



BOARDS & COMMISSIONS APPLICATION

132 North Elmwood Avenue
330-722-9038
www.medinaoh.org

Application Number P23-05

GENERAL	Date of Application <u>2/10/23</u> Property Location <u>City Lot 5934, Parcel 028-19A-16-044</u> Description of Project <u>Foundry Street Storage Building Project</u>
CONTACT INFORMATION	Applicant Name <u>Kevin McNulty</u> Address <u>1620 Stony Hill</u> City <u>Hinckley</u> State <u>OH</u> Zip <u>44233</u> Phone <u>216-509-8003</u> Email <u>bluesky7@roadrunner.com</u> Property Owner Name <u>Foundry Street Holdings, LLC</u> Address <u>1620 Stony Hill</u> City <u>Hinckley</u> State <u>OH</u> Zip <u>44233</u> Phone <u>216-509-8003</u> Email <u>bluesky7@roadrunner.com</u>
APPLICATION TYPE	Planning Commission Site Plan <input checked="" type="checkbox"/> Conditional Zoning Certificate <input type="checkbox"/> Code or Map Amendment <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Conditional Sign (EMC/Shopping Ctr) <input type="checkbox"/> Cert. of Appr. (TCOV) <input type="checkbox"/> Other <input type="checkbox"/> Historic Preservation Board Certificate of Appropriateness <input type="checkbox"/> Conditional Sign <input type="checkbox"/> Board of Zoning Appeals Variance <input checked="" type="checkbox"/> Appeal <input type="checkbox"/>
APPLICANT SIGNATURE	<i>By signing this application, I hereby certify that:</i> 1) <i>The information contained in this application is true and accurate to the best of my knowledge;</i> 2) <i>I am authorized to make this application as the property owner of record or I have been authorized to make this application by the property owner of record;</i> 3) <i>I assume sole responsibility for correspondence regarding this application; and</i> 4) <i>I am aware that all application requirements must be submitted prior to the formal acceptance of my application.</i> Signature <u></u> Date <u>2-15-23</u>
OFFICIAL USE	Zoning District <u>I-1</u> Fee (See Fee Sheet) \$ _____ Meeting Date <u>2/9/23</u> Check Box when Fee Paid <input checked="" type="checkbox"/>

P23-05 Foundry Street Self-Storage Units

Property Owner: Foundry Street Holdings LLC
Applicant: Kevin McNulty
Location: West side of Foundry Street with Parcel Number 028-19A-16-044
Zoning: I-1 (Industrial)
Request: Site Plan approval for self-storage warehousing

LOCATION AND SURROUNDING USES

The subject site is composed of 4.45 acres located on the west side of Foundry Street. Adjacent properties contain the following uses and zoning:

- North – Multi-Family Residential (R-4)
- East – Nursing Facility (R-2) and Park (O-C)
- South – Undeveloped (I-1)
- West – Industrial/Undeveloped (I-1)



BACKGROUND & PROPOSED APPLICATION

The existing undeveloped industrially zoned property has a shallow (209 ft.) and wide (881 ft.) configuration.

In February of 2022, the applicant received Site Plan approval for 96 self-storage units with two small offices. The site was split into two sections separated by an existing drainage swale with a 42 unit northern section and a 54 unit southern section.

The applicant has submitted a revised Site Plan application including the development of only the northern side of the property with 105 units. Many of the storage units are smaller than the previous approval, which accounts for the increase in total units. The proposal also includes a small 200 sq. ft. office.

DEVELOPMENT STANDARDS

The following table indicates the general development standard requirements of the I-1 zoning district:

	Required	Proposed
Min. Building Setback		
Front from Residential	100 ft.	< 100 ft. (see below)
Side	25 ft.	394 ft.
Side from Residential	50 ft.	50 ft.
Rear	25 ft.	25 ft.
Max Lot Coverage	85%	35% (Approx.)
Max Building Height	50 ft.	24 ft.

The project meets the applicable minimum general development standards, with the exception of the front setback from a residential district across Foundry Street. The following buildings on the site are within the required front yard setback:

- Building “D” – 39 ft. front setback
- Building “E” – 79 ft. front setback
- Building “F” – 25 ft. front setback
- Building “G” – 75 ft. front setback
- Building “I” – 67 ft. front setback

The applicant has filed a variance application to the Board of Zoning Appeals regarding the proposed front building setback (Section 1141.05).

PARKING, ACCESS, AND CIRCULATION

Access and Circulation – A public access drive is shown near the center of the property, which has a liftgate restricting access. A separate gated emergency access drive is located on the north side of the site.

Required Off-Street Spaces – The small office building requires one off-street parking space, which is provided. Due to the use’s infrequent access, self-storage warehousing does not require any off-street parking spaces. However, the drive width between the buildings provides an adequate area for the loading and unloading of personal items.

Parking Dimensional Standards – Parking spaces provided meet minimum dimensions and aisle widths.

Sidewalks – Sidewalks currently exist along Foundry Street and will need to be maintained.

LANDSCAPING, SCREENING, AND BUFFERING

Buffering and Screening – The industrial property abuts a residential zoning district to the north and partially to the east, across Foundry Street. Per Section 1149.05(c), screening must be provided between the site and residential areas. The landscape plan incorporates a landscape buffer along the north and east sides of the site.

Parking Lot Landscaping – Landscape features or other visual barriers are required between parking and the right-of-way per Section 1145.09(b). The landscape plan shows ground signs with landscaping between parking and the right-of-way, which provides a visual barrier.

Trash Enclosure – A trash enclosure is shown near the central part of the site. The 6 ft. tall wood enclosure meets setback requirements and screening requirements found in Section 1155.05(a).

Fencing – Buildings, drives, and stormwater basins are enclosed by an 8 ft. tall black chain link fence. Portions of the fence are located in the front yard, which is the area between buildings and the right-of-way. Per Section 1155.01(c)(1), fencing in the front yard is limited to 6 ft. in height. The applicant has filed a variance application to the Board of Zoning Appeals regarding fencing height in the front yard.

UTILITIES AND STORMWATER

The proposed plan indicates stormwater management basins in the northern and central portions of the property. In addition, the proposed layout also avoids wetland areas and potential wetland areas on the south side of the property.

The site has access to public water and sanitary sewer service.

ENGINEERING AND FIRE DEPARTMENT COMMENTS

The Fire Department has noted the applicant will need to work with the Department regarding access to the site through the gated driveways and the location of a private fire department on the site.

The Engineering Department has noted the need for the City to acquire an easement above and around the existing culvert and inlet structures.

BUILDING ELEVATIONS AND LIGHTING

Architectural plans indicate a typical self-storage warehouse design predominantly incorporating vertical metal siding and a pitched roof. In addition, the proposed office includes stone on the lower portion of walls, though it does not appear to incorporate a steeple as shown on sheet SK-1.

Though the “rear” of the buildings face Foundry Street, ample landscaping has been provided as a buffer.

Plans indicate wall pack light fixtures attached to the buildings. Lighting is directed downwards and the photometric plan shows no light spilling over into residential areas.

