



**P23-04**  
**Liberty View – First Floor Residential**

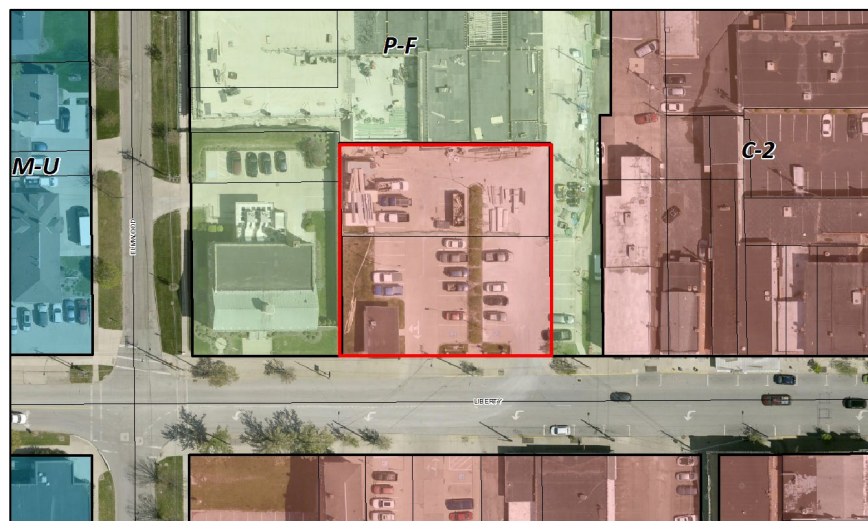
Property Owners: City of Medina and Medina City Development Corporation  
Applicant: Anthony Cerny  
Location: 135 West Liberty Street  
Zoning: C-2 (Central Business)  
Request: Conditional Zoning Certificate approval for first-floor residential units

**LOCATION AND SURROUNDING USES**

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The subject site is composed of 0.44 acres located on the north side of West Liberty Street. Adjacent properties contain the following uses and zoning:

- North – Parking Garage (P-F)
- East – At Grade Parking (P-F)
- South – Retail & Multi-Family Residential (C-2)
- West – Federal Building (P-F)



**BACKGROUND & PROPOSED APPLICATION**

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In April of 2021, the Planning Commission approved a four-story mixed-use development on the site. The plans incorporated commercial/office space on the first floor of the building and residential units on the second, third, and fourth floors.

In January of 2022, the applicant requested Conditional Zoning Certificate approval to allow two first floor dwelling units on the north side of the building. The remainder of the first floor continued to be used for commercial/office uses and the second, third, and fourth floors continued to be used for residential units. The application was approved by the Planning Commission.

The previous approval in January of 2022 has expired and the applicant has resubmitted a Conditional Zoning Certificate application to allow first floor dwelling units. The resubmittal does not incorporate any changes from the previous submittal.

### **CONDITIONAL USE REGULATIONS**

First-floor dwelling units include the following standards found in Section 1155.10:

- A. First-floor dwelling units in the C-2 Public Square Area as defined in Section 1135.07 (b), Dwelling Unit Regulations, shall not be in buildings which face on Public Square.
- B. First-floor dwelling units shall not detract from the use of adjacent buildings for commercial purposes and shall not be detrimental to the function of the C-2 Public Square Area as a service center for both the City and County.

The proposed first-floor units are located in the rear of the building and are accessed through a lobby area. The residential units will not be visible from West Liberty Street and will not affect the commercial nature of the Public Square area.

### **CONDITIONAL ZONING CERTIFICATE BASIS OF DETERMINATION**

The Planning Commission shall establish beyond reasonable doubt that the general standards and the specific standards pertinent to each use indicated herein are satisfied by the completion and operation of the proposed development. The Planning Commission may also impose such additional conditions and safeguards deemed necessary for the general welfare, for the protection of individual property rights and for the insuring that the intent and objectives of this Zoning Ordinance will be observed.

The Planning Commission shall review the particular facts and circumstances of each proposed use in terms of the following standards and shall find adequate evidence showing that such use on the proposed location:

- (1) Will be harmonious with and in accordance with the general objectives or with any specific objectives of the Land Use and Thoroughfare Plan of current adoption;
- (2) Will be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area;
- (3) Will not be hazardous or disturbing to existing or future neighboring uses;
- (4) Will not be detrimental to property in the immediate vicinity or to the community as a whole;
- (5) Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection drainage structures, refuse disposal and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide such service adequately;
- (6) Will be in compliance with State, County and City regulations;
- (7) Will have vehicular approaches to the property which shall be so designed as not to create an interference with traffic or surrounding public streets or roads.

### **COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION**

Staff recommends **approval** of application P23-04 for two first-floor residential units at 135 West Liberty Street, as presented.

