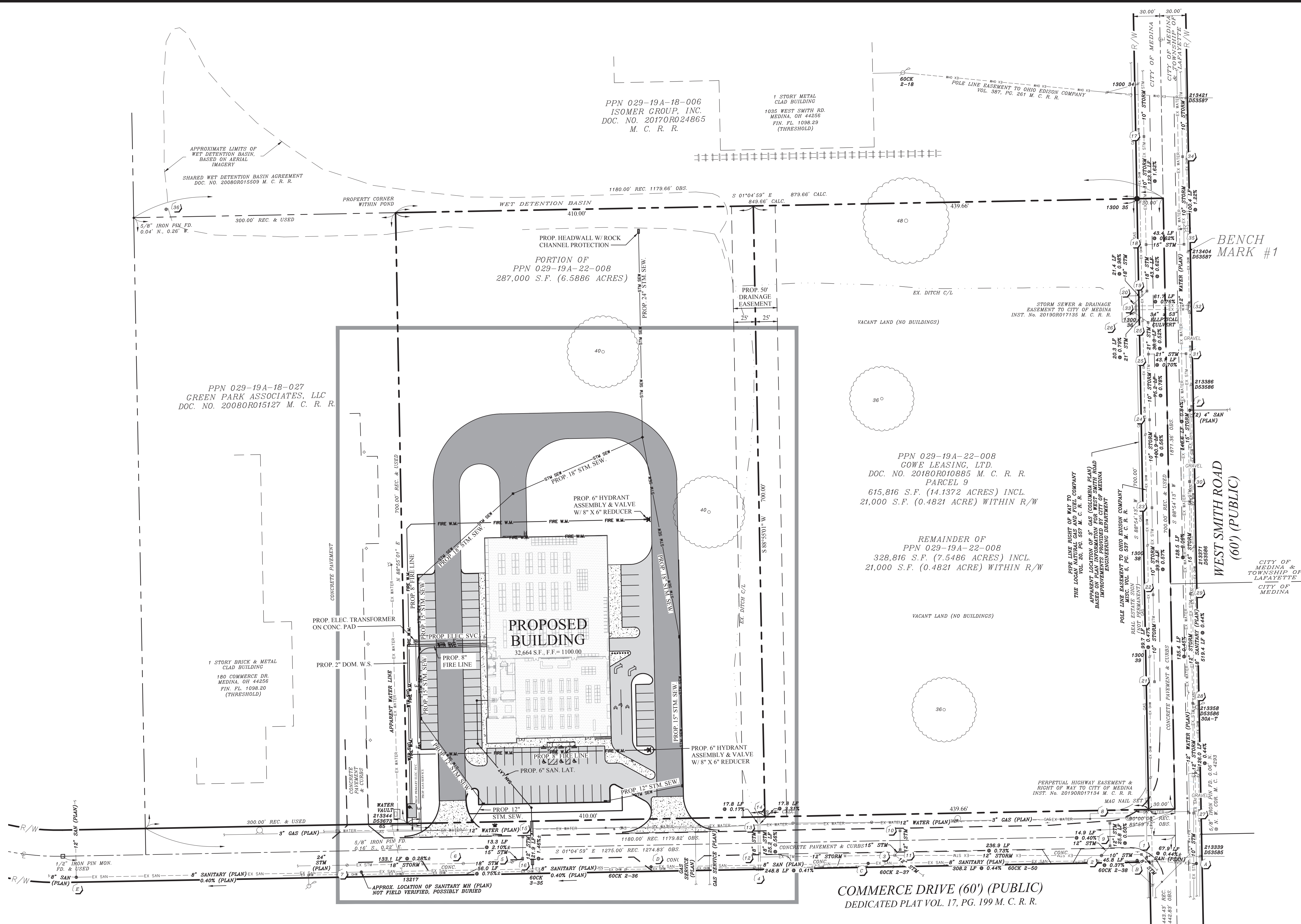
Issue Date  
 01-12-2023  
 01-19-2023

**PARTIAL  
 UTILITY PLAN**

**C103A**  
 Project No. 2022-289

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SITE BENCH MARK  
BENCH MARK #1  
SPIKE IN UTILITY POLE  
ELEVATION = 1098.52