SITE PLAN DESIGN GUIDELINES

The Planning Commission shall determine if the proposal complies with the following Design Review Guidelines per Section 1109.04(c)(17) applicable to industrial uses:

- A. Architectural details and ornamentation on the street façade shall be meaningful to the overall design and appropriate for the size and scale of proposed structures, and harmonious with other architectural details and ornamentation on adjacent structures.
- B. Additions and accessory structures should be designed to be compatible with the main structure.
- C. All exterior finished materials, including windows and doors, shall be of architectural grade with long term maintenance characteristics.

SITE PLAN REVIEW STANDARDS

The Planning Commission's review and action shall be based on the following Standards per Section 1109.02(c):

- (1) The site plan shows that a proper relationship does exist between thoroughfares, service roads, driveways and parking areas to encourage pedestrian and vehicular traffic safety.
- (2) All the development features including the principal buildings, open spaces, service roads, driveways and parking areas are so located and related as to minimize the possibility of any adverse effects upon adjacent development.
- (3) The site plan includes adequate provision for the screening of parking areas, service areas and active recreation areas from surrounding properties by landscaping and/or ornamental walls or fences. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (4) Grading and surface drainage provisions are reviewed and approved by the City Engineer.
- (5) The design and construction standards of all private streets, driveways and parking areas are to be built following approval of plans by the City Engineer according to construction standards specified in the Codified Ordinances.
- (6) Maximum possible privacy for multi-family dwellings and surrounding residential properties shall be provided through good design and use of proper building materials and landscaping. Visual privacy should be provided through structural screening and landscaping treatment. Auditory privacy in multi-family dwellings should be provided through soundproofing. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (7) The architectural design of buildings should be developed with consideration given to the relationship of adjacent development in terms of building height, mass, texture, materials, line and pattern and character.
- (8) Building location and placement should be developed with consideration given to minimizing removal of trees and change of topography. Any trees to be removed which are planted in a public right-of-way or on municipal property shall be reviewed by the Shade Tree Commission.
- (9) In multi-family developments, television and other antennas shall be centralized.
- (10) On-site circulation shall be designed to make possible adequate fire and police protection.
- (11) Off-street parking facilities shall be provided in accordance with Chapter 1145. In large parking areas, visual relief shall be provided through the use of tree planted and landscaped dividers, islands and walkways. In multi-family developments no parking or service areas shall be permitted between any street and the main building. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (12) Signs shall be provided in accordance with these Codified Ordinances.
- (13) Any trees planted on site shall be on approved list of Shade Tree Commission and planted in accordance with Commission standards.

COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION

Staff recommends **approval** of application P23-05 Site Plan as submitted, with the condition that the project shall comply with Planning and Zoning Code Section 1141.05 regarding the front yard building setback and Section 1155.01(c)(1) regarding fence height in the front yard, or a variance shall be approved by the Board of Zoning Appeals.

Staff finds that the proposal meets the applicable development standards, Site Plan Design Guidelines, and Site Plan Review Standards. In addition, the use and site layout provide a reasonable transition from residential and institutional uses to the north and east to more intensive industrial uses to the west. The site has also been configured to avoid environmentally sensitive areas.

Andrew Dutton

From: Patrick Patton
Sent: Monday, February 27, 2023 5:03 PM
To: Andrew Dutton
Subject: FW: Site Plan Review
Attachments: P23-05 File 3-9-23.pdf; Engineering Checklist for Commercial Site Plan.pdf

Andrew-

My comments:

1. Please refer to the attached engineering checklist for site plan approval.
2. The City will need to acquire an easement above and around the culvert and inlet structure.

Thanks,

Patrick Patton, PE
City Engineer
City of Medina, Ohio

Phone: (330) 721-4721
Email: ppatton@medinaoh.org
Website: www.medinaoh.org

Medina City Hall / 132 N. Elmwood Avenue / Medina, Ohio 44256



Andrew Dutton

From: Mark Crumley
Sent: Friday, February 24, 2023 8:37 AM
To: Andrew Dutton
Cc: Sarah Tome
Subject: Case P23-05; Foundry Street Storage Buildings

Andrew,

After review of the above said plans I have the following comments:

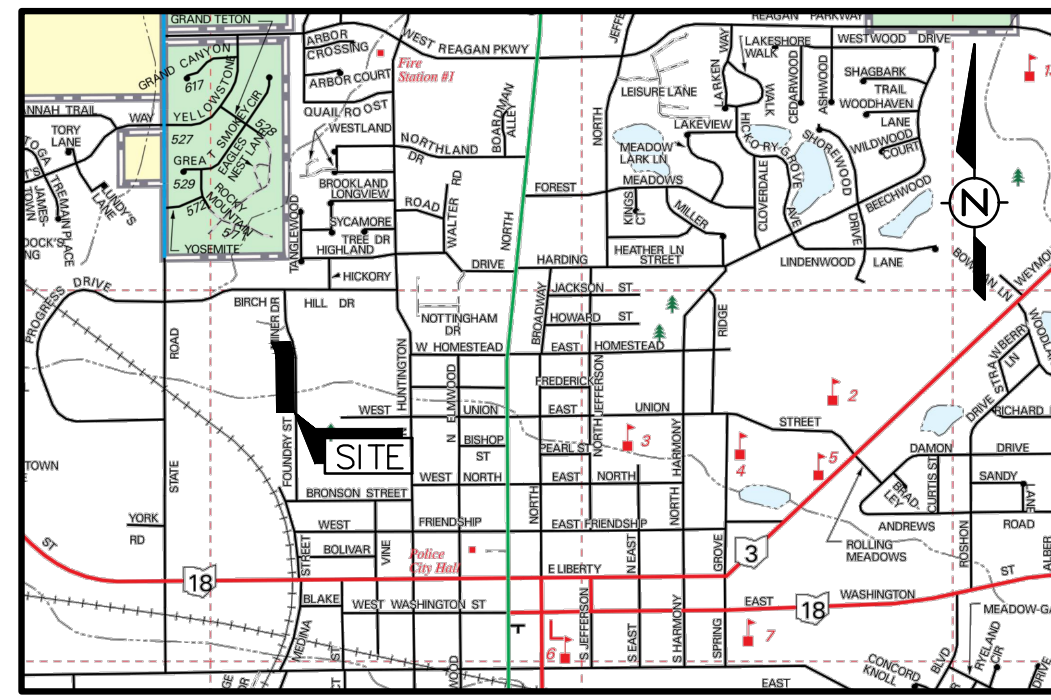
- 1) The developer will need to work with the fire department regarding fire department access from both driveways due to the proposed fencing and gates.
- 2) The developer will need to work with the fire department on the location of a private fire hydrant.