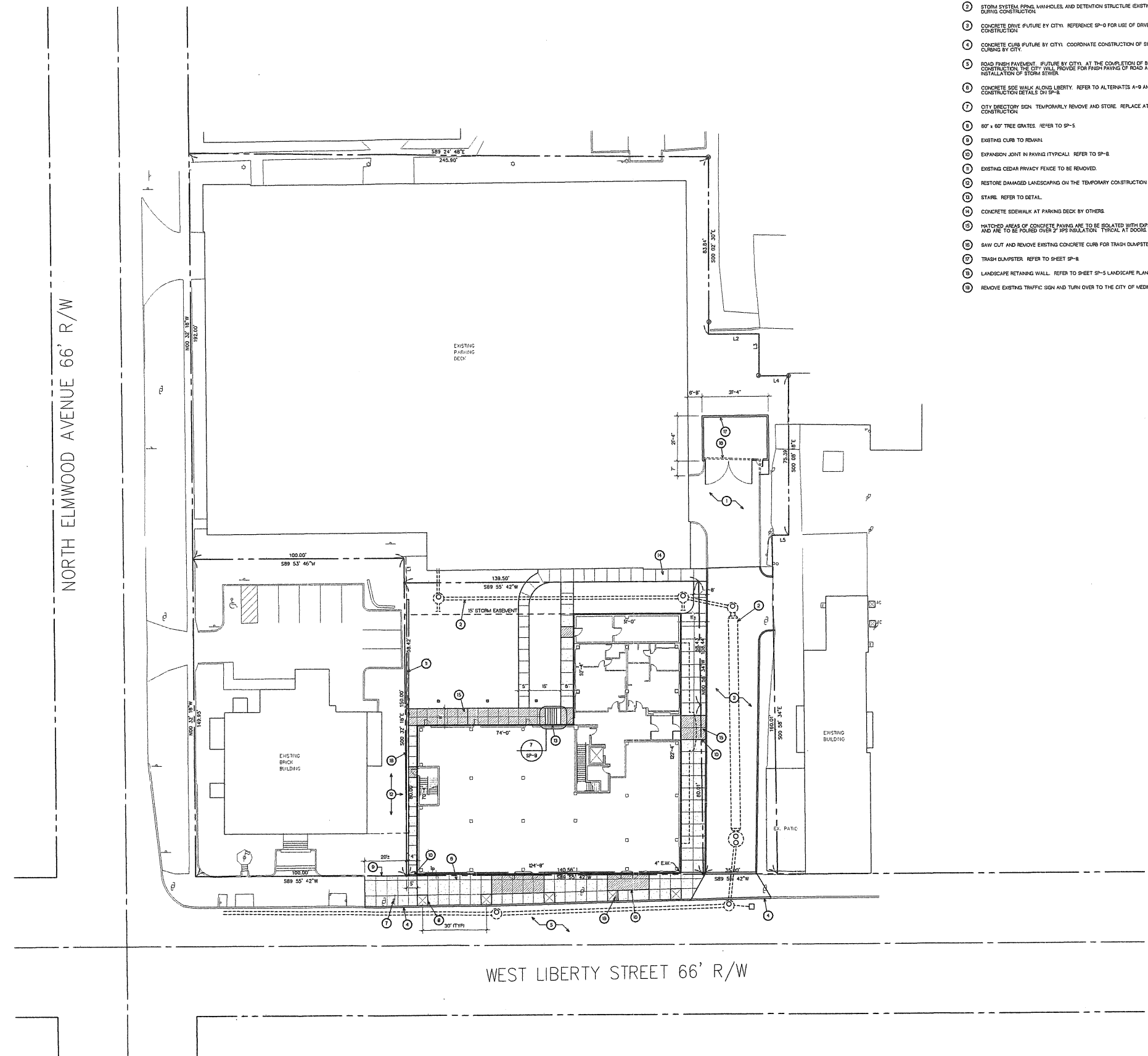
Staff finds that the proposal meets the applicable Conditional Zoning Certificate Basis of Determination standards and the specific standards for first-floor residential units. In addition, the proposed units will not be visible from West Liberty Street, will not detract from adjacent commercial buildings, and will be compatible with the Public Square area.



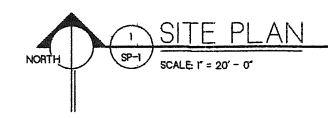
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### SITE PLAN NOTES

- 1 EXISTING APRON AT ENTRANCE TO EXISTING PARKING DECK.
- 2 STORM SYSTEM FROM MANHOLES AND DETENTION STRUCTURE (EXISTING) PROTECT DURING CONSTRUCTION.
- 3 CONCRETE DRIVE (FUTURE BY CITY). REFERENCE SP-0 FOR USE OF DRIVE DURING CONSTRUCTION.
- 4 CONCRETE CURB (FUTURE BY CITY). COORDINATE CONSTRUCTION OF SEWALK WITH CURBING BY CITY.
- 5 ROAD FINISH PAVEMENT (FUTURE BY CITY). AT THE COMPLETION OF BUILDING CONSTRUCTION THE CITY WILL PROVIDE FOR FRESH PAVING OF ROAD ASSOCIATED WITH INSTALLATION OF STORM SEWER.
- 6 CONCRETE SIDE WALK ALONG LIBERTY. REFER TO ALTERNATES A-8 AND A-13. REFER TO CONSTRUCTION DETAILS ON SP-8.
- 7 CITY DIRECTORY SIGN. TEMPORARILY REMOVE AND STORE. REPLACE AT COMPLETION OF CONSTRUCTION.
- 8 60" x 60" TREE GRATES. REFER TO SP-5.
- 9 EXISTING CURB TO REMAIN.
- 10 EXPANSION JOINT IN PAVING (TYPICAL). REFER TO SP-8.
- 11 EXISTING CEDAR PRIVACY FENCE TO BE REMOVED.
- 12 RESTORE DAMAGED LANDSCAPING ON THE TEMPORARY CONSTRUCTION EASEMENT.
- 13 STAIRS. REFER TO DETAIL.
- 14 CONCRETE SIDEWALK AT PARKING DECK BY OTHERS.
- 15 MATCHED AREAS OF CONCRETE PAVING ARE TO BE ISOLATED WITH EXPANSION JOINTS AND ARE TO BE POURED OVER 2" EPS INSULATION. TYPICAL AT DOORS.
- 16 SAW CUT AND REMOVE EXISTING CONCRETE CURB FOR TRASH DUMPSTER.
- 17 TRASH DUMPSTER. REFER TO SHEET SP-8.
- 18 LANDSCAPE RETAINING WALL. REFER TO SHEET SP-5 LANDSCAPE PLAN.
- 19 REMOVE EXISTING TRAFFIC SIGN AND TURN OVER TO THE CITY OF MEDINA.



Line #	Length	Direction
L1	11.55'	N00 32' 18"W
L2	23.88'	N89 45' 42"E
L3	20.00'	N00 08' 18"W
L4	14.00'	N89 45' 43"E
L5	8.00'	S89 55' 42"W



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ISSUED
03/02/2021 ISSUED FOR PLANNING
04/08/2021 ISSUED FOR REVIEW & BUDGETING
10/07/2021 ISSUED TO MEDINA CITY FOR REVIEW