EX. STORM  
STRUCTURE  
SCHEDULE

EX. SANITARY  
STRUCTURE  
SCHEDULE

- 1 CATCH BASIN  
RIM 1099.34  
8" INV. (SW) 1098.64  
10" INV. (N) 1098.64
- 2 CATCH BASIN  
RIM 1098.37  
INV. 1098.67
- 3 CATCH BASIN  
RIM 1096.93  
INV. 1093.93
- 4 (2) 18" INV. (E) 1092.84
- 5 STORM MANHOLE  
FULL OF DEBRIS  
RIM 1095.65  
INV. 1092.55±
- 6 STORM MANHOLE  
(SANITARY LID)  
FULL OF DEBRIS  
RIM 1092.23  
INV. 1092.13±
- 7 STORM MANHOLE  
FULL OF DEBRIS  
RIM 1096.66  
INV. 1091.75±
- 8 INLET BASIN  
RIM 1096.71  
INV. 1096.85
- 9 INLET BASIN  
RIM 1096.73  
INV. 1096.73
- 10 INLET BASIN  
RIM 1096.27  
INV. 1094.27
- 11 INLET BASIN  
SILT BAG IN STRUCTURE  
UNABLE TO OBSERVE INVERT  
RIM 1096.27  
INV. 1096.01
- 12 INLET BASIN  
RIM 1096.41  
(2) 18" INV. 1098.11
- 13 INLET BASIN  
RIM 1096.27  
(2) 18" INV. 1092.97
- 14 (2) 18" INV. (W)  
1092.94 (NLY. PIPE)  
1092.98 (SLY. PIPE)
- 15 INLET BASIN  
FULL OF DEBRIS  
RIM 1096.62  
INV. 1093.15±
- 16 INLET BASIN  
FULL OF DEBRIS  
RIM 1096.43  
INV. 1092.81±
- 17 CATCH BASIN  
RIM 1099.36  
INV. 1096.76
- 18 CATCH BASIN  
RIM 1097.65  
INV. 1094.75
- 19 CATCH BASIN  
RIM 1098.47  
INV. 1094.47
- 20 18" INV. (SE) 1094.26
- 21 CATCH BASIN  
RIM 1096.99  
INV. 1096.76
- 22 CATCH BASIN  
RIM 1096.47  
INV. 1096.29
- 23 CATCH BASIN  
RIM 1097.92  
INV. 1095.72
- 24 CATCH BASIN  
RIM 1097.45  
INV. 1095.15
- 25 CATCH BASIN  
RIM 1098.26  
INV. 1094.56
- 26 18" INV. (SW) 1094.21
- 27 CATCH BASIN  
RIM 1100.14  
INV. 1097.14
- 28 CATCH BASIN  
RIM 1099.58  
INV. 1096.58
- 29 CATCH BASIN  
RIM 1098.61  
INV. 1096.01
- 30 CATCH BASIN  
RIM 1098.49  
INV. 1096.09
- 31 CATCH BASIN  
RIM 1097.56  
INV. 1094.86
- 32 34" x 55" ELLIPTICAL  
INV. (N) 1094.84
- 33 34" x 55" ELLIPTICAL  
INV. (S) 1094.17
- 34 CATCH BASIN  
RIM 1098.89  
INV. 1096.54
- 35 CATCH BASIN  
RIM 1097.72  
INV. 1095.02
- 36 RCP OUTLET STRUCTURE  
WITH IRON BEHVIE TOP  
TOP STRUCTURE (D) 1098.29  
APPROX. 6" x 12" ORIFICE (S) 1092.61  
INV. 33" ADS OUTLET 1099.01
- A SANITARY MANHOLE  
FULL OF SLUDGE  
RIM 1100.89  
INV. 1091.39±
- B SANITARY MANHOLE  
RIM 1096.74  
INV. 1091.09
- C SANITARY MANHOLE  
RIM 1096.74  
INV. 1096.74
- D SANITARY MANHOLE  
RIM 1097.32±  
INV. 1098.73±
- E SANITARY MANHOLE  
RIM 1098.96  
INV. 1095.96
- F SANITARY MANHOLE  
DRY, NO FLOW  
RIM 1098.85  
INV. 1093.67

**WEBER ENGINEERING SERVICES**  
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 Rocktown, OH 44272  
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 01-19-2023