Thanks

Mark Crumley, Asst. Chief
Medina Fire Department
300 W. Reagan Pkwy.
Medina, Ohio 44256

Office: 330-723-5704





LOCATION MAP

LEGEND

	EX. SANITARY SEWER
	EX. SANITARY MANHOLE
	EX. STORM SEWER
	EX. STORM MANHOLE
	EX. STORM INLET MANHOLE
	EX. CURB INLET BASIN
	EX. 2-2-B INLET BASIN
	EX. WATER MAIN
	EX. HYDRANT ASSEMBLY
	EX. LINE VALVE
	EX. WATER SHUTOFF
	EX. WATER METER
	EX. GAS LINE
	EX. GAS LINE MARKER
	EX. GAS LINE VALVE
	EX. TELEPHONE POLE
	EX. POWER POLE
	EX. GUY WIRE
	EX. OVERHEAD LINE
	EX. LIGHT POLE
	EX. SIGN
	EX. CONTOUR
	EX. CREEK
	EX. TREE LINE
	EX. TREE W/ CALIPER SIZE

INDEX OF DRAWINGS

SHEET	DESCRIPTION
1	EXISTING CONDITIONS PLAN
2	PRELIMINARY SITE PLAN

ZONING DATA

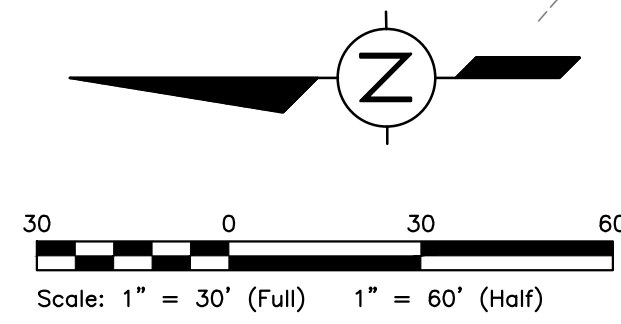
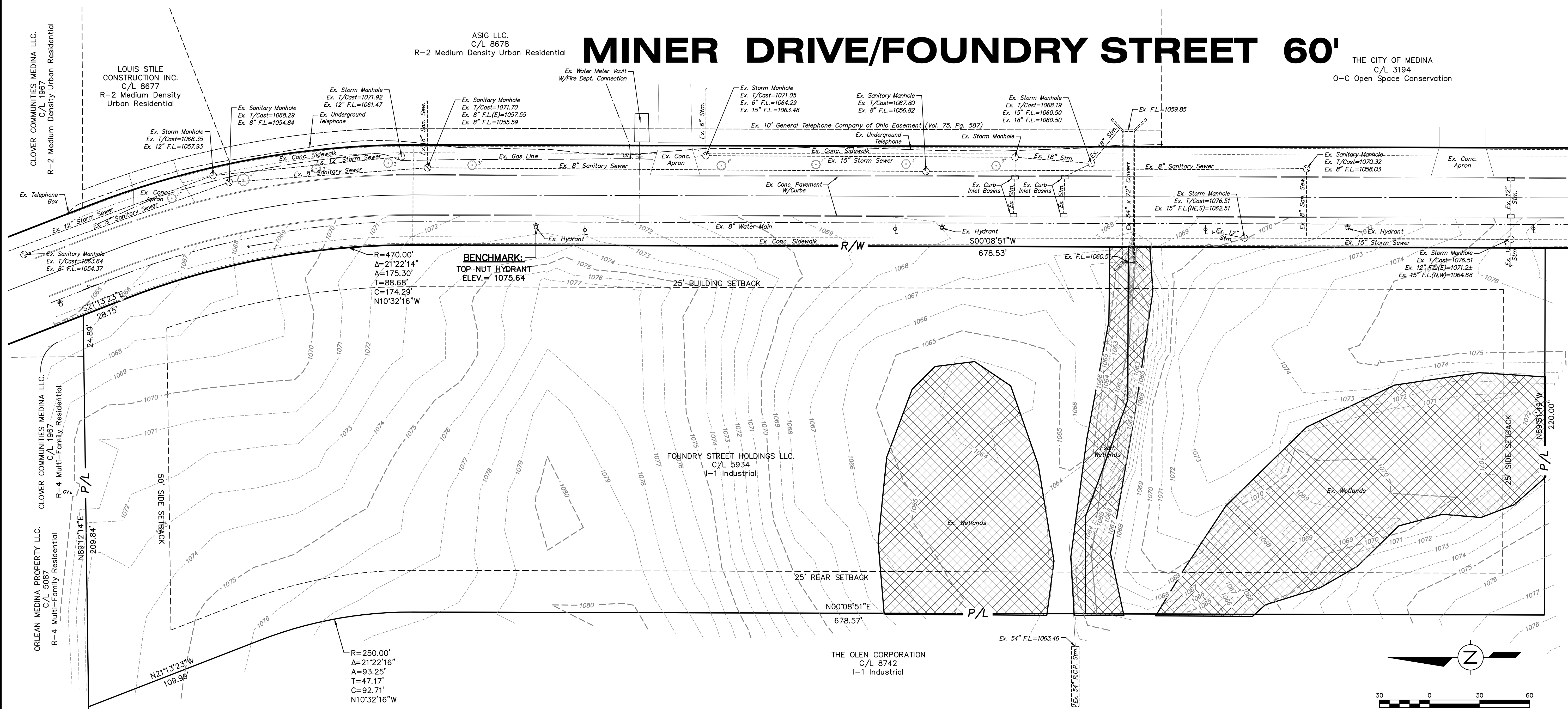
ZONING DISTRICT.....	I-1
SITE AREA.....	4.45 AC.
MINIMUM BUILDING SETBACK.....	25 FT.
MINIMUM BUILDING SETBACK (ADJACENT TO RESIDENTIAL).....	100 FT.
MINIMUM REAR YARD SETBACK.....	25 FT.
MINIMUM REAR YARD SETBACK (ADJACENT TO RESIDENTIAL).....	50 FT.
MINIMUM REAR YARD SETBACK (ACCESSORY STRUCTURE).....	15 FT.
MINIMUM SIDE YARD SETBACK.....	25 FT.
MINIMUM SIDE YARD SETBACK (ADJACENT TO RESIDENTIAL).....	50 FT.
MINIMUM SIDE YARD SETBACK (ACCESSORY STRUCTURE).....	15 FT.
PROPOSED PARKING SPACES.....	20

**PRELIMINARY SITE PLANS
FOR
FOUNDRY STREET
STORAGE BUILDINGS**

LOCATED IN THE CITY OF MEDINA
IN THE COUNTY OF MEDINA
AND STATE OF OHIO

OWNER: **FOUNDRY STREET HOLDINGS LLC.**
KEVIN McNULTY
1620 STONY HILL
HINCKLEY, OHIO 44233
TELEPHONE: (216) 509-8003

MINER DRIVE/FOUNDRY STREET 60'



REVISIONS

NO.	DATE	DESCRIPTION	INT.