**LIBERTY VIEW**

135 WEST LIBERTY STREET  
MEDINA, OHIO 44256

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SP-1

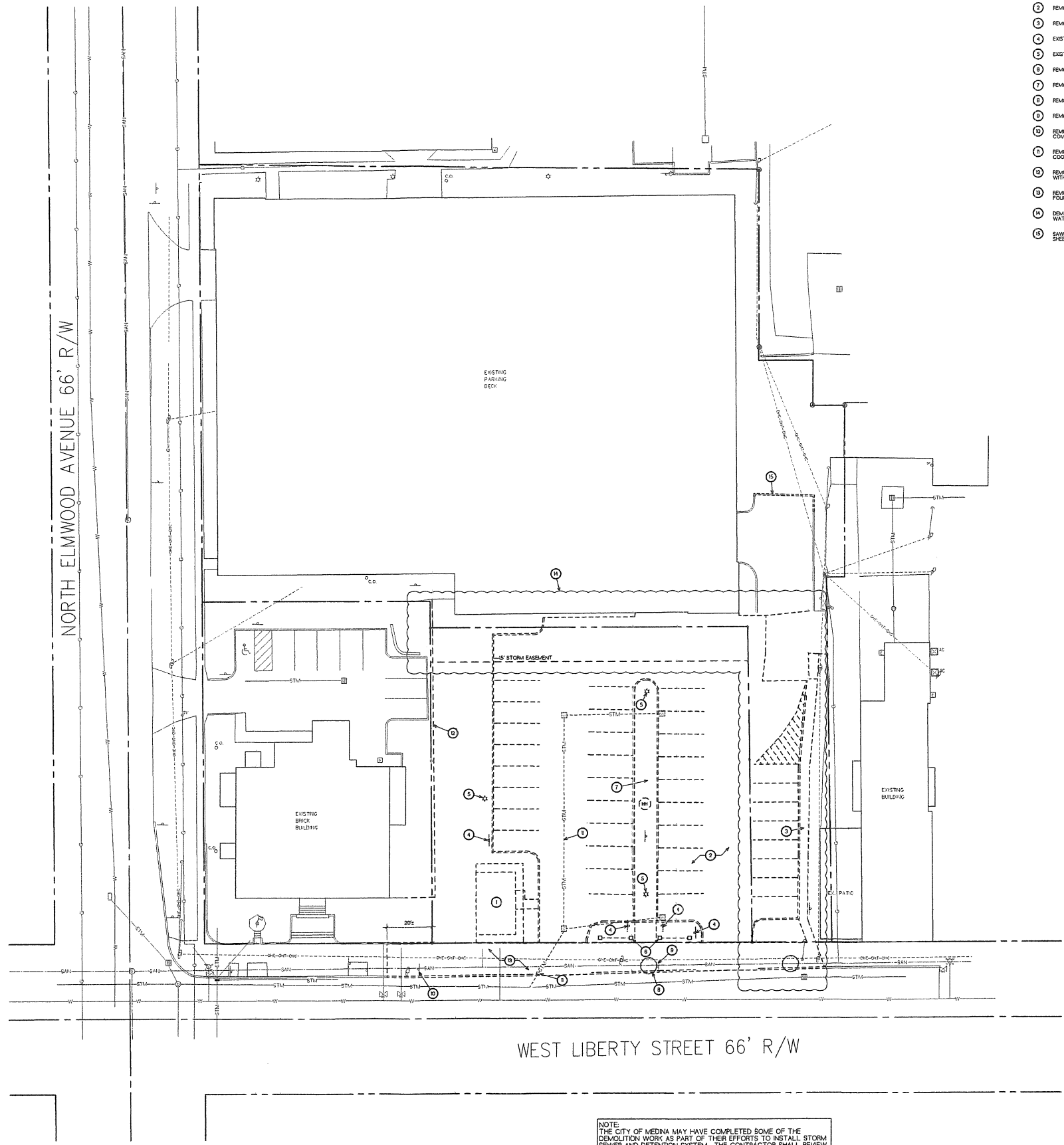
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Know what's below.  
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SITE DEMOLITION PLAN NOTES

- 1 REMOVE EXISTING CONCRETE BLOCK BUILDING
- 2 REMOVE EXISTING CONCRETE PARKING LOT INCLUDING CONCRETE CURBS
- 3 REMOVE EXISTING CONCRETE SIDEWALK
- 4 EXISTING SIGNS TO BE REMOVED AND TURNED OVER TO THE CITY OF MEDINA
- 5 EXISTING LIGHT POLES COORDINATE WITH FIRST ENERGY TO HAVE POLES REMOVED
- 6 REMOVE EXISTING BRICK FENCE AND METAL FENCE
- 7 REMOVE EXISTING LANDSCAPE ISLAND AND PLANTINGS
- 8 REMOVE EXISTING TREES
- 9 REMOVE EXISTING TRAFFIC SIGN AND TURN OVER TO CITY OF MEDINA
- 10 REMOVE EXISTING CITY MARKER/DIRECTIONAL SIGN AND STORE TO BE REINSTALLED AT COMPLETION OF PROJECT
- 11 REMOVE EXISTING STORM STRUCTURES AND SEWER LINES REFER TO SWP'S PLAN TO COORDINATE WITH CONSTRUCTION CAP STORM LINE AT EDGE OF ROAD
- 12 REMOVE EXISTING CEDAR PRIVACY FENCE COORDINATE WITH CONSTRUCTION FENCE WITH PRIVACY SCREEN IN PLACE PRIOR TO REMOVAL OF CEDAR FENCE
- 13 REMOVE EXISTING SIDEWALK AT LIBERTY STREET SIDEWALK TO REMAIN IN PLACE UNTIL FOUNDATIONS ARE IN PLACE
- 14 DEMOLITION WORK IN THIS AREA HAS BEEN COMPLETED AS PART OF THE CITY'S STORM WATER WORK
- 15 SAW CUT AND REMOVE EXISTING CONCRETE CURB FOR TRASH DUMPSTER REFER TO SHEET SP-1



NOTE:  
THE CITY OF MEDINA MAY HAVE COMPLETED SOME OF THE  
DEMOLITION WORK AS PART OF THEIR EFFORTS TO INSTALL STORM  
SEWER AND DETENTION SYSTEM. THE CONTRACTOR SHALL REVIEW  
THE SITE TO DETERMINE FULL EXTENT OF DEMOLITION WORK.