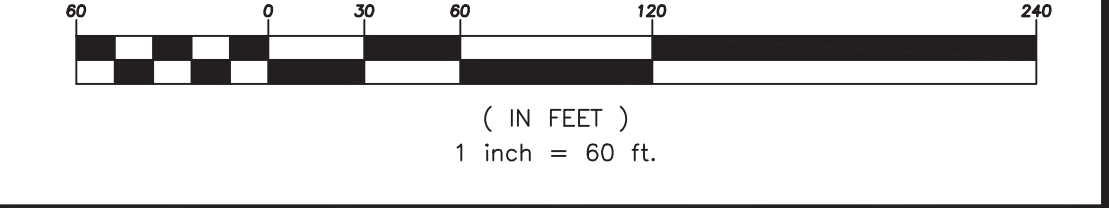
FAMOUS SUPPLY  
 NEW CONSTRUCTION  
 COMMERCE DRIVE MEDINA, OHIO

OVERALL  
 UTILITY PLAN

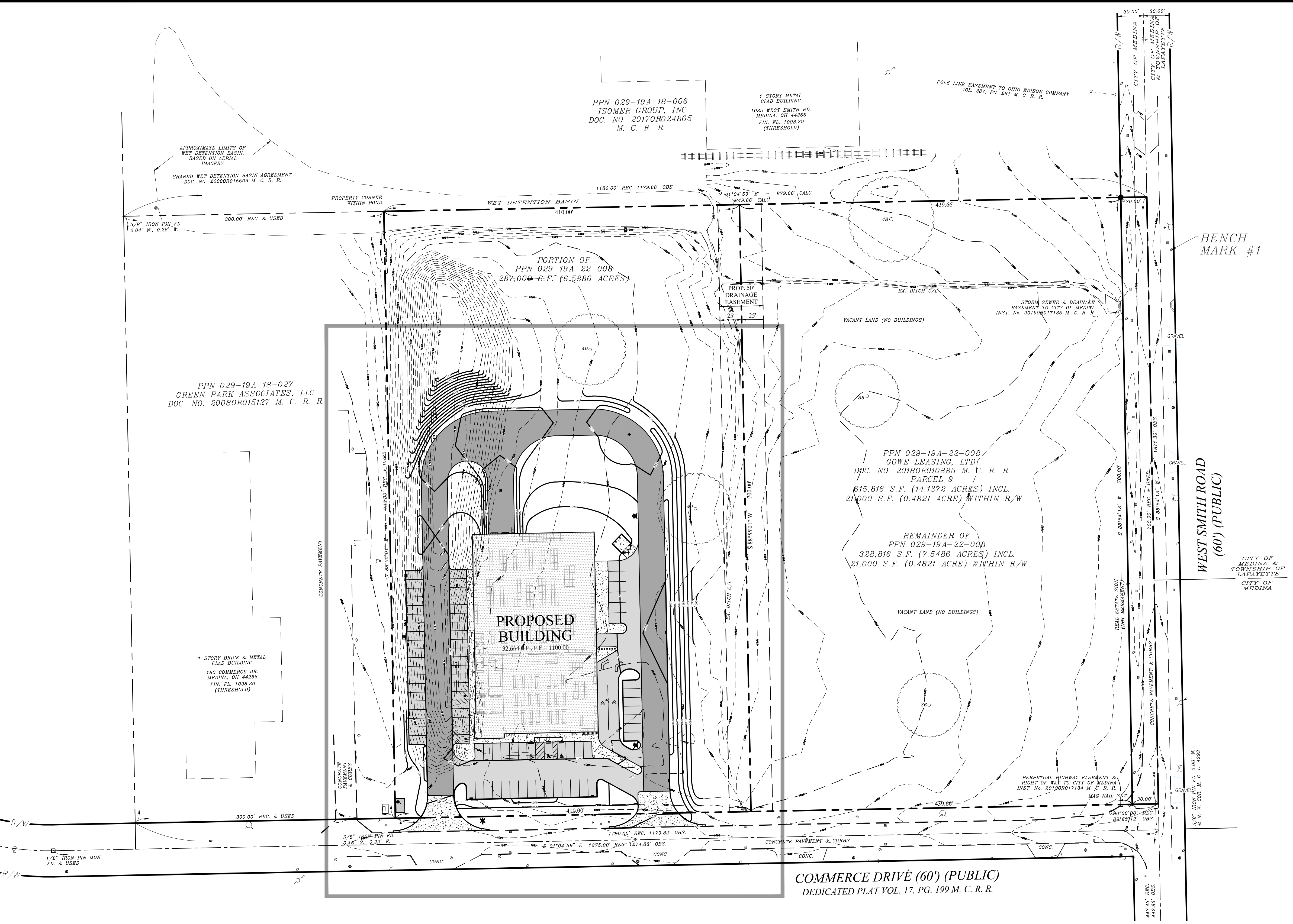
**C103**  
 Project No. 2022-289



GRAPHIC SCALE



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**SITE BENCH MARK**  
BENCH MARK #1  
SPIKE IN UTILITY POLE  
ELEVATION = 1098.52