FOUNDRY STREET STORAGE BUILDINGS
CITY OF MEDINA
COUNTY OF MEDINA
CUNNINGHAM & ASSOCIATES, INC.
CIVIL ENGINEERING and SURVEYING
203 W. LIBERTY ST. - MEDINA, OHIO 44250 330-725-5960

EXISTING CONDITIONS PLAN

DRAWN BY: TEM
DATE: 02/15/23
CHECKED BY:
DATE:
PROJECT No. 17-109
ACAD FILE No. M:\17-109\17109-CP2.dwg

SCALE: PLAN- 1"=30'
PROFILE-Hor. Vert.
SHEET NO.
1
2

ASIG LLC.
C/L 8678
R-2 Medium Density Urban Residential

MINER DRIVE/FOUNDRY STREET 60'

THE CITY OF MEDINA
C/L 3194
O-C Open Space Conservation



CLOVER COMMUNITIES MEDINA LLC.
C/L 1967
R-2 Medium Density Urban Residential

LOUIS STILE
CONSTRUCTION INC.
C/L 8677
R-2 Medium Density Urban Residential

CLOVER COMMUNITIES MEDINA LLC.
C/L 1967
R-4 Multi-Family Residential

ORLEAN MEDINA PROPERTY LLC.
C/L 5087
R-4 Multi-Family Residential

R=250.00'
Δ=21°22'16"
A=93.25'
T=47.17'
C=92.71'
N10°32'16"W

BENCHMARK
TOP NUT HYDRANT
ELEV = 1075.64

FOUNDRY STREET HOLDINGS LLC.
C/L 5934
I-1 Industrial

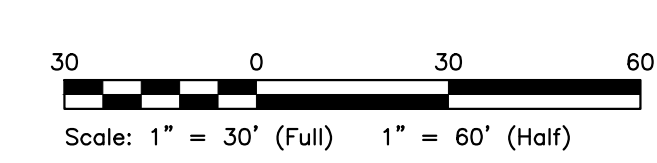
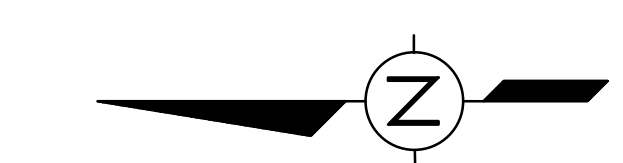
THE OLEN CORPORATION
C/L 8742
I-1 Industrial

LEGEND

- EX. SANITARY SEWER
- EX. SANITARY MANHOLE
- EX. STORM SEWER
- EX. STORM MANHOLE
- EX. STORM INLET MANHOLE
- EX. CURB INLET BASIN
- EX. 2-2-B INLET BASIN
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- EX. GUY WIRE
- EX. OVERHEAD LINE
- EX. LIGHT POLE
- EX. SIGN
- EX. CONTOUR
- EX. CREEK
- EX. TREE LINE
- EX. TREE W/ CALIPER SIZE

CONCRETE PAVEMENT SPECIFICATIONS

NOTE: CONCRETE FOR DRIVE APRONS AND DUMPSTER PAD TO BE FIBER-REINFORCED



FOUNDRY STREET STORAGE BUILDINGS

CITY OF MEDINA COUNTY OF MEDINA

CUNNINGHAM & ASSOCIATES, INC.
CIVIL ENGINEERING and SURVEYING
203 W. LIBERTY ST. MEDINA, OHIO 44250 330-725-5900

PRELIMINARY SITE PLAN

DRAWN BY: TEM
DATE: 02/15/23
CHECKED BY:
DATE:

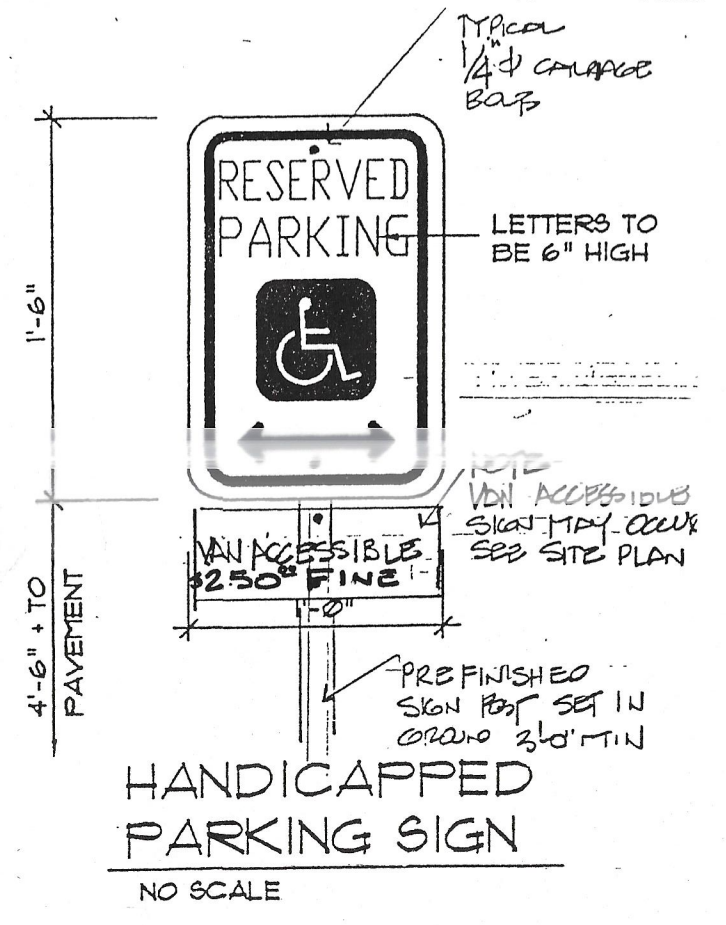
PROJECT No.
17-109

ACAD FILE No.
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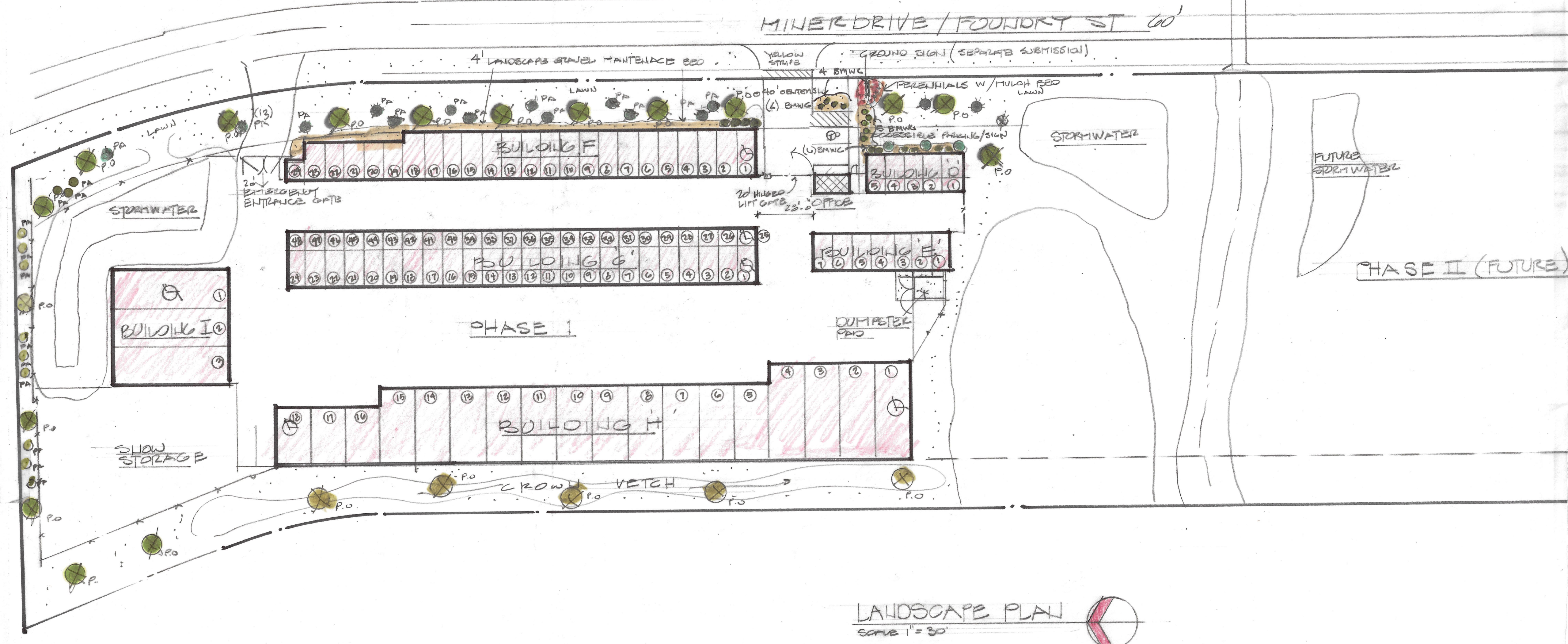
SCALE: PLAN- 1"=30'
PROFILE-Hor.
Vert.