**1** SITE DEMOLITION PLAN  
SCALE 1" = 20' - 0"

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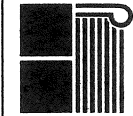
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SP-2





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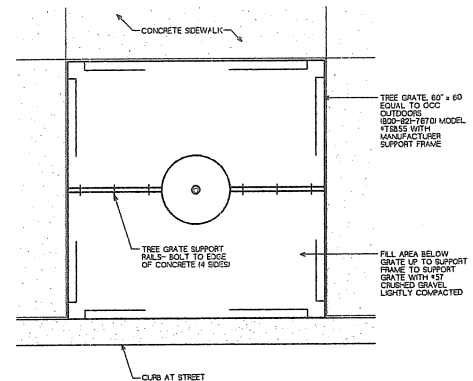
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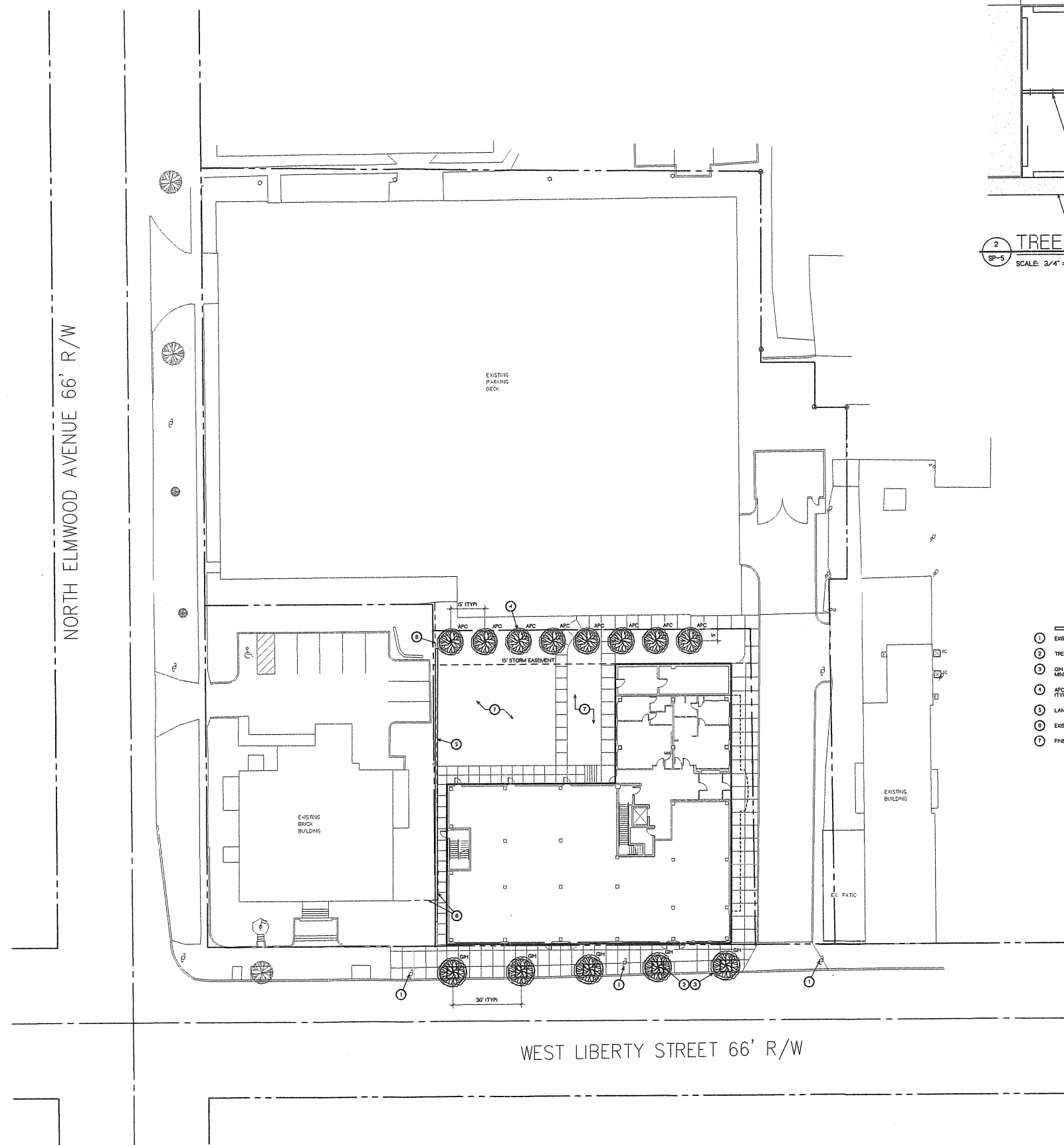
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SP-5



