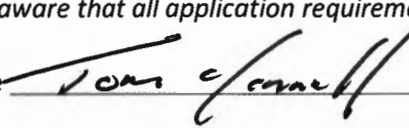




BOARDS & COMMISSIONS APPLICATION

132 North Elmwood Avenue
330-722-9038
www.medinahabitat.org

Application Number P23-08

GENERAL	<p>Date of Application <u>February 22, 2023</u></p> <p>Property Location <u>425 W. Friendship St Medina OH 44256</u></p> <p>Description of Project <u>Habitat for Humanity of Medina County is planning to build a single family home with one of the families in our homeownership program. Once completed this home will be sold with zero interest affordable mortgage.</u></p>
CONTACT INFORMATION	<p>Applicant Name <u>Habitat for Humanity of Medina County</u></p> <p>Address <u>233 Lafayette Rd</u> City <u>Medina</u> State <u>OH</u> Zip <u>44256</u></p> <p>Phone <u>330-722-4494</u> Email <u>toconnell@medinahabitat.org</u></p> <p>Property Owner Name <u>Habitat for Humanity of Medina County</u></p> <p>Address <u>233 Lafayette Rd</u> City <u>Medina</u> State <u>OH</u> Zip <u>44256</u></p> <p>Phone <u>330-722-4494</u> Email <u>toconnell@medinahabitat.org</u></p>
APPLICATION TYPE	<p> Planning Commission Site Plan <input type="checkbox"/> Conditional Zoning Certificate <input type="checkbox"/> Code or Map Amendment <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Conditional Sign (EMC/Shopping Ctr) <input type="checkbox"/> Cert. of Appr. (TCOV) <input type="checkbox"/> Other <input type="checkbox"/> Historic Preservation Board Certificate of Appropriateness <input type="checkbox"/> Conditional Sign <input type="checkbox"/> Board of Zoning Appeals Variance <input type="checkbox"/> Appeal <input type="checkbox"/> </p>
APPLICANT SIGNATURE	<p><i>By signing this application, I hereby certify that:</i></p> <p>1) <i>The information contained in this application is true and accurate to the best of my knowledge;</i></p> <p>2) <i>I am authorized to make this application as the property owner of record or I have been authorized to make this application by the property owner of record;</i></p> <p>3) <i>I assume sole responsibility for correspondence regarding this application; and</i></p> <p>4) <i>I am aware that all application requirements must be submitted prior to the formal acceptance of my application.</i></p> <p>Signature <u></u> Date <u>February 22, 2023</u></p>
OFFICIAL USE	<p>Zoning District <u> R-3 </u> Fee (See Fee Sheet) \$ <u> NA </u></p> <p>Meeting Date <u> 3/9/23 </u> Check Box when Fee Paid <input type="checkbox"/></p>

P23-08
West Friendship Street New Home

Property Owners: Habitat for Humanity of Medina, Inc.
Applicant: Tom O'Connell
Location: 425 West Friendship Street
Zoning: R-3 (High Density Urban Residential)
Request: Approval for a new single-family home determined to be in conflict with Infill Development Standards

LOCATION AND SURROUNDING USES

The subject site is composed of 0.32 acres located on the north side of West Friendship Street. Adjacent properties are zoned R-3 and contain the following uses and zoning:

- North – Single-Family Residential
- East – Two-Family Residential
- South – Single-Family Residential
- West – Single-Family Residential



BACKGROUND & PROPOSED APPLICATION

In 2021, a fire occurred on the site resulting in the demolition of both the home and detached garage. In late 2021, the vacant lot was purchased by Habitat for Humanity of Medina, Inc.

The applicant has submitted a proposal to construct a single-story 1,216 sq. ft. single-family home on the property. The home includes:

- 3 bedrooms and one bathroom
- A front-loaded two car garage
- An unfinished basement
- A small covered front porch
- Horizontal siding
- A gabled asphalt shingle roof

The site plan indicates a front setback of 41 ft., which is consistent with code requirements and structures in the area. The site plan also shows increased side setbacks of 27 ft. and 14 ft., as the minimum side setback is 5 ft. In addition, the existing driveway is relocated from the west side of the site to the east side of the site.

AREA HOMES

Properties to the west and across the street are two-story single-family homes that are over 100 years old. Most have larger front porches, enclosed front porches, and rear detached garages.

The neighboring home to the east is a two-family structure built in 1960. The home includes a small covered front porch and a detached rear garage.

INFILL DEVELOPMENT STANDARDS

Section 1113.07 requires new homes in an existing neighborhood to comply with the following standards:

- (a) Compatibility. All new single and two family residential development shall reflect, complement, and preserve the nature and character of existing adjacent residential development.
- (b) Building Placement and Mass. All new homes shall conform in street orientation and massing to adjacent homes.
- (c) Harmonious Aesthetics. The following is a list of objectives to achieve infill development that is characteristic of the existing structures:
 - (1) New infill development shall be compatible with the neighboring structures in terms of proportion, size, mass and height.
 - (2) Similar materials, colors, architectural details and roof pitch shall be used on all sides and on all structures on the site and shall be harmonious with adjacent properties.
 - (3) The creation of a vertical canyon effect between structures shall be minimized. For instance, when a one story structure is proposed next to a two story structure, the space between the two buildings shall increase as wall height increases.
- (d) Any improvement which is determined by the Planning Director to be in conflict with this section shall be forwarded to the Planning Commission for review.

The Planning Director has found that the proposal is not compatible with existing adjacent residential development (a), does not have similar building massing to adjacent homes (b), and is not compatible with existing structures in terms of proportion, size, and height (c)(1). Therefore, the Planning Director has found that the proposal is in conflict with Section 1113.07.

It should be noted that the home does have a similar street orientation and front setback as area homes. In addition, side setbacks have been increased so as to not create a “vertical canyon effect”.