**LEGEND**  
ITALICS TEXT REPRESENTS EXISTING CONDITION  
NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION

- (00.00)* PROPOSED SPOT GRADE
- (00.00) PROPOSED GRADE AT CURB
- 000.00 EXISTING SPOT GRADE

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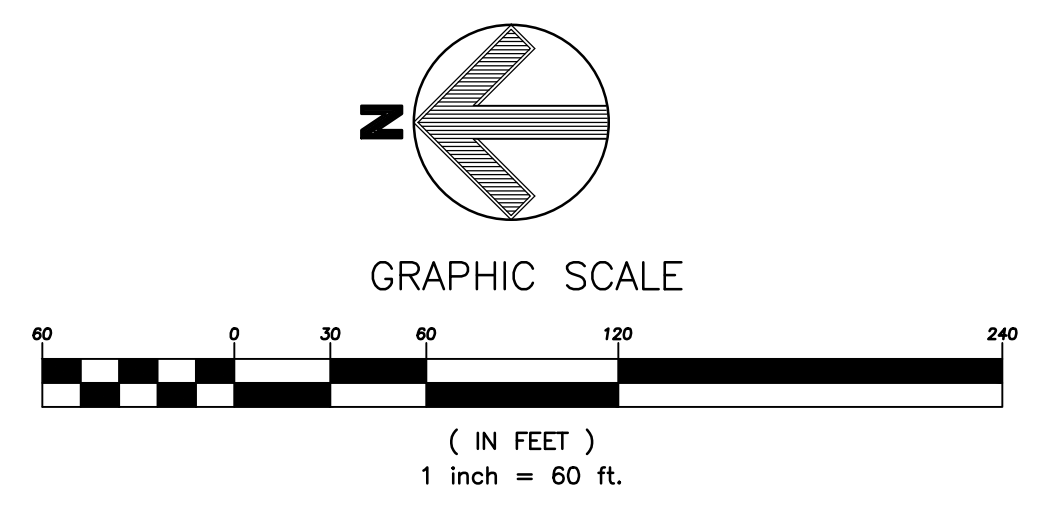
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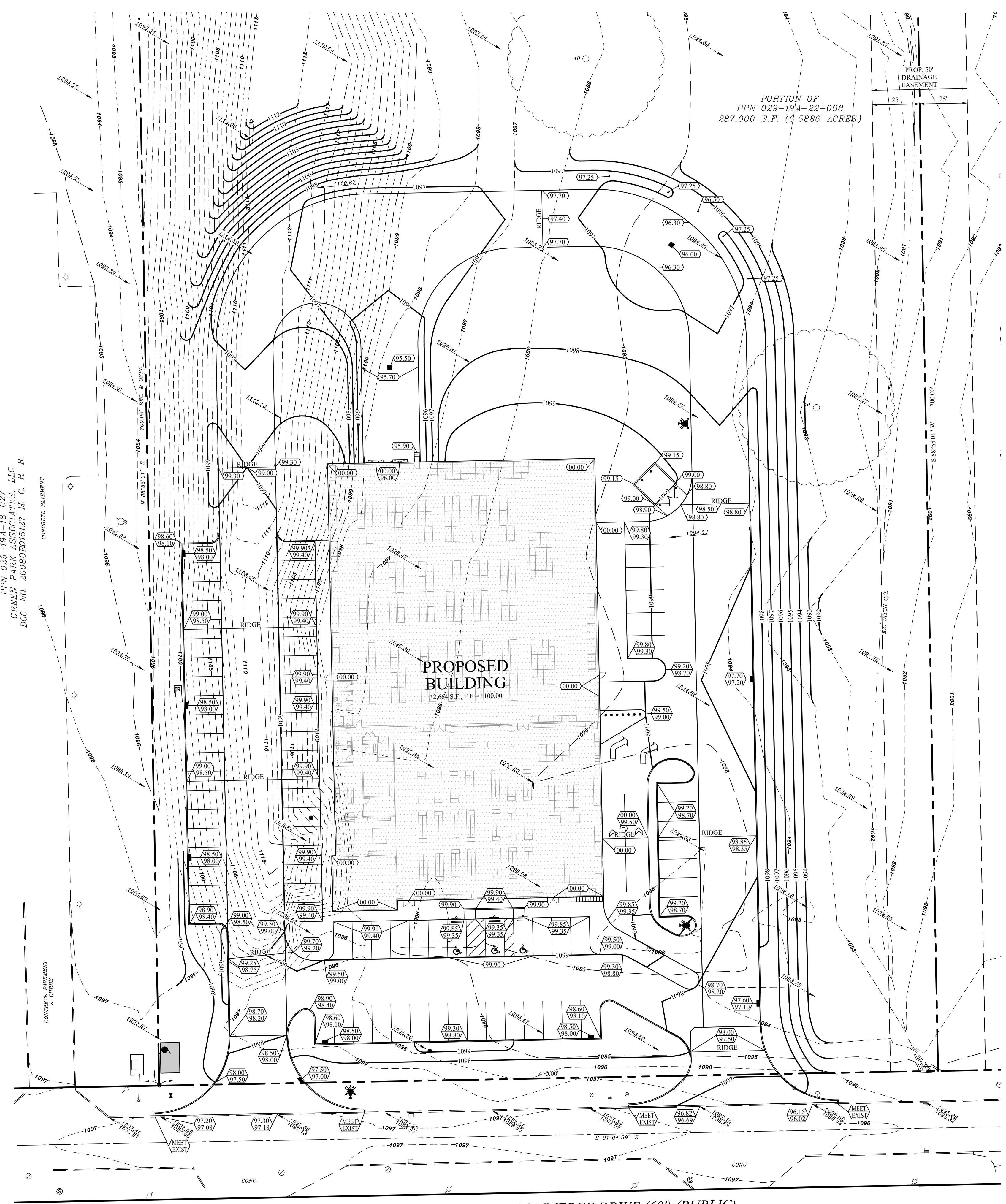
- 01-12-2023
- 01-19-2023
- 01-24-2023

FAMOUS SUPPLY  
NEW CONSTRUCTION  
COMMERCE DRIVE MEDINA, OHIO

**OVERALL GRADING PLAN**

**C104**  
Project No. 2022-289





**SITE BENCH MARK**  
 BENCH MARK #1  
 SPIKE IN UTILITY POLE  
 ELEVATION = 1098.52

**LEGEND**  
 ITALICS TEXT REPRESENTS EXISTING CONDITION  
 NON-ITALICS TEXT REPRESENTS PROPOSED CONDITION

- 00.00* PROPOSED SPOT GRADE
- 00.00 PROPOSED GRADE AT CURB
- 00.00 EXISTING SPOT GRADE

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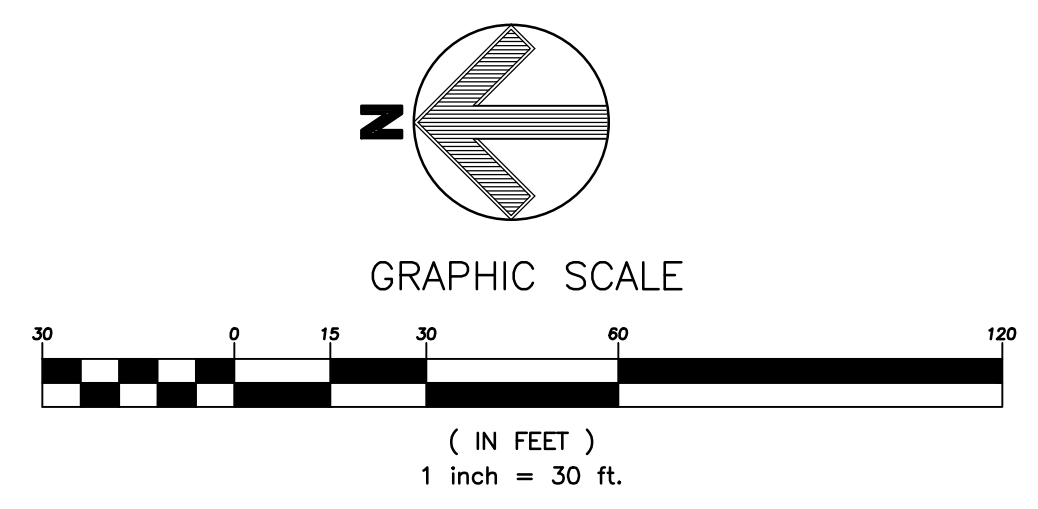
FAMOUS SUPPLY  
 NEW CONSTRUCTION  
 COMMERCE DRIVE MEDINA, OHIO