SHEET NO.
2 / 2

REVISIONS	DESCRIPTION	INT.



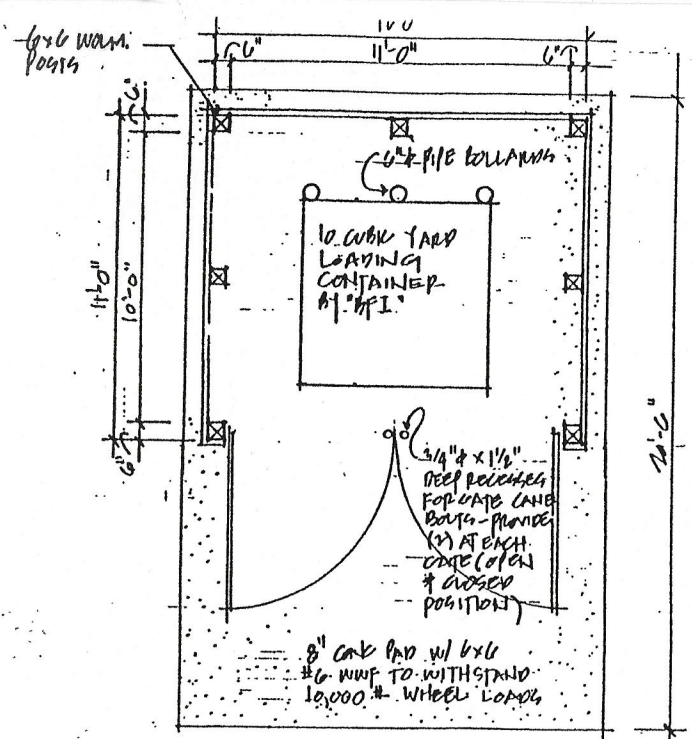
HANDICAPPED PARKING SIGN
NO SCALE



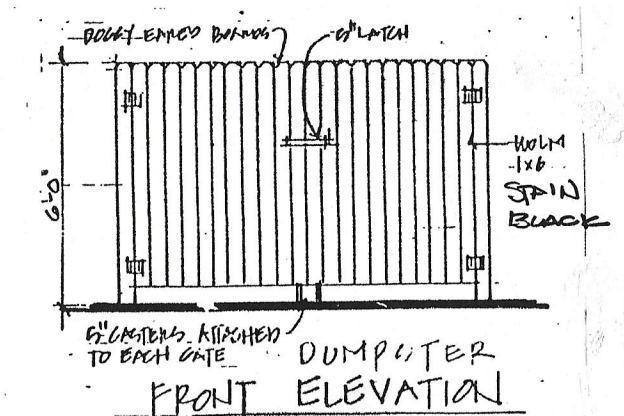
LANDSCAPE PLAN
SCALE 1" = 30'

LANDSCAPE SCHEDULE

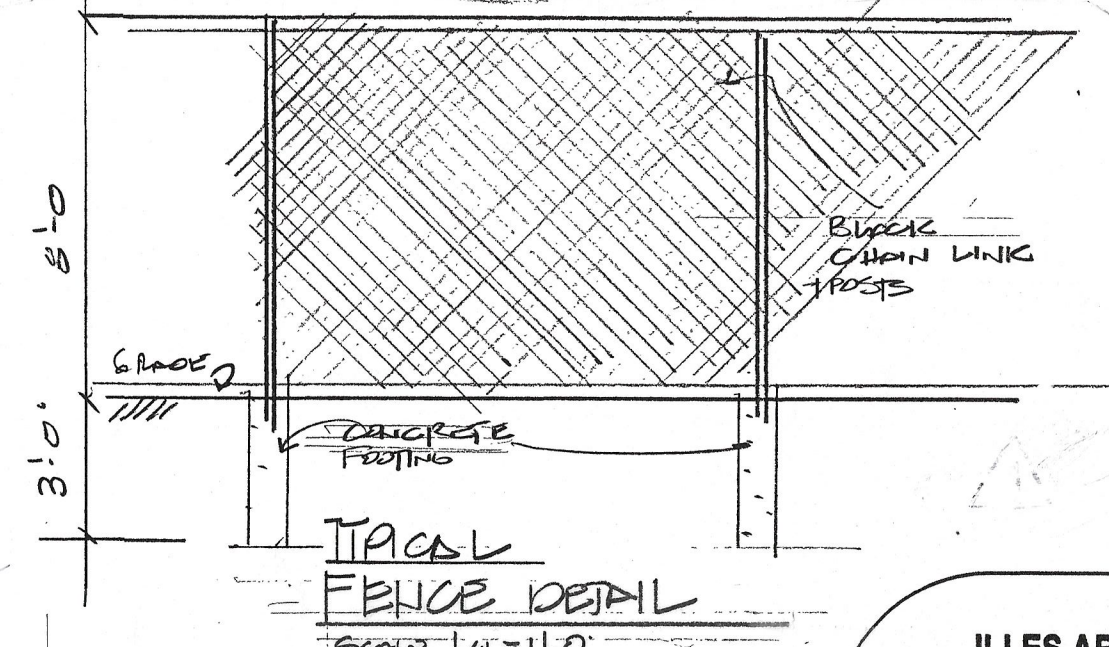
Key	Qty	Botanical / Common Name	Size	Cond.	Spacing
Trees					
AR		Acer rubrum 'Red Sunset' / Red Maple	2 1/2" Cal.	B&B	See Plan
AMEL		Amelanchier canadensis / Serviceberry	6' Clump	B&B	See Plan
CC		Cercis canadensis / Redbud	2 1/2" Cal.	B&B	30' O.C.
GTI		Gleditsia triacanthos inermis 'Halka' / Halka Honeylocust	2 1/2" Cal.	B&B	See Plan
MV		Magnolia virginiana / Sweetbay Magnolia	6' ht.	B&B	30' O.C.
PA		Picea abies / Norway Spruce	6' ht.	B&B	12' O.C.
TX		TRAXUS ASPERIFOLIA / DUMPER YAN	18"	B&B	
Shrubs					
BMWG		Buxus x 'Green Mountain' / Green Mountain Boxwood	36"	No. 5	3' O.C.
CS		Cornus sericea 'Isanti' / Isanti Dogwood	36"	B&B	4' O.C.
IV		Ilex vert. 'Red Sprite', 'Jim Dandy' / Winterberry	24"	No. 3	3' O.C.
JSB		Juniperus sabinna 'Broadmoor' / Broadmoor Juniper	15"	No. 3	5' O.C.
JGO		Juniperus virginiana 'Grey Owl' / Grey Owl Juniper	36"	No. 5	4' O.C.
RAGL		Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	15"	No. 3	4' O.C.
SAL		Salix purpurea 'Nana' / Dwarf Blue Arctic Willow	18"	No. 3	4' O.C.
SBAW		Spiraea x bumalda 'Anthony Waterer' / Anthony Waterer Spiraea	18"	No. 3	3' O.C.
SBC		Spiraea x bumalda 'Coccinea' / Spirea	18"	No. 3	3' O.C.
SP		Syringa patula 'Miss Kim' / Miss Kim Lilac	36"	B&B	4' O.C.
VP		V. plicatum tomentosum 'Shasta' / Shasta Doublefile Viburnum	36"	B&B	4' O.C.
VR		V. rhytidophyllum 'Allegheny' / Allegheny Viburnum	36"	B&B	4' O.C.
PO		QUERCUS PAUSTRIS / AN OAK	2 1/2" CAL	B&B	40' O.C.
Perennials					
HEM		Hemerocallis 'Happy Returns' / Daylily		No. 2	24" O.C.