PLANNING COMMISSION ACTION

As noted above in Section 1113.07(d), as the Planning Director has determined that the proposal is in conflict with Infill Development Standards, the application is forwarded to the Planning Commission for review. The Planning and Zoning Code does not provide any additional information regarding the review process or additional criteria to evaluate the request. The Planning Commission will therefore need to review the application and make a decision on whether the proposed home is appropriate for the existing neighborhood.



**Habitat
for Humanity
of Medina County**

233 Lafayette Rd.
Medina, OH 44256
Phone: 330.722.4494
Web: www.medinahabitat.org

**BOARD
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President

Derek Rance
Vice President

Pat Neal
Secretary

Tom Kotick
Treasurer

City of Medina Planning Commission – March 9th 2023

Habitat for Humanity of Medina County is dedicated to the vision of seeing a world where everyone has a decent place to live. On behalf of our Board of Directors, I want to thank the City of Medina for your continued support of this vision here in this city. Through your support Habitat has dedicated 15 homes in Medina and this home we are discussing tonight would be Habitat's 16th home in the City of Medina.

I believe all of us are aware of the growing need for more affordable housing units here in Medina County. Habitat is here before you tonight because of our continued efforts to meet this need by providing safe, decent, and affordable homes to families. The families in our homeownership program have met three general qualifications. Need for better housing, willingness to partner with Habitat through 'sweat equity' or volunteer hours, helping other family's homes be built before the construction of their home begins. Lastly, they must have the ability to pay. Habitat homes are not free, but homeowners purchase the home through a 0% 30-year affordable mortgage.

**BOARD OF
DIRECTORS**

Dan Calvin
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Chuck Hollingsworth

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Pat McNeill
Jaclyn Ringstmeier
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Ashley Sorgen
Cindy Steeb
Jinny Widowski

In December of 2021 Habitat for Humanity was able to purchase 425 W. Friendship St here in Medina. The house plans that have been submitted have been completed with one of Habitat's partner families in mind. The family that will call this location home is a family of four, currently live here in Medina and since April 2022 have contributed over 130 'sweat equity' hours.

The house plans before you are a 'typical' Habitat home for our affiliate here in Medina County. The single story, ranch style construction allows us to build this home with volunteers completing most of the work. The volunteers for this home will come from Heartland Community Church here in Medina. Heartland Community Church has committed to a full-house financial donation along with supplying all the volunteer labor to build this home.

Thank you for your support and consideration of our request before you tonight.



A world where **everyone** has a decent place to live



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 BY: 23-134

LOT IMPROVEMENT PLAN

425 W Friendship Street
 Situated in the City of Medina
 County of Medina and State of Ohio
 PPN: 028-19A-21-015
 Builder: Habitat for Humanity

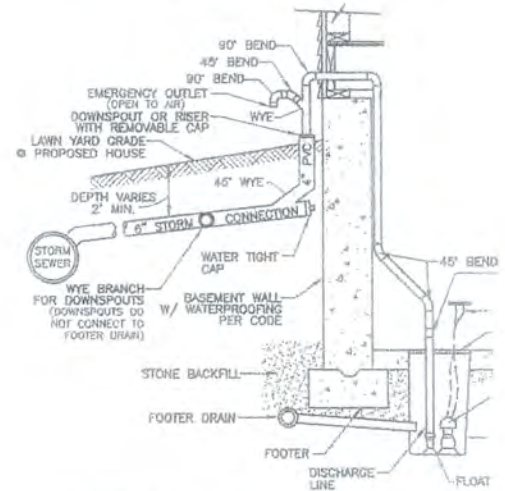
GRAPHIC SCALE



(IN FEET)
 1 inch = 20 ft.

BENCHMARK:
 WODDEN HUB SET
 ELEV.=1099.15'

***SUMP PUMP REQUIRED**



STORM CONNECTION & OVERFLOW DETAIL
 NOT TO SCALE

FIN 1st FLR.	= 1100.50'
TOP/WALL	= 1099.50'
GARAGE FLR.	= 1100.00'
BASEMENT FLR.	= 1091.83'
BOTTOM/FOOTER	= 1090.83'

~~PROPOSED GRADE~~
 existing grade
 SWALE = DRAINAGE FLOW/SWALE

DENOTES: CONSTRUCT CLAY BULKHEAD DAM IN ALL UTILITY TRENCHES

PR.=PROP.=PROPOSED
 EX.=EXISTING
 FFL=FINISHED FLOOR

EX. STORM CATCH BASIN
 RIM=1093.21'
 10"(N)=1090.99'
 12"(SW)=1090.94'

- *PR. 65'-4" STORM SEWER CONN. @ 1.0% MIN. TO BE INSTALLED PER CITY OF MEDINA REQUIREMENTS. (NO CONN. FOUND IN FIELD)
- **PR. 82'-4" SANITARY SEWER CONN. @ 1.0% MIN. CONTRACTOR TO VERIFY DEPTH AND LOCATION PRIOR TO EXCAVATION. CONNECTION TO BE INSTALLED PER MCSE REQUIREMENTS.
- ***PR. 16" WATER CONN. FROM EX. MAIN TO EX. W.S.O. & 104' FROM EX. W.S.O. TO PR. HOUSE. CONTRACTOR TO VERIFY LOCATION PRIOR TO EXCAVATION. TO BE INSTALLED PER MCSE REQUIREMENTS. (W.S.O. FOUND IN FIELD & MAIN LOCATION MARKED PER OUPS FLAGGING)