Issue Date  
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 01-19-2023  
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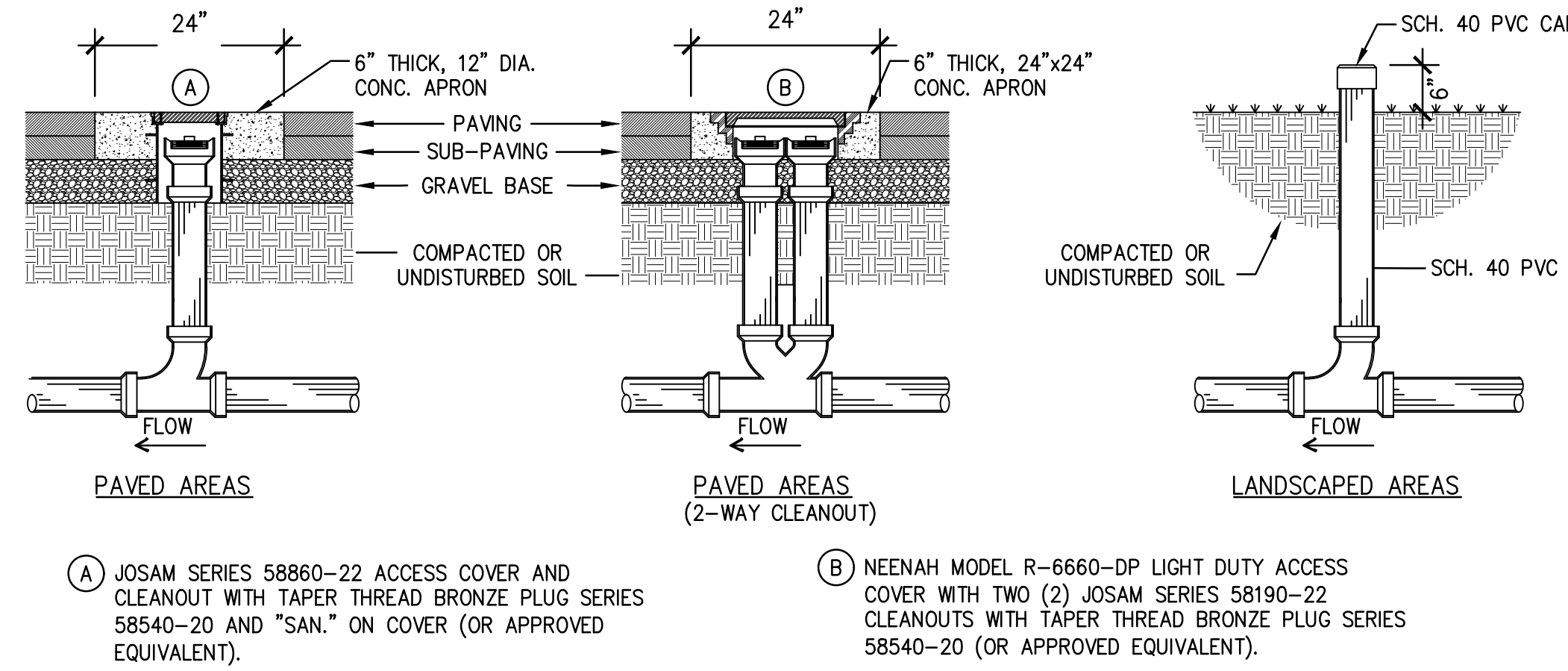
**PARTIAL GRADING PLAN**

**C104A**  
 Project No. 2022-289

COMMERCE DRIVE (60') (PUBLIC)  
 DEDICATED PLAT VOL. 17, PG. 199 M. C. R. R.