2 TREE GRATE DETAIL  
SP-5 SCALE 3/4" = 1' - 0"



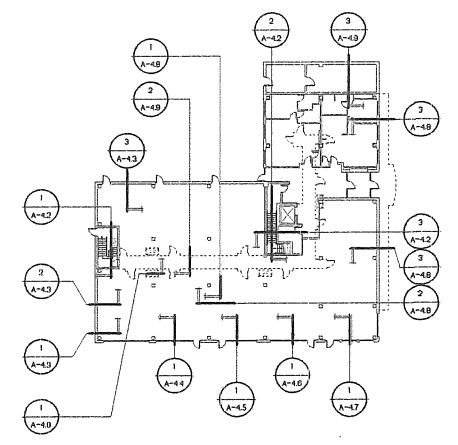
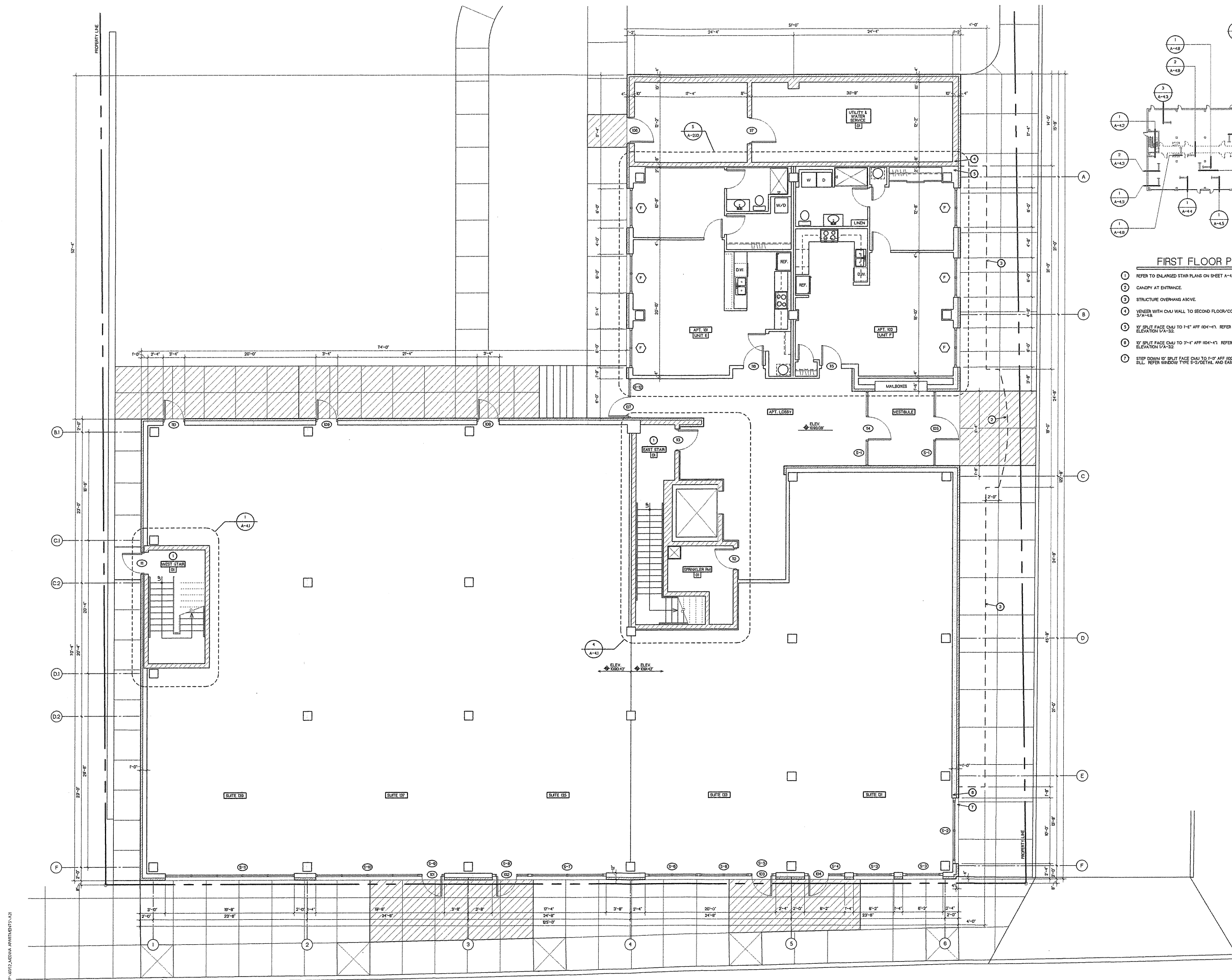
SITE LANDSCAPE PLAN NOTES

- 1 EXISTING UTILITY POLES TO REMAIN.
- 2 TREE GRATES ALONG SIDEWALK. REFER TO DETAIL THIS SHEET.
- 3 GH - GLEDITSIA TRIANGULATOS VARIETY TREES, IMPERIAL THORNLESS HONEYLOCUST, MINIMUM 2" CALIPER (TYPICAL AS NOTED).
- 4 APC ACER PLATA MODES COLLANARDE, COLLANAR NORWAY MAPLE, MINIMUM 2" CALIPER (TYPICAL AS NOTED).
- 5 LANDSCAPE RETAINING WALL. REFER TO GRADING PLAN.
- 6 EXISTING PRIVACY FENCE TO BE REMOVED.
- 7 FINISH GRADE AND SEED.

SITE LANDSCAPE PLAN  
SP-5 SCALE 1" = 20' - 0"



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**FIRST FLOOR PLAN NOTES**

- 1 REFER TO ENLARGED STAIR PLAN ON SHEET A-41
- 2 CANOPY AT ENTRANCE.
- 3 STRUCTURE OVERHANGS ABOVE.
- 4 VENEER WITH CMU WALL TO SECOND FLOOR/CONCRETE PLANK. REFER TO SECTION 3/A-43.
- 5 1/2" SPLIT FACE CMU TO 1'-6" AFF. 104-17. REFER TO SECTION 3/A-48 AND EAST ELEVATION 1/A-32.
- 6 1/2" SPLIT FACE CMU TO 3'-4" AFF. 104-17. REFER TO SECTION 3/A-48 AND EAST ELEVATION 1/A-32.
- 7 STEP DOWN 1/2" SPLIT FACE CMU TO 1'-0" AFF. 102-07 TO COORDINATE WITH WINDOW SILL. REFER WINDOW TYPE S-2/DETAL AND EAST ELEVATION 1/A-32.

**FIRST FLOOR PLAN**  
 NORTH  
 SCALE 3/16" = 1'-0"

DIMENSIONS TO STUD WALLS ARE NOMINAL AND ARE INTENDED TO ROUGHLY REPRESENT FACE OF STUD TO FACE OF STUD.  
 4" x 3-5/8" STEEL STUD  
 6" x 6" STEEL STUD