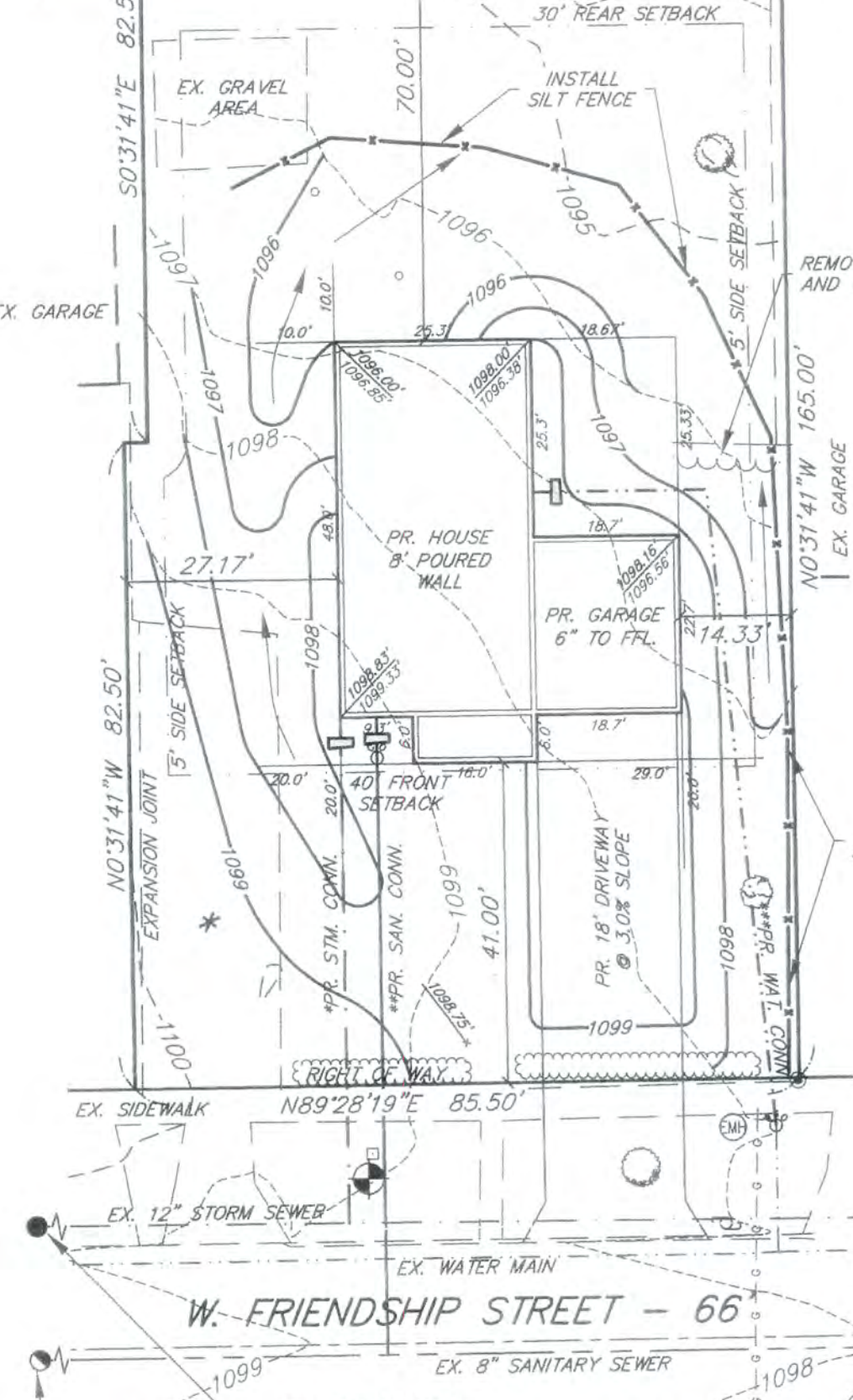
***UTILITY CONNECTION NOTE:**
 CONTRACTOR SHALL LOCATE EXISTING UTILITY LATERALS THAT SERVICED PREVIOUS HOME ON THIS PARCEL. CONTRACTOR SHALL USE EXISTING LATERALS IF FOUND IN ACCEPTABLE CONDITION. IF LATERAL IS NOT FOUND, FOLLOW CONNECTIONS SHOWN ON PLAN. CONNECTIONS SHALL FOLLOW CITY OF MEDINA REQUIREMENTS.

Lewis Land Professionals, Inc.

Civil Engineering & Surveying
 8691 Wadsworth Rd. Suite 100 Wadsworth, Ohio 44281
 Phone: (330) 335-8232
 www.landprosinc.com

SHEET 1 OF 1
 PLOT DATE: 01/25/23

PROJ. No. 22-328 DRAWING NAME 22-328.dwg



EX. SANITARY MANHOLE RIM=1101.42'
 8"(W)=1094.20'
 8"(E)=1094.16'

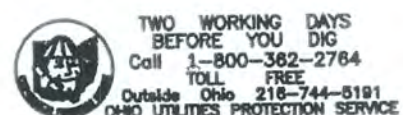
EX. STORM MANHOLE RIM=1100.99'
 12"(S)=1095.99'
 12"(E)=1095.81'

EX. SANITARY MANHOLE (FLOWS EAST) RIM=1097.96'
 8"(W)=1090.28'
 8"(E)=1090.28'

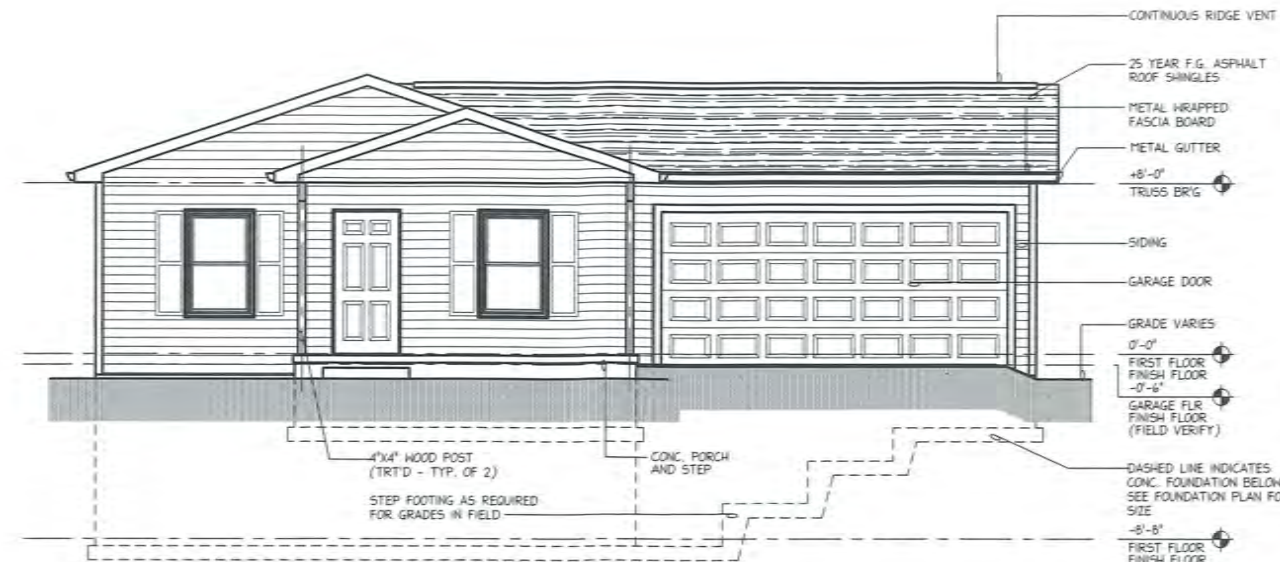
SAWCUT ALONG EXISTING CONCRETE EXPANSION JOINT AND REMOVE * EXISTING CONCRETE DRIVEWAY. EXISTING DRIVEWAY SHALL BE REMOVED IN ORDER TO PROVIDE ADEQUATE DRAINAGE TO THE PROPERTY