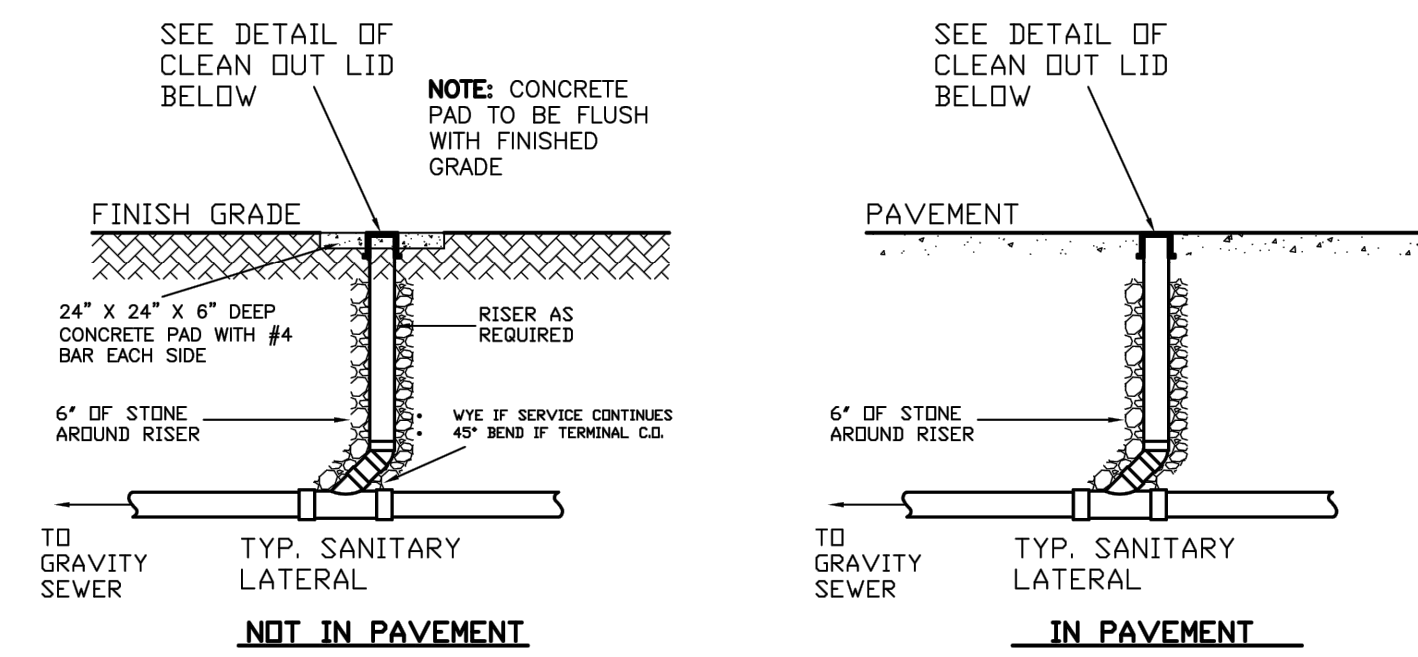
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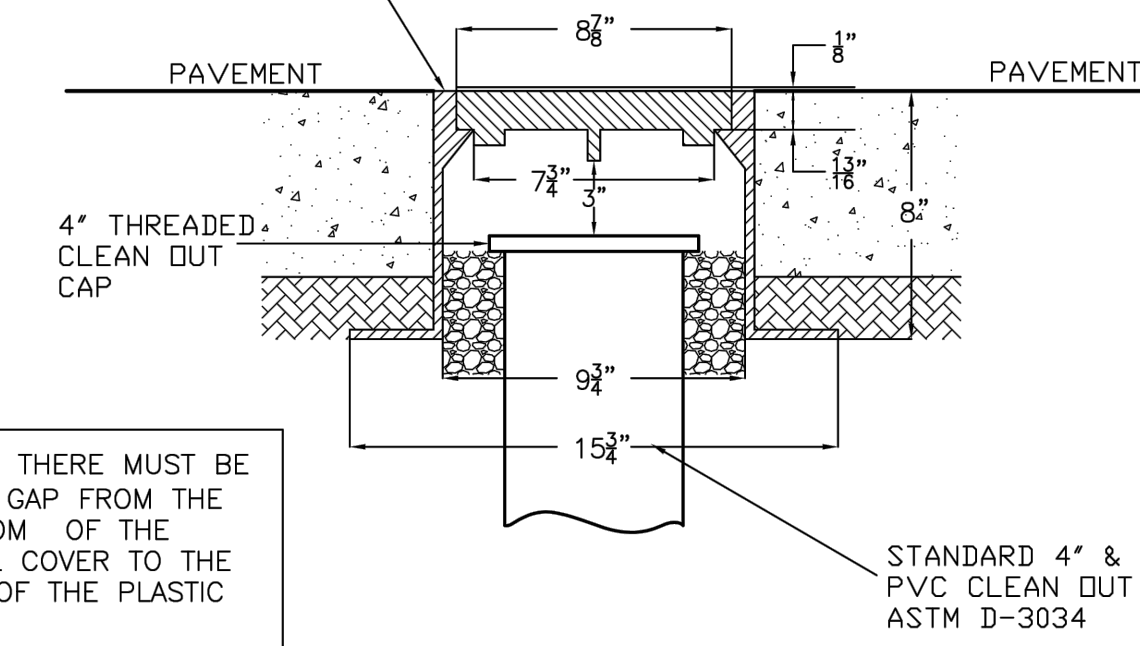
- (A) JOSAM SERIES 58860-22 ACCESS COVER AND CLEANOUT WITH TAPER THREAD BRONZE PLUG SERIES 58540-20 AND "SAN." ON COVER (OR APPROVED EQUIVALENT).
- (B) NEENAH MODEL R-6660-DP LIGHT DUTY ACCESS COVER WITH TWO (2) JOSAM SERIES 58190-22 CLEANOUTS WITH TAPER THREAD BRONZE PLUG SERIES 58540-20 (OR APPROVED EQUIVALENT).