PLOTTED 10/18/2021

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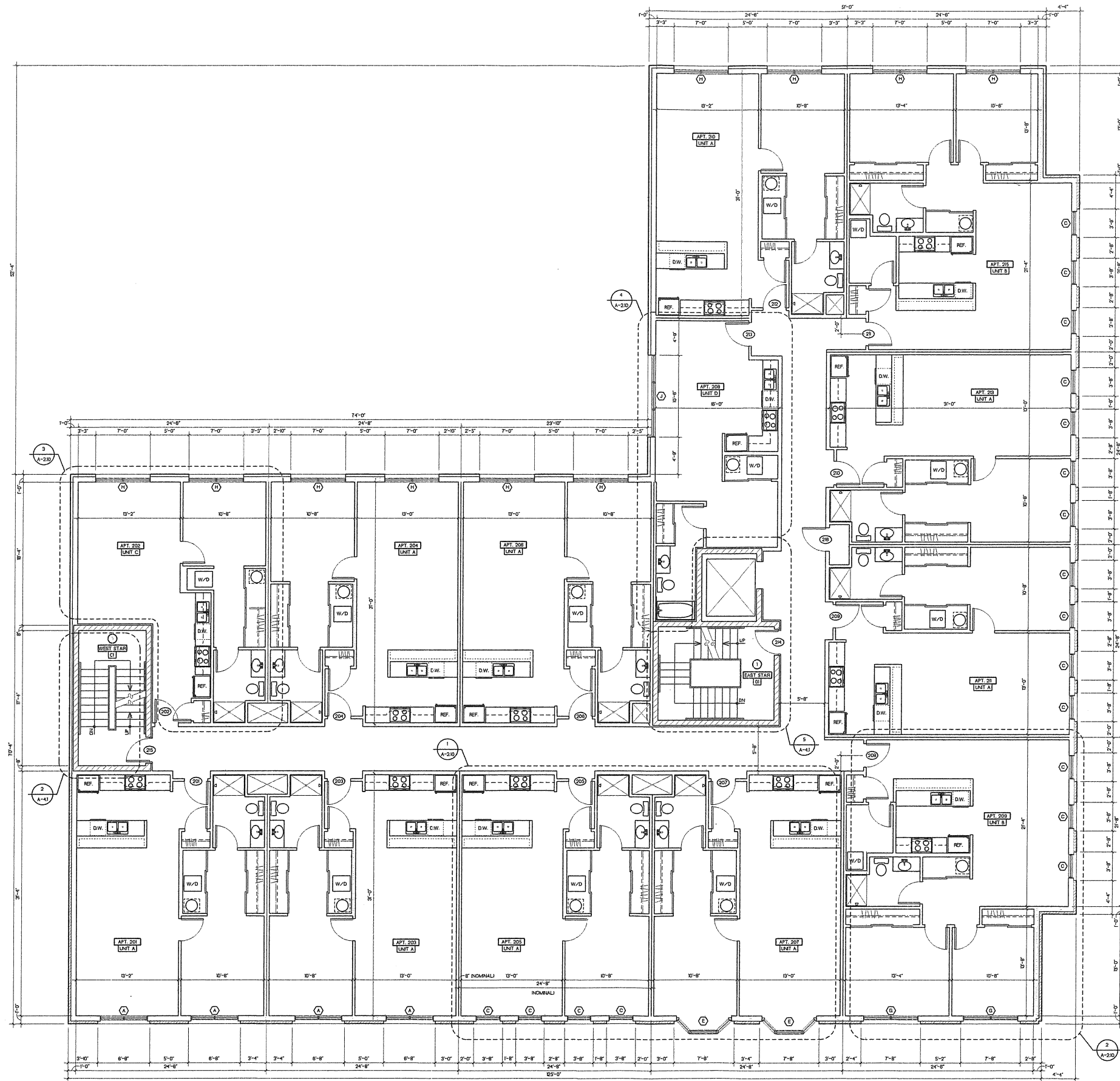
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**SECOND FLOOR PLAN NOTES**

1 REFER TO ENLARGED STAIR PLAN ON SHEET A-11

**1 SECOND FLOOR PLAN**  
 NORTH  
 A-22  
 SCALE: 3/16" = 1'-0"

DIMENSIONS TO STUD WALLS ARE NOMINAL AND ARE INTENDED TO ROUGHLY REPRESENT FACE OF STUD TO FACE OF STUD.  
 4" x 2-1/2" WOOD STUD  
 6" x 5-1/2" WOOD STUD

PLOTTED 10/19/2021

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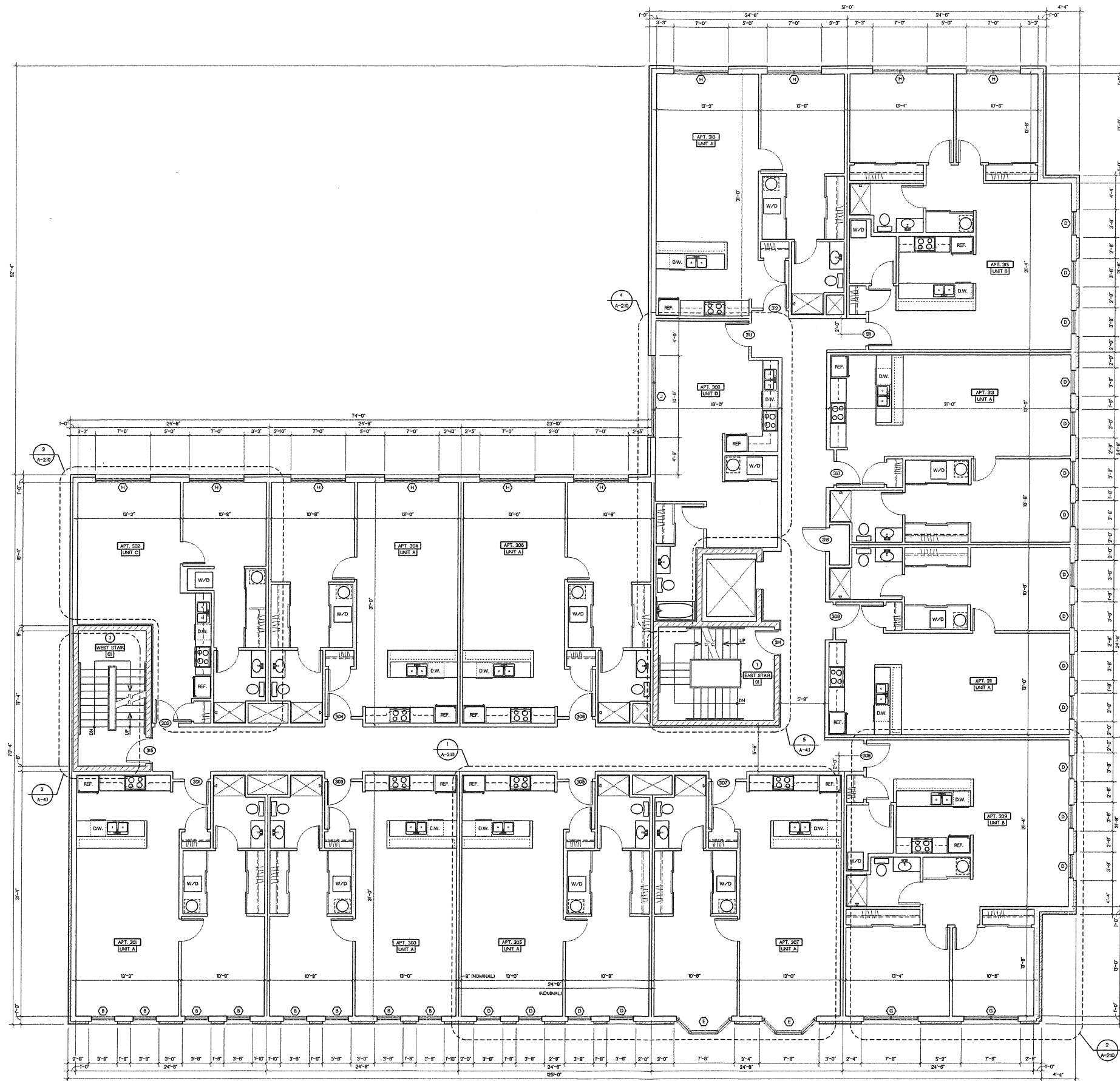
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**A-2.2**