1. GRADES SHALL COMPLY WITH THE APPROVED GRADING PLAN ON FILE WITH CORRESPONDING GOVERNMENT OFFICE. ALL UTILITIES ARE PER DESIGN PLAN.
2. MAINTAIN POSITIVE YARD DRAINAGE (TO SWALE, YARD DRAIN, NATURAL WATER COURSES OR STREET) ACROSS ENTIRE LOT.
3. ALL SWALES MUST MAINTAIN A MINIMUM SLOPE OF 1%.
4. CONTRACTOR TO DETERMINE DEPTHS OF EXISTING LATERALS AND VERIFY IF PROPER CONNECTIONS CAN BE MADE TO HOUSE. CONTACT CORRESPONDING GOVERNMENT OFFICE IF DISCREPANCIES EXIST.
5. CONTRACTOR TO NOTIFY UTILITIES PROTECTION SERVICES PRIOR TO CONSTRUCTION.
6. NO LAWN AREAS TO BE MOWED SHALL HAVE A SLOPE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL.
7. SUMP PUMP RECOMMENDED, DESIGN & LOCATION TO BE DETERMINED BY BUILDER.
8. NO DETERMINATION OF THE PRESENCE OF WETLAND AREAS WAS PERFORMED BY LEWIS LAND PROFESSIONALS.
9. THIS DRAWING DOES NOT CONSTITUTE A BOUNDARY SURVEY.
10. A SOLID CLAY BULKHEAD AROUND THE PIPE SHALL BE PLACED WITHIN THE STORM & SANITARY CONNECTION TRENCH TO THE LEVEL OF THE STONE BACKFILL ABOVE THE PIPE.
11. CONTRACTOR TO INSTALL SILT FENCE PRIOR TO BEGINNING CONSTRUCTION.

Lewis Land Professionals Inc. (LLP) does not guarantee the location of utilities shown as LLP does not perform subsurface investigations for underground utilities or structures. All utilities are shown per OUPS field markings found on site at time of topographic survey or per plans provided. It is the contractor's responsibility to verify location of connections prior to excavation. Dimensions to property lines are shown to foundation wall only and do not include overhangs or footer locations. Foundation dimensions shown are for rough field layout only, see Architectural House Plans for all dimensions. The Contractor/Owner must verify all foundation dimensions & proposed grades shown on this topographic survey. Cuts between hubs shall be compared for discrepancies. Any error resulting from failure to check shall not be the responsibility of Lewis Land Professionals, Inc.