DUMPSTER FLOOR PLAN



DUMPSTER FRONT ELEVATION



TYPICAL FENCE DETAIL
SCALE 1/2" = 1'-0"

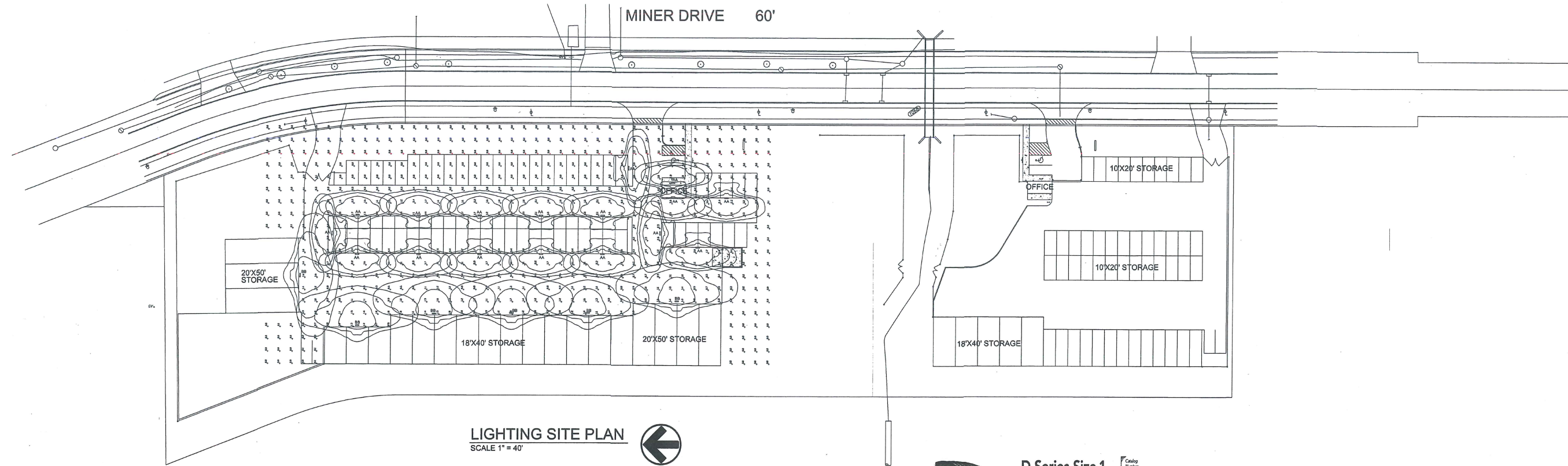
4/22/23
REVISED PER PLANNING COMMISSION REVIEW

ILLES ARCHITECTS INC.
3697 FOREST RIDGE CIRCLE
MEDINA, OHIO 44256



PH: 330.725.6262

RALPH ST / NE COR
 A LIEN STORAGE COMPLEX FOR FOUNDRY STREET HOLDINGS LLC
 MEDINA



LIGHTING SITE PLAN
SCALE 1" = 40"

LUMINAIRE SCHEDULE - MFGR BY LITHONIA OR EQUAL

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	AA	17	DSXW1 LED 10C 350 40K T2M MVOLT MTD 8' AFF	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T2M OPTIC, 4000K, @ 350lm.	LED, 1448 LUMENS PHOTOCELL CONTROL.	DSXW1_LED_10C_350_40K_T2M_MVOLT_1	Absolute	1.00	13.3
	BB	8	DSXW1 LED 10C 700 40K T2M MVOLT MTD 16' AFF	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T2M OPTIC, 4000K, @ 700lm.	LED, 2894 LUMENS PHOTOCELL CONTROL.	DSXW1_LED_10C_700_40K_T2M_MVOLT_1	Absolute	1.00	28.2

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.5 fc	3.0 fc	0.0 fc	N/A	N/A



D-Series Size 1 LED Wall Luminaire



Category	Value
Category Number	
Notes	
Type	

d'series

Luminaire Specifications

Width: 13-3/4" (34.9 cm)
Depth: 10" (25.4 cm)
Height: 6-3/8" (16.2 cm)

Back Box (BBW, E20WC)

Width: 13-3/4" (34.9 cm)
Depth: 4" (10.2 cm)
Height: 6-3/8" (16.2 cm)

Introduction

The D-Series Wall Luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTXD

Code	Options	Options	Options	Options	Options	Options	Options	Options
DSXW1 LED	10C 10/25s Dme resp1	350 530mA	30K 6000K	T25 Type B Short	MVOLT ¹ 150'	Shipped Installed	FE	Photoelectric on button type ¹⁴
	20C 20/25s Dme resp1	700 1060mA (A) ¹	AMPC Amber Candescent	T3M Type B Medium	200'	Shipped	DNIG	6'-10' dimming when used with compatible fixture (requires separate dimmer control)
				T3M Type B Medium	300'		PFR	180° non-symmetrical light sensor, <15' height ¹⁵
				T3M Type B Medium	375'		PFRICW	180° non-symmetrical light sensor, 15-36' height ¹⁶
				T3M Type B Medium	450'		PFRICW	180° non-symmetrical light sensor, 15-36' height, ambient sensor enabled at 18' ¹⁷
				T3M Type B Medium	525'		PFRICW	180° non-symmetrical light sensor, 15-36' height, ambient sensor enabled at 18' ¹⁸
				T3M Type B Medium	600'		EDNWC	Emergency luminaire backup that allows external component maintenance, (C) See 20' complete ¹⁹

Code	Options	Options	Options	Options	Options	
Shipped Installed	FE	Photoelectric on button type ¹⁴	DNIG	6'-10' dimming when used with compatible fixture (requires separate dimmer control)	PFR	180° non-symmetrical light sensor, <15' height ¹⁵
SF Single face (22, 27 or 34") ¹⁶	ESW	End-circuit splice	ORJD	Black	ORBTD	Textured dark bronze
DF Double face (22, 27 or 34") ¹⁶	YG	Yield guard	ORWD	Marble aluminum	ORBTM	Textured black
HS Haze-free shield ¹⁶	DD	Diffused optics	ORWD	White	ORWTD	Textured white aluminum
SPD Spherulite precipitation ¹⁶						