1 THIRD FLOOR PLAN  
 NORTH  
 SCALE: 3/16" = 1'-0"

THIRD FLOOR PLAN NOTES  
 1 REFER TO ENLARGED STAIR PLANS ON SHEET A-11

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DIMENSIONS TO STUD WALLS ARE NOMINAL  
 AND ARE INTENDED TO BOLDSLY REPRESENT  
 FACE OF STUD TO FACE OF STUD.  
 4" = 3-1/2" WOOD STUD  
 6" = 5-1/2" WOOD STUD

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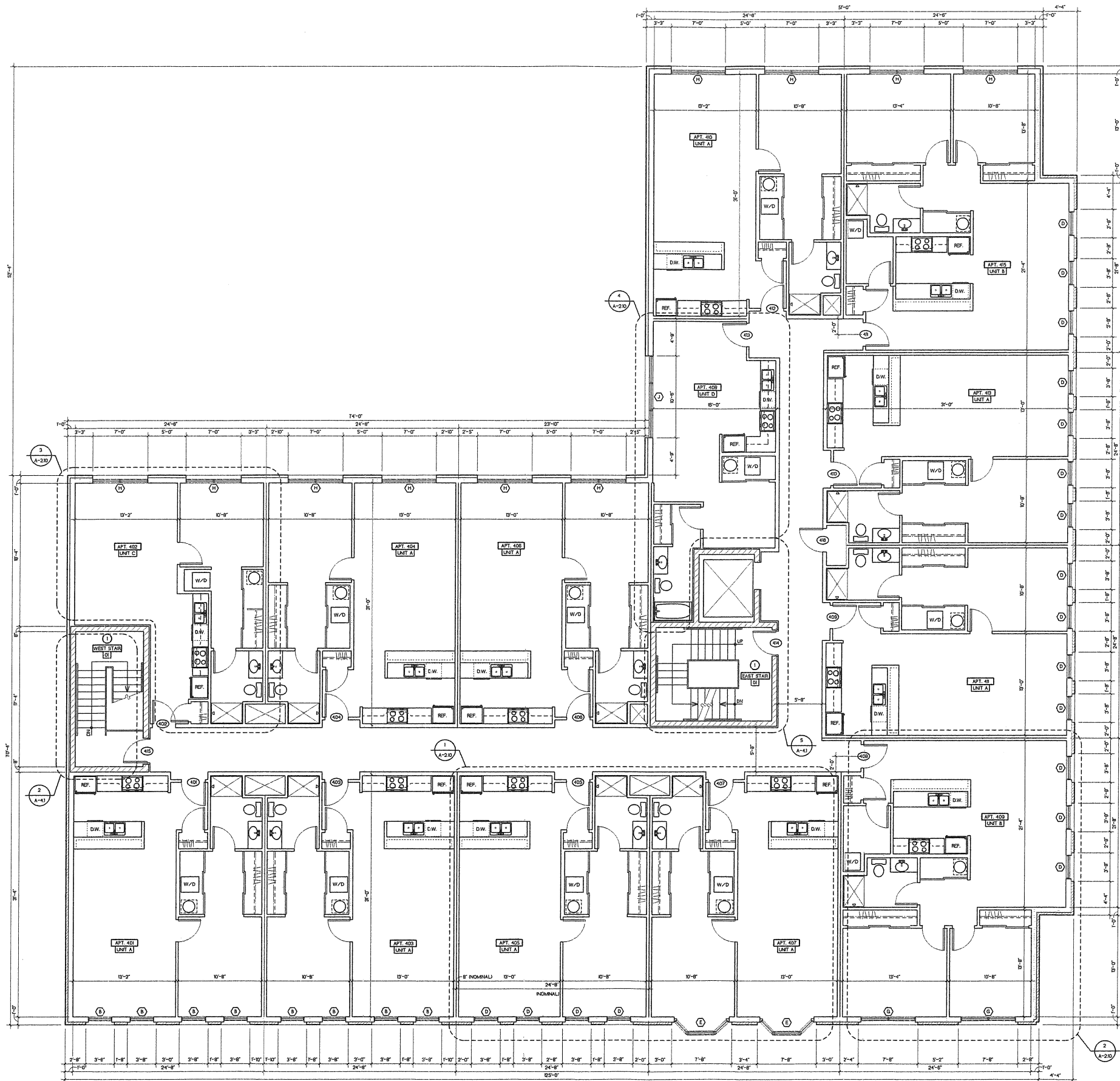
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A-2.3



**FOURTH FLOOR PLAN NOTES**  
 1 REFER TO ENLARGED STAR PLANS ON SHEET A-41

**FOURTH FLOOR PLAN**  
 NORTH  
 SCALE: 3/16" = 1'-0"

1:USGBC/ONS/UP/MSJ/MEDINA APARTMENTS/ALA

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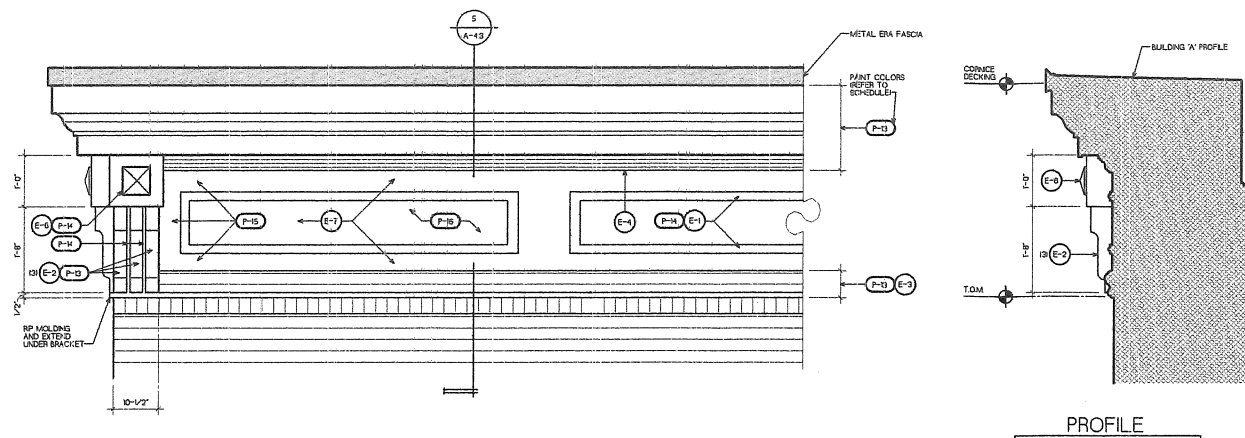
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 4" = 3/4" WOOD STUD  
 6" = 5/4" WOOD STUD