DATE	DESCRIPTION	BY
12/5/22	LOT FIT PLAN	MBK
1/25/23	FINAL LOT IMPROVEMENT PLAN	MBK

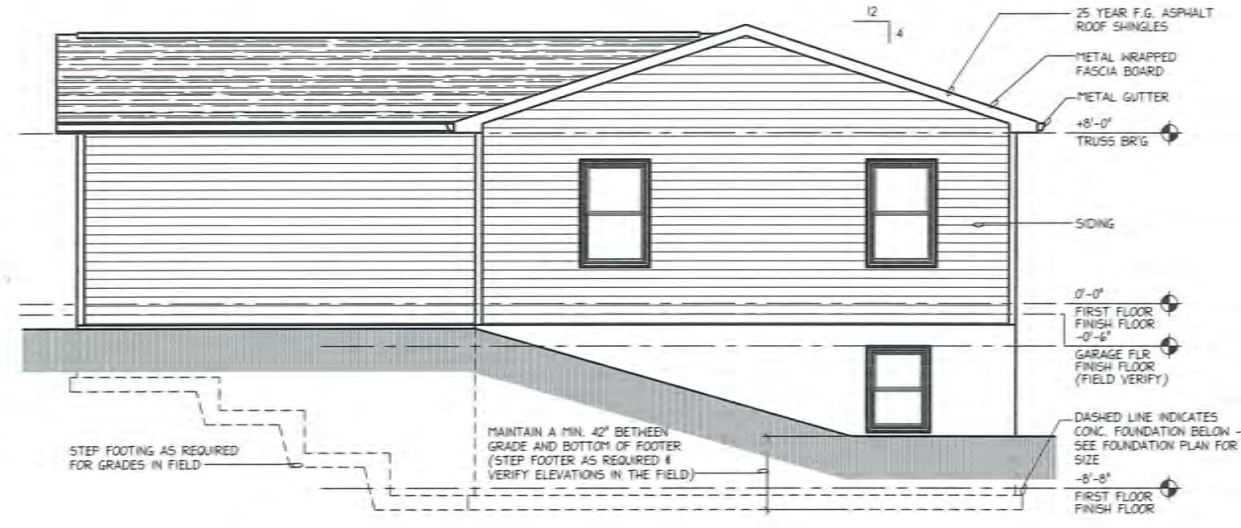


SIDING NOTE:
10" VINYL SIDING W/ 3" RIB AND 4" VINYL CORNER TRIM

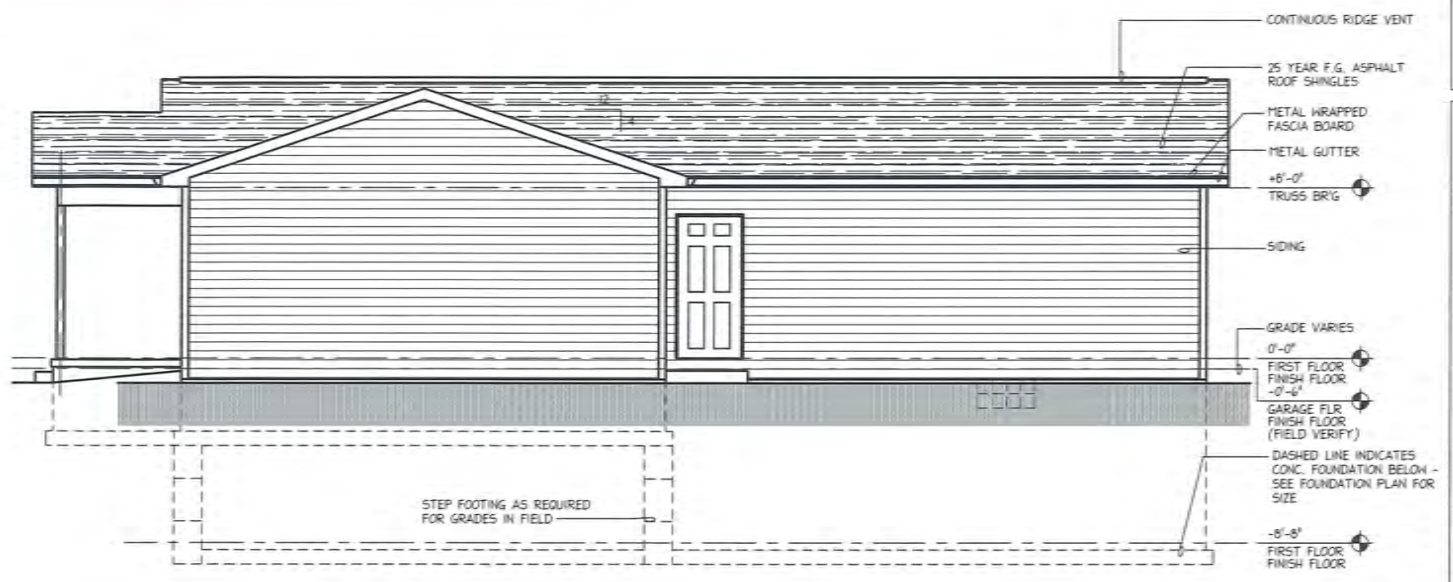
DRAWING INDEX:

A100	EXTERIOR ELEVATIONS
A101	BASEMENT & FIRST FLOOR PLANS
A102	ROOF PLAN & SECTIONS
A103	FOUNDATION & FIRST FLR FRAMING PLANS
A104	ROOF FRAMING PLAN
A105	ELECTRICAL PLANS

A EXTERIOR 'FRONT' ELEVATION
SCALE: 1/4"=1'-0"



B EXTERIOR 'SIDE' ELEVATION
SCALE: 1/4"=1'-0"



C EXTERIOR 'SIDE' ELEVATION
SCALE: 1/4"=1'-0"

WINDOW NOTE:
WINDOW MANUFACTURER TO BE DETERMINED BY HABITAT FOR HUMANITY AND SIZES TO BEDROOMS TO COMPLY WITH NOTE BELOW

WINDOW EGRESS NOTE:
SIZE WINDOWS IN BEDROOM AREAS FOR EGRESS - (5.7 SQ. FT. CLEAR OPENING - 20" MIN. WIDTH & 24" MIN. HEIGHT W/ 44" MAX. SILL HEIGHT A.F.F.)



D EXTERIOR 'REAR' ELEVATION
SCALE: 1/4"=1'-0"