Accessories

- DSXW1: Suspended luminaire per luminaire
- DSXW2: End-circuit splice
- DSXW3: Suspended luminaire

NOTES

- 20C, 350 is not available with PFR, PFRICW or PFRICW.
- MVOLT (line options) are for 120V line from 150-275V (50/60 Hz).
- Single face (SF) requires 120, 277 or 347 voltage option. Double face (DF) requires 208, 240 or 480 voltage option.
- Only available with 20C, 700mA or 1000mA. Not available with PFR or PFRICW.
- Back box is required for some luminaire field-installation. Consult back box manual for details.
- Photoelectric (FE) requires 120, 240, 277 or 347 voltage option. Not available with non-symmetrical light sensors (PFR or PFRICW).
- Reference luminaire manual for more details.
- Some end-circuit splice (ESW) used. Not compatible with conduit entry applications. Not available with 180° mounting option. Not available with 30' or 480' voltage options. Emergency components located in back box housing. Emergency mode (E) is located on product page at www.lithonia.com.
- Not available with SP.
- Not available with EDNWC.
- Also available as a separate accessory, see Accessories Information.
- Not available with EDNWC.



C.A. LEWIS & ASSOCIATES
 10000 SHARON LANE DRIVE
 N.ROYALTON OHIO 44133
 440-724-8986

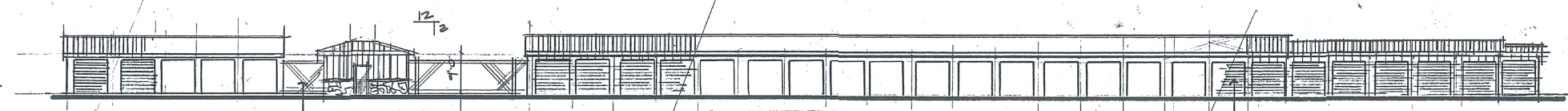


ILLES ARCHITECTS INC.
 3697 FOREST RIDGE CIRCLE
 MEDINA, OHIO 44256
 PH: 330.725.6262

A NEW STORAGE COMPLEX FOR FOUNDRY STREET HOLDINGS LLC FOUNDRY STREET/MINER DRIVE MEDINA, OHIO
 21-25
 E1



DATE 2/6/03
FOULRY STREET HOLDINGS

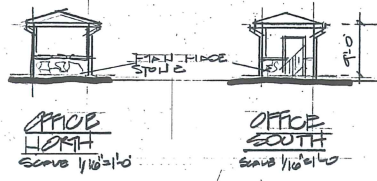


BUILDING D EAST ELEVATION
SCALE 1/16"=1'-0"

BUILDING F EAST ELEVATION
SCALE 1/16"=1'-0"

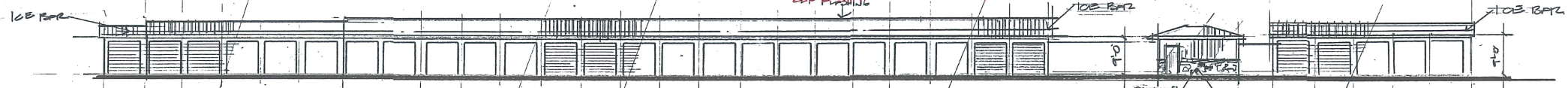
BUILDING F SOUTH ELEVATION
SCALE 1/16"=1'-0"

BUILDING F NORTH ELEVATION
SCALE 1/16"=1'-0"



OFFICE NORTH
SCALE 1/16"=1'-0"

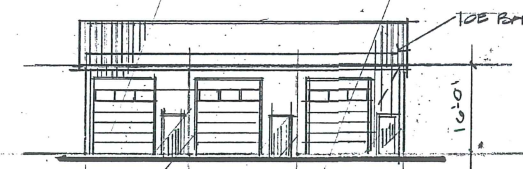
OFFICE SOUTH
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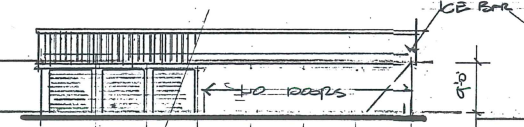
BUILDING F WEST ELEVATION
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OFFICE

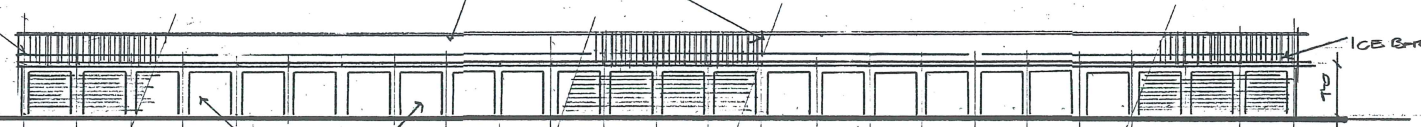
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SCALE 1/16"=1'-0"



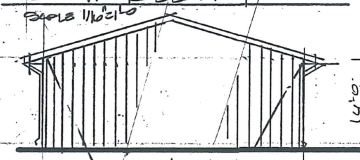
BUILDING I SOUTH ELEVATION
SCALE 1/16"=1'-0"



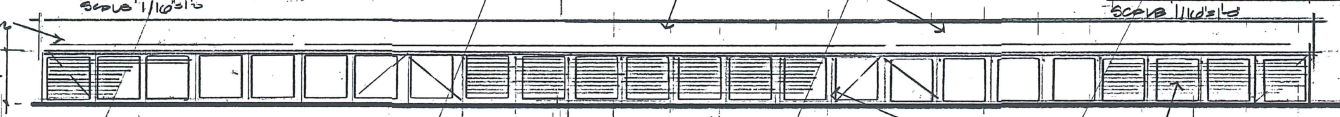
BUILDING E EAST ELEVATION
SCALE 1/16"=1'-0"



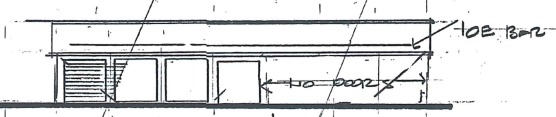
BUILDING G EAST ELEVATION
SCALE 1/16"=1'-0"



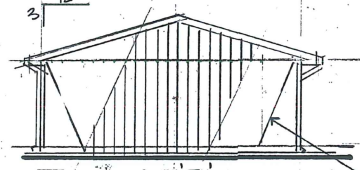
BUILDING I EAST ELEVATION
SCALE 1/16"=1'-0"



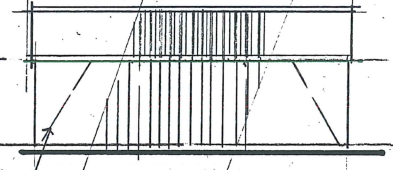
BUILDING G WEST ELEVATION
SCALE 1/16"=1'-0"