**STORM CLEANOUT DETAILS**  
REFERENCE ONLY NOT TO SCALE

**- COMMERCIAL - TYP. CLEAN OUT DETAIL**



**EAST JORDAN HEAVY DUTY LID 1574 OR APPROVED EQUAL**



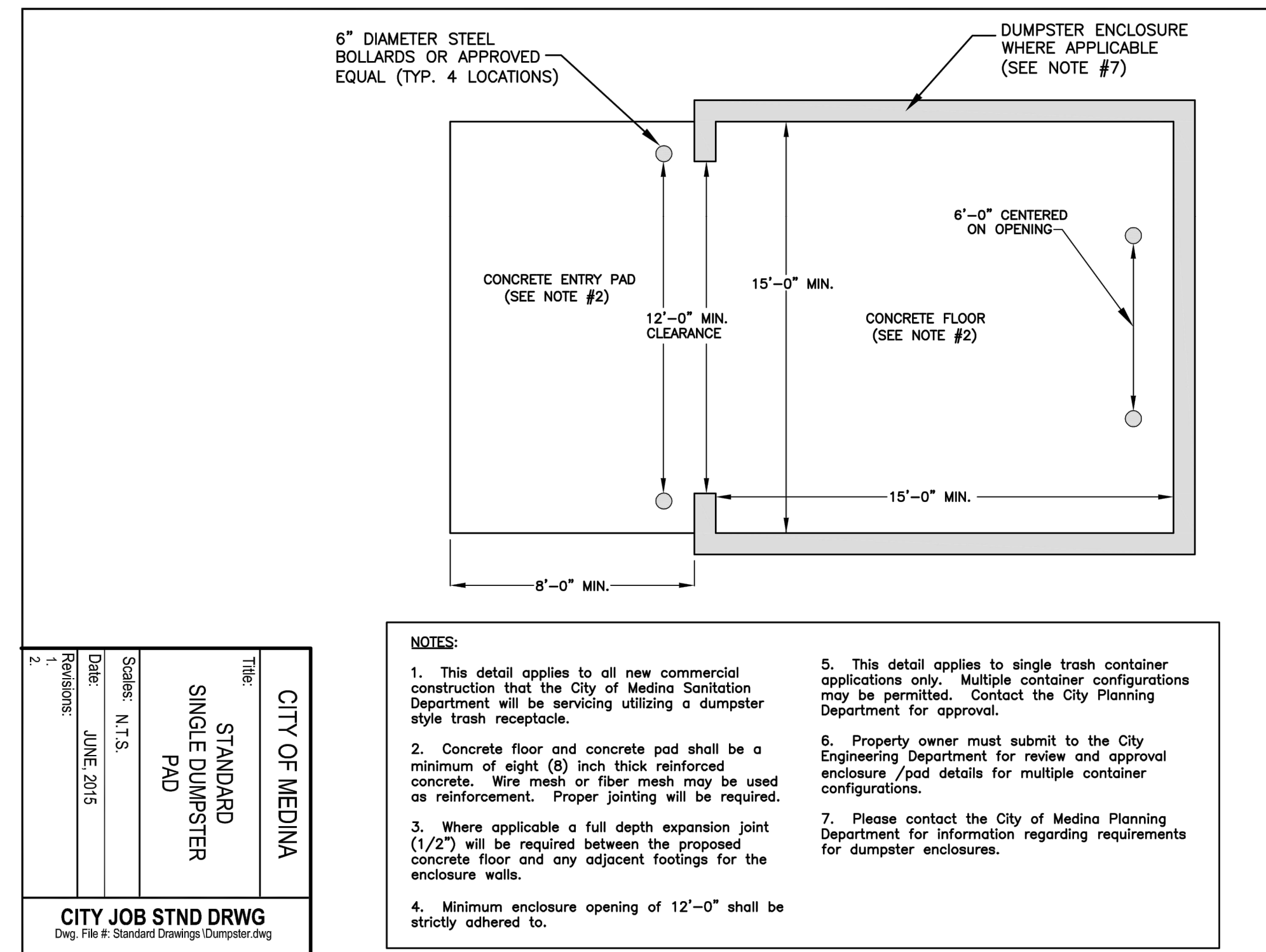
NOTE: THERE MUST BE A 3" GAP FROM THE BOTTOM OF THE STEEL COVER TO THE TOP OF THE PLASTIC CAP

(NO SCALE)

**MEDINA COUNTY SANITARY ENGINEER**  
JAMES F. TROIKE, P.E.  
791 WEST SMITH ROAD  
MEDINA, OHIO  
(330) 723-9585 (330) 225-3113

DRAWN BY: JS  
CHECKED BY: DC  
DATE: DEC 2008

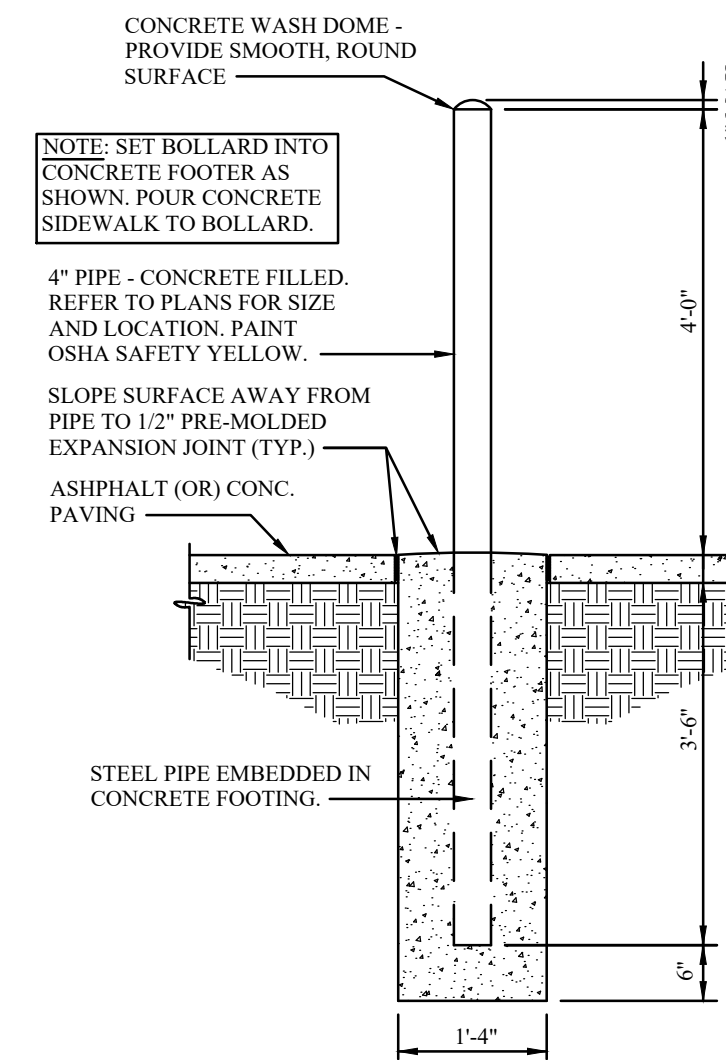
**- COMMERCIAL - TYPICAL CLEAN OUT DETAIL**