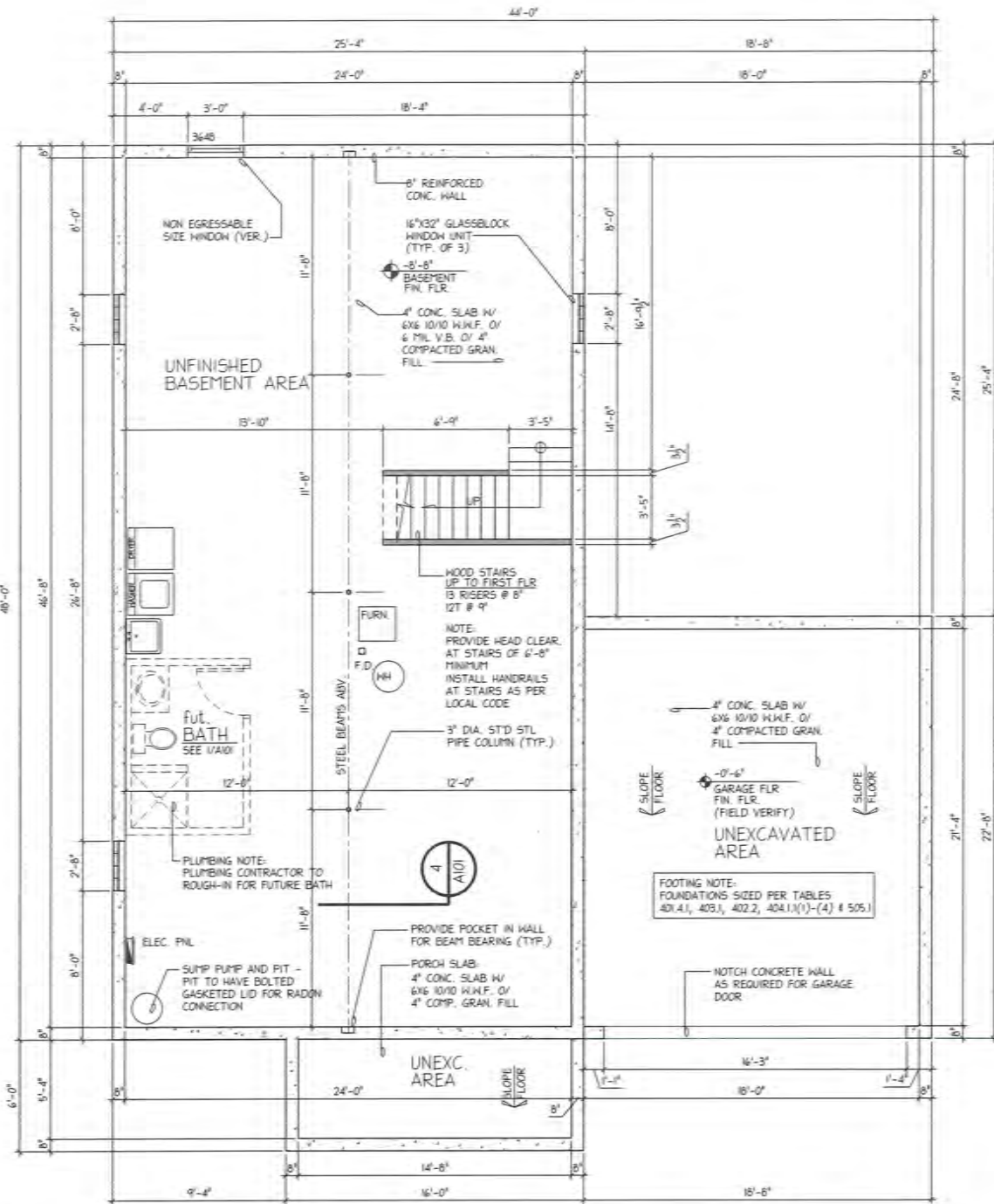
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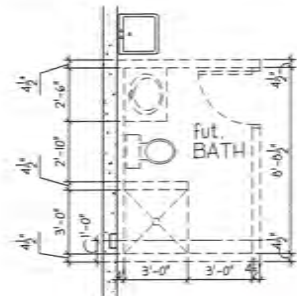
498 DURLING HOME PLANS
498 DURLING DRIVE / WADSWORTH, OHIO

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EXTERIOR ELEVATIONS
DATE: 02-21-2023
BY: 22-154

Project No.:
Sheet:
A100
Scale: See Plan



A BASEMENT FLOOR PLAN
SCALE: 1/4"=1'-0"



I FUTURE BSMT FLR PLAN
SCALE: 1/4"=1'-0"

STRUCTURAL LOADS:

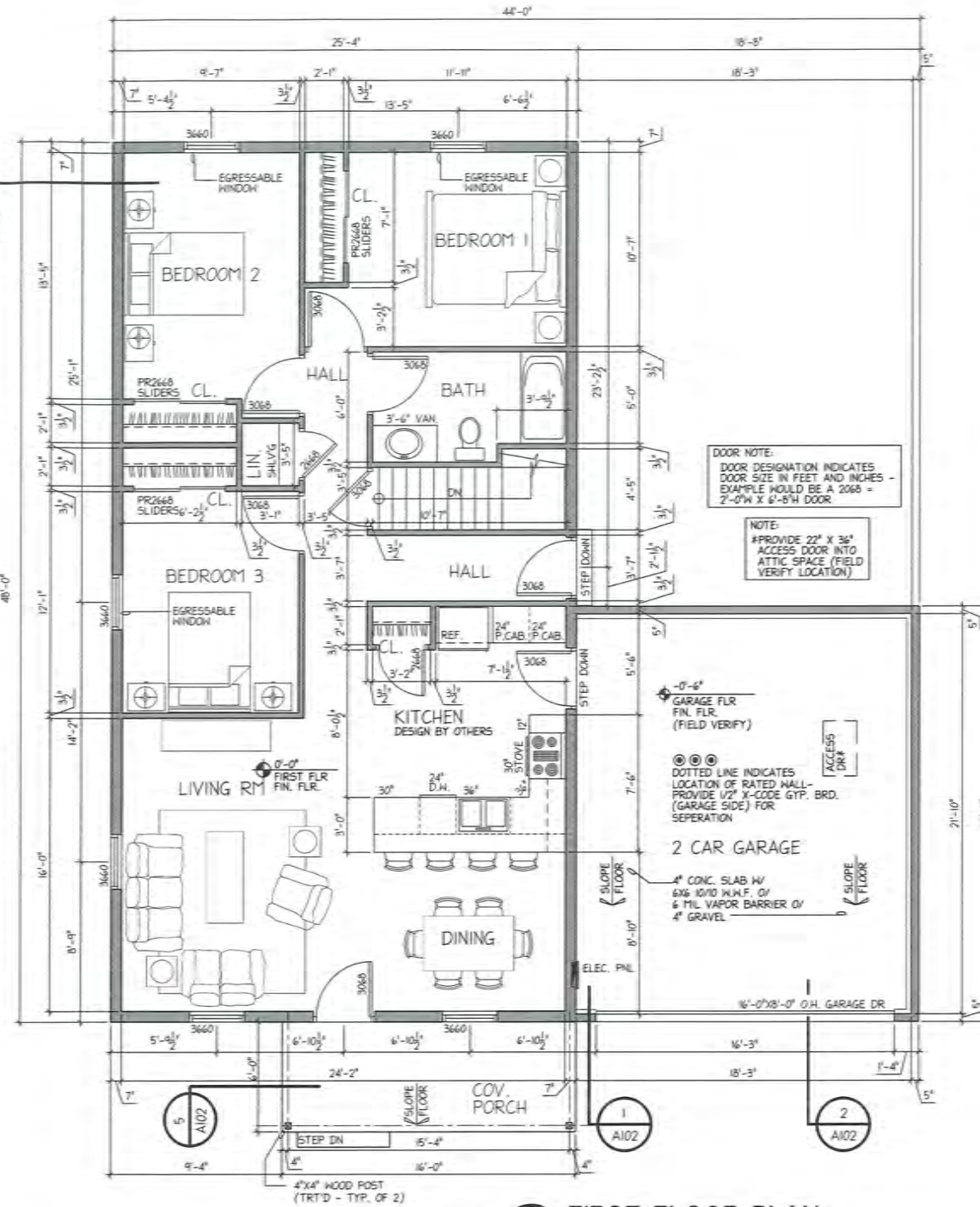
SOIL BEARING CAPACITY: 1,500 P.S.F.