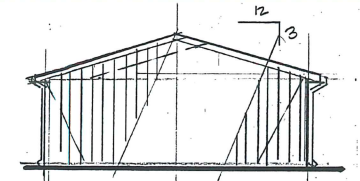
BUILDING E WEST ELEVATION
SCALE 1/16"=1'-0"



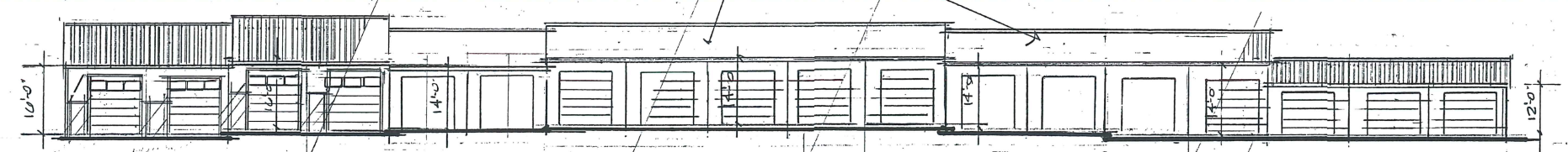
BUILDING I WEST ELEVATION
SCALE 1/16"=1'-0"



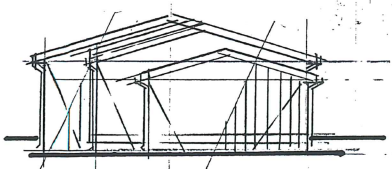
BUILDING I NORTH ELEVATION
SCALE 1/16"=1'-0"



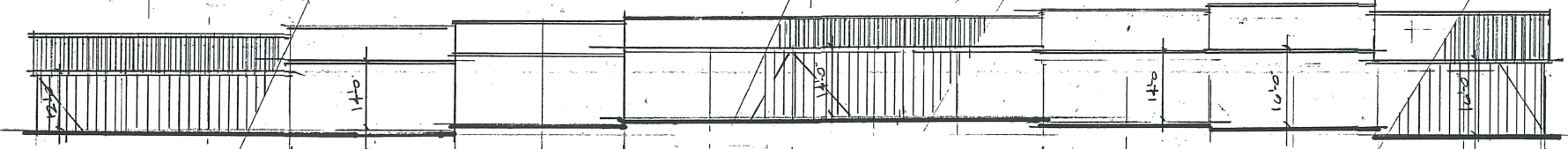
BUILDING H SOUTH ELEVATION
SCALE 1/16"=1'-0"



BUILDING H EAST ELEVATION
SCALE 1/16"=1'-0"



BUILDING H NORTH ELEVATION
SCALE 1/16"=1'-0"



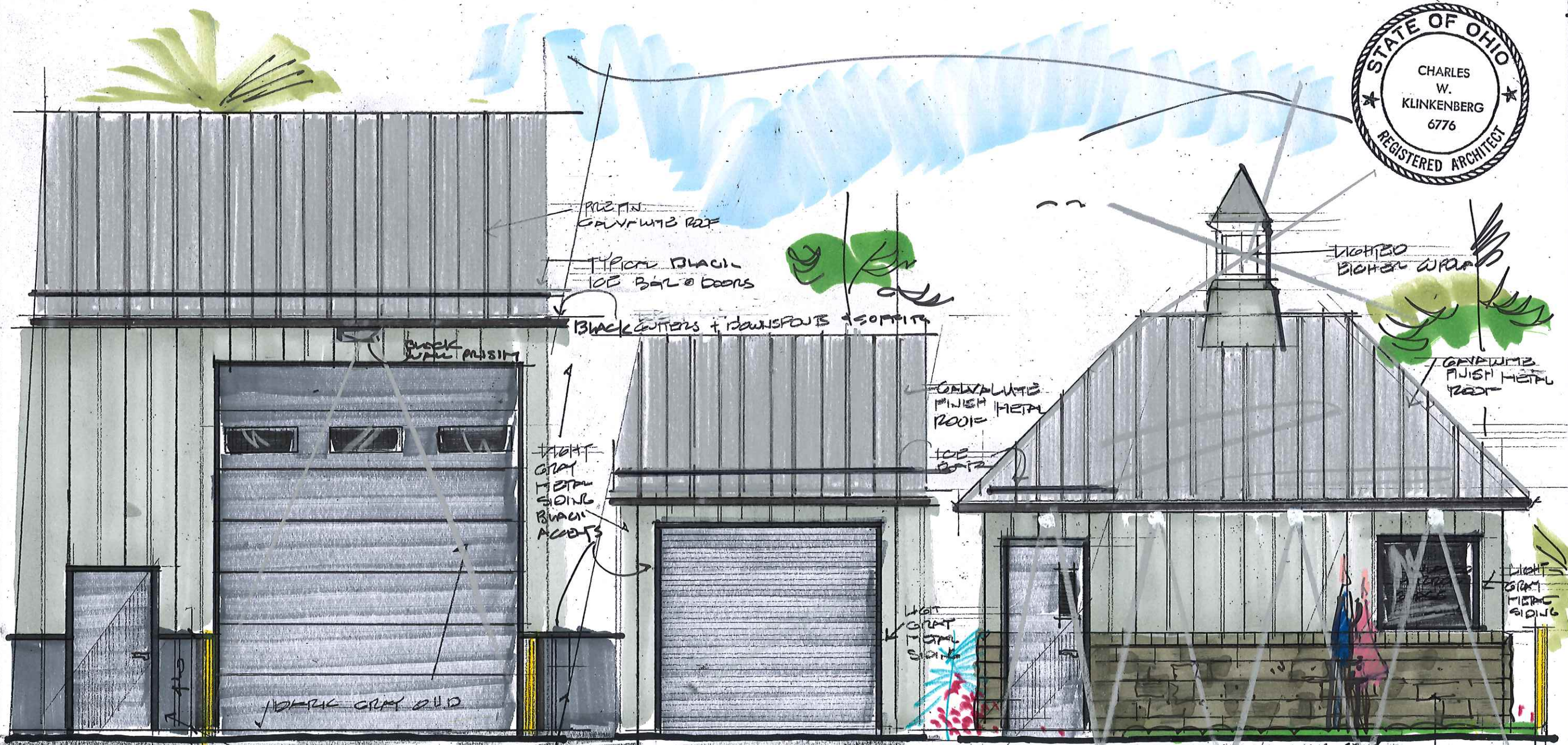
BUILDING H WEST ELEVATION
SCALE 1/16"=1'-0"

NOTE - SEE DRAWINGS BY CUNNINGHAM ASSOCIATES FOR STAIR FLOOR ELEVATIONS

ILLES ARCHITECTS INC.
3697 FOREST RIDGE CIRCLE
MEDINA, OHIO 44256

PH: 330.725.6262

DATE
2/4/21



20x60
10x50 + 18x40 UNITS (10 MAN DOOR)
ALL SIMILAR
SCALE 1/4"=1'-0"

0x20
SCALE 1/4"=1'-0"

APPROX
STREET FRONT ELEVATION
SCALE 1/4"=1'-0"

DETAILS +
MATERIAL + COLOR SCHEDULE
SEE BUILDING ELEVATIONS +
NORTH STAR METAL COLOR SCHEDULE

FOODORY STREET HOLDINGS LLC
STORAGE COMPLEX

21-25

SK 1