**A-2.4**



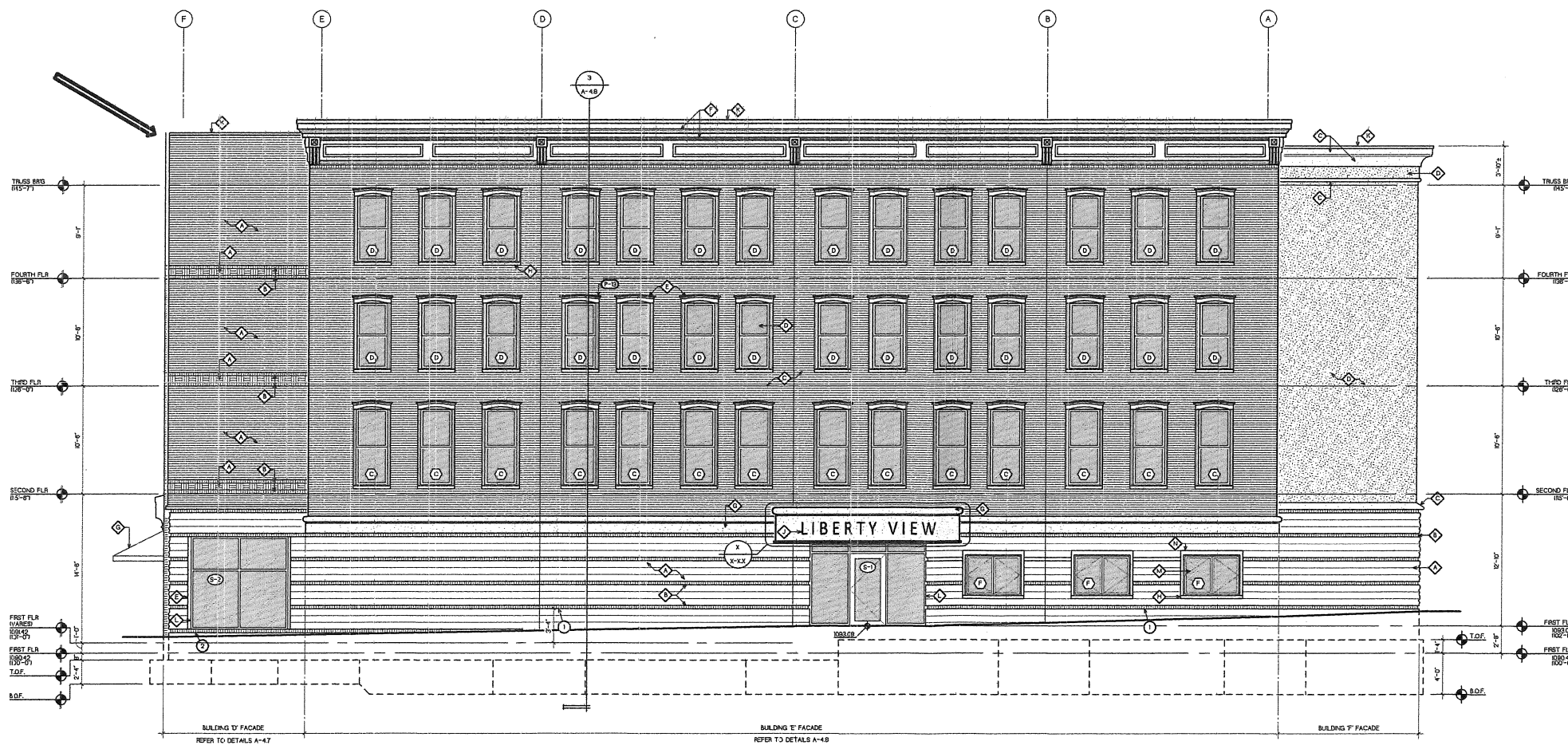
2 CORNICE ELEVATION BUILDING 'E'  
SCALE: 3/4" = 1' - 0"

GENERAL NOTES  
BUILDING 'E'

- (E-1) FIPON MOULDING MLD81
- (E-2) FIPON BRACKET BKT3020 GABLE (3 WITH 12) 3/4" PVC SPACERS BETWEEN
- (E-3) FIPON MOULDING MLD89 SURROUND
- (E-4) FIPON MOULDING MLD240 CORNICE
- (E-5) FIPON MOULDING MLD31 CROWN FASCIA
- (E-6) FIPON MOULDING PST7XP
- (E-7) FIPON PANEL

Building "E"			
PRODUCT	MANUFACTURER	COLOR	NOTES
A Split Face 8" x 16"	Schory	Chalk	
B Modular Brick	Belden	Roswood Clear A	
C Modular Brick	Belden	Roswood Clear A	
D Windows	Andersen	Carvas	
E Window Trim & Head		SW #2850 Sage	
F Cornice		Refer to Details this Sheet for Cornice Paint Colors	
G EIFS	DRYVIT	#105 Suede	Limestone
H Sillstone (4")	Rockcast	Buffstone	
J Injection Molded Letters	Gemini	#0314 Old Copper	
K Fascia	Metal Era	Medium Bronze	Stud Mounted
L Aluminum Storefront Framing	Tubelle	Medium Bronze	
M Window	Andersen	Terratone	
N Window Trim	Andersen	Terratone	

NOTES:



1 EAST ELEVATION  
SCALE: 3/16" = 1' - 0"

- ELEVATION NOTES
- 1 TOP OF CMU AT 2'-0" ABOVE FINISH FLOOR (00'-07"). STEEL STUDS AND MASONRY VENEER ABOVE. REFER TO SECTION 3/A-4E.
  - 2 STEP DOWN TOP OF CMU AT 1'-0" ABOVE FINISH FLOOR (00'-07") AT WINDOW. REFER TO WINDOW SILL DETAILS.

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A-3.2