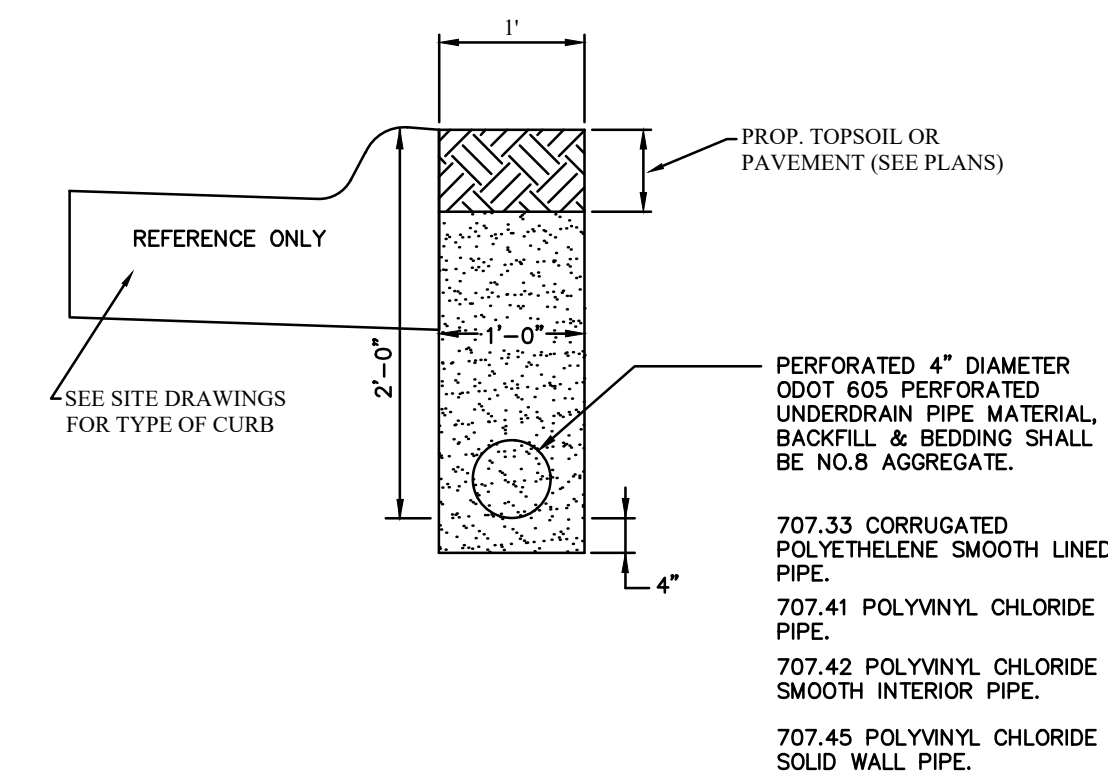
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|----------------|-----------|--------|------------------------------|
| Revisions:     | Date:     | Scale: | Title:                       |
| 2              | JUNE 2015 | N.T.S. | STANDARD SINGLE DUMPSTER PAD |
| CITY OF MEDINA |           |        |                              |

**CITY JOB STND DRWG**  
Dwg. File #: Standard Drawings \Dumpster.dwg

- NOTES:**
- This detail applies to all new commercial construction that the City of Medina Sanitation Department will be servicing utilizing a dumpster style trash receptacle.
  - Concrete floor and concrete pad shall be a minimum of eight (8) inch thick reinforced concrete. Wire mesh or fiber mesh may be used as reinforcement. Proper jointing will be required.
  - Where applicable a full depth expansion joint (1/2") will be required between the proposed concrete floor and any adjacent footings for the enclosure walls.
  - Minimum enclosure opening of 12'-0" shall be strictly adhered to.
  - This detail applies to single trash container applications only. Multiple container configurations may be permitted. Contact the City Planning Department for approval.
  - Property owner must submit to the City Engineering Department for review and approval enclosure /pad details for multiple container configurations.
  - Please contact the City of Medina Planning Department for information regarding requirements for dumpster enclosures.



**TYPICAL BOLLARD DETAIL**  
REFERENCE ONLY NOT TO SCALE



**UNDERDRAIN DETAIL**  
REFERENCE ONLY NOT TO SCALE

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**FAMOUS SUPPLY  
NEW CONSTRUCTION  
COMMERCE DRIVE MEDINA, OHIO**

**SITE DETAILS**

**C105A**  
Project No. 2022-289