ROOF LOADS:
 TOP LIVE LOAD — 40 PSF
 TOP DEAD LOAD — 10 PSF
 BOTTOM DEAD LOAD — 1 PSF

FLOOR LOADS:
 TOP LIVE LOAD — 40 PSF
 TOP DEAD LOAD — 10 PSF
 BOTTOM DEAD LOAD — 5 PSF

GENERAL NOTES

- STRUCTURAL WOOD IS TO BE SELECT GRADE WITH FC+ 2,400 PSI MINIMUM.
- TO MEET ENERGY CODE REQUIREMENTS, THE FOLLOWING MINIMUM THERMAL INSULATION VALUES ARE TO BE INSTALLED:
 CEILING = R-38
 WALLS = R-19
- INSULATION IS TO BE INSTALLED AT INTERIOR PARTITIONS AS DIRECTED BY HABITAT FOR HUMANITY.
- ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING LESS THAN 25 AND A SMOKE DENSITY RATING LESS THAN 450.
- GLASS WITHIN DOORS OR SIDELIGHTS ARE TO BE TEMPERED/SHOCK RESISTANT AS PER CODE.
- VERIFY FINISH HARDWARE AND CABINET HARDWARE WITH HABITAT FOR HUMANITY.
- WALLS ARE TO BE PAINTED DRYWALL. VERIFY PAINT COLORS WITH HABITAT FOR HUMANITY.
- VERIFY ANY HALL COVERING WITH HABITAT FOR HUMANITY.
- PROVIDE VINYL TILE FLOORING WHERE LABELED 'TILE'.
- VERIFY MATERIAL AND COLOR WITH HABITAT FOR HUMANITY.
- PROVIDE CARPET WHERE LABELED 'CARPET'. VERIFY CARPET WITH HABITAT FOR HUMANITY.
- 1/2" GYPSUM BOARD TYPICAL FOR WALLS AND 5/8" F.C. FOR CEILINGS. GYPSUM BOARD IS TO BE PRIMED AND PAINTED FOR A SMOOTH, PROFESSIONAL FINISH. WALL AND CEILING MATERIALS ARE TO HAVE A FLAME SPREAD RATING OF LESS THAN 200.
- PROVIDE AND INSTALL NECESSARY LOUVERS AND VENTS.
- PROVIDE AND INSTALL A MAILBOX AS DIRECTED BY HABITAT FOR HUMANITY.
- LOCATE TELEPHONE JACKS AS PER ELECTRICAL PLAN.
- LOCATE SMOKE DETECTORS PER ELECTRICAL PLAN.
- THERE WILL BE NO DEVIATION FROM THESE PLANS OR SPECIFICATIONS UNLESS SUBMITTED IN WRITING AND APPROVED BY HABITAT FOR HUMANITY.
- ALL 3/4" T & G OSB FLOORING MUST BE GLUED (WITH LIQUID NAILS) AND NAILED.



B FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

BUILDING AREAS:

FIRST FLOOR LIVING AREA	1,216 S.F.
2 CAR GARAGE	423 S.F.
PORCH	96 S.F.

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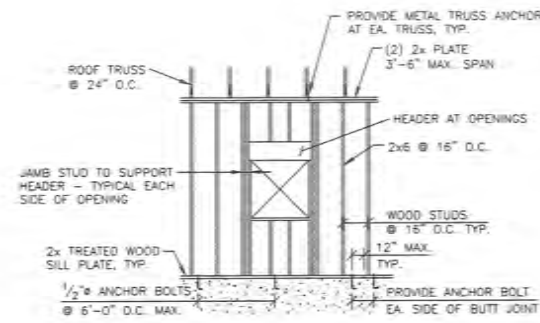


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Basement & First Floor Plans
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BY: 22-124

Project No.
Sheet:
A101
Scale: See Plan

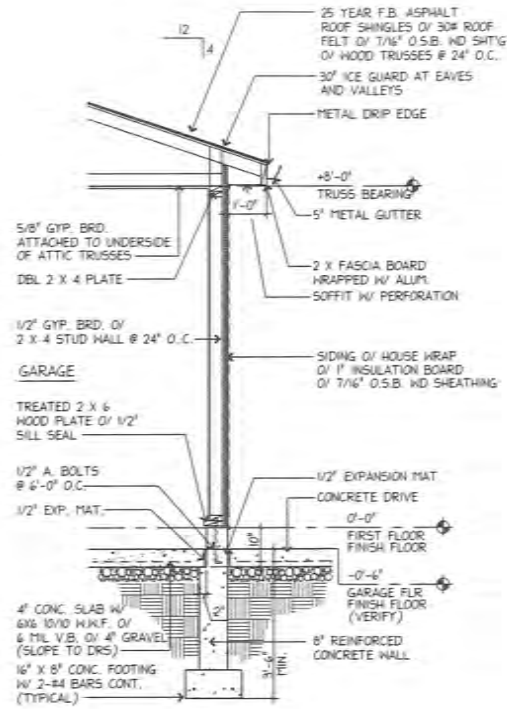
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TYPICAL WALL ELEVATION

NOTES:

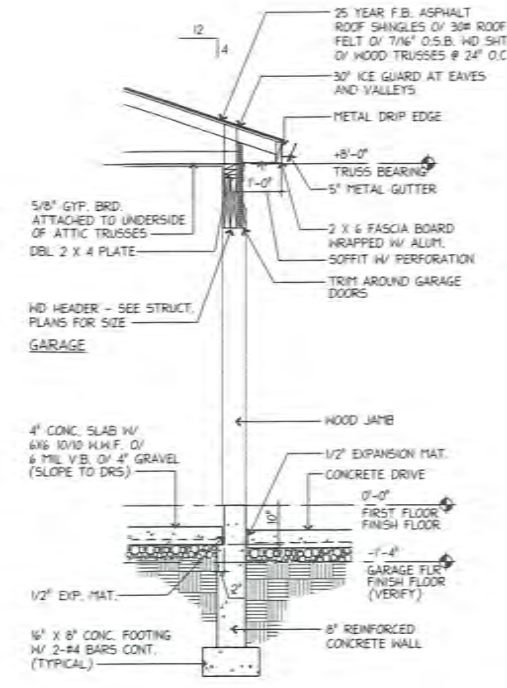
- AT WALL LOCATIONS WHERE MULTIPLE STUDS ARE REQUIRED TO SUPPORT VERTICAL LOADS, A CONTINUOUS LOAD PATH SHALL BE PROVIDED TO SUPPORT THOSE LOADS THROUGH THE STRUCTURE TO THE FOUNDATIONS. THIS MAY BE ACCOMPLISHED THROUGH THE USE OF RIM JOISTS, SQUASH BLOCKS OR OTHER APPROPRIATE MEANS BASE ON LOCATION AND DETAILING CONSIDERATIONS.



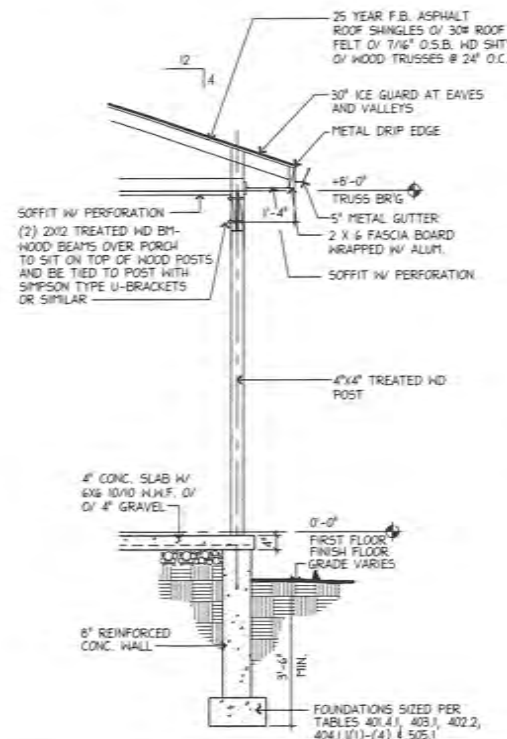
1 WALL SECTION
 SCALE: 1/2"=1'-0"

ROOF VENTILATION NOTE:
 ROOF VENTILATION NET FREE AREA SHALL BE NO LESS THAN 1/150 OF THE AREA TO BE VENTILATED AS PER LOCAL BUILDING CODE.

NOTE:
 ROOF OVERHANGS ARE 1'-0" FROM SHEATHING (TYP. U.N.O.)

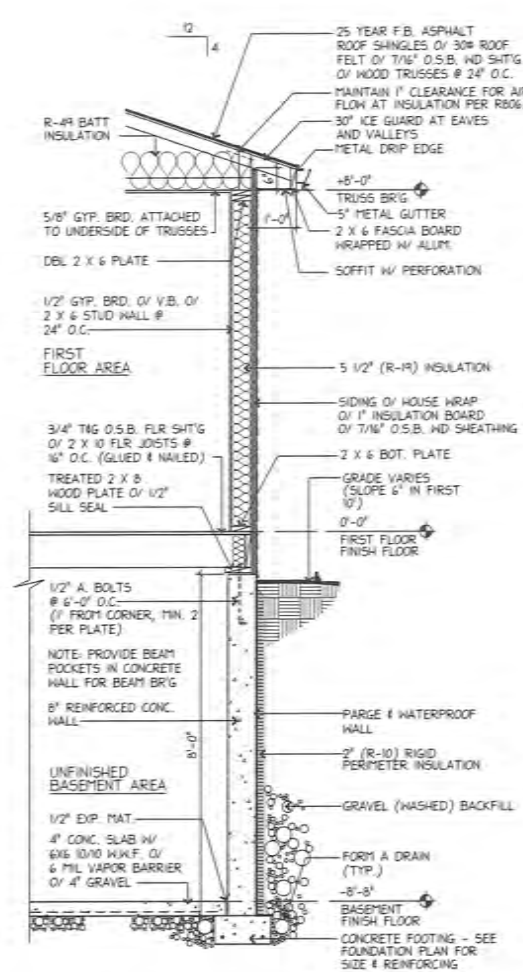


2 WALL SECTION
 SCALE: 1/2"=1'-0"

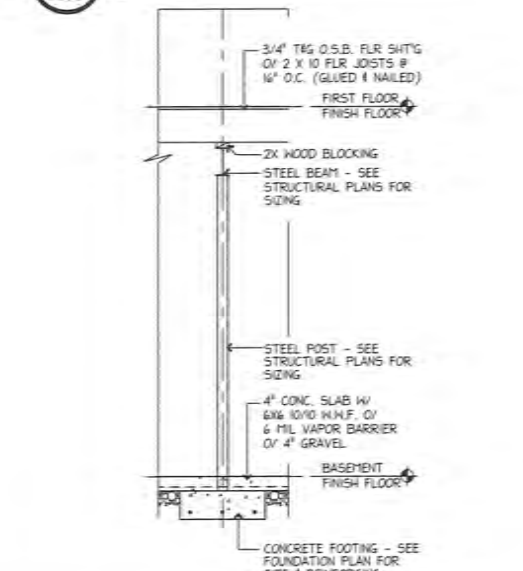


3 WALL SECTION
 SCALE: 1/2"=1'-0"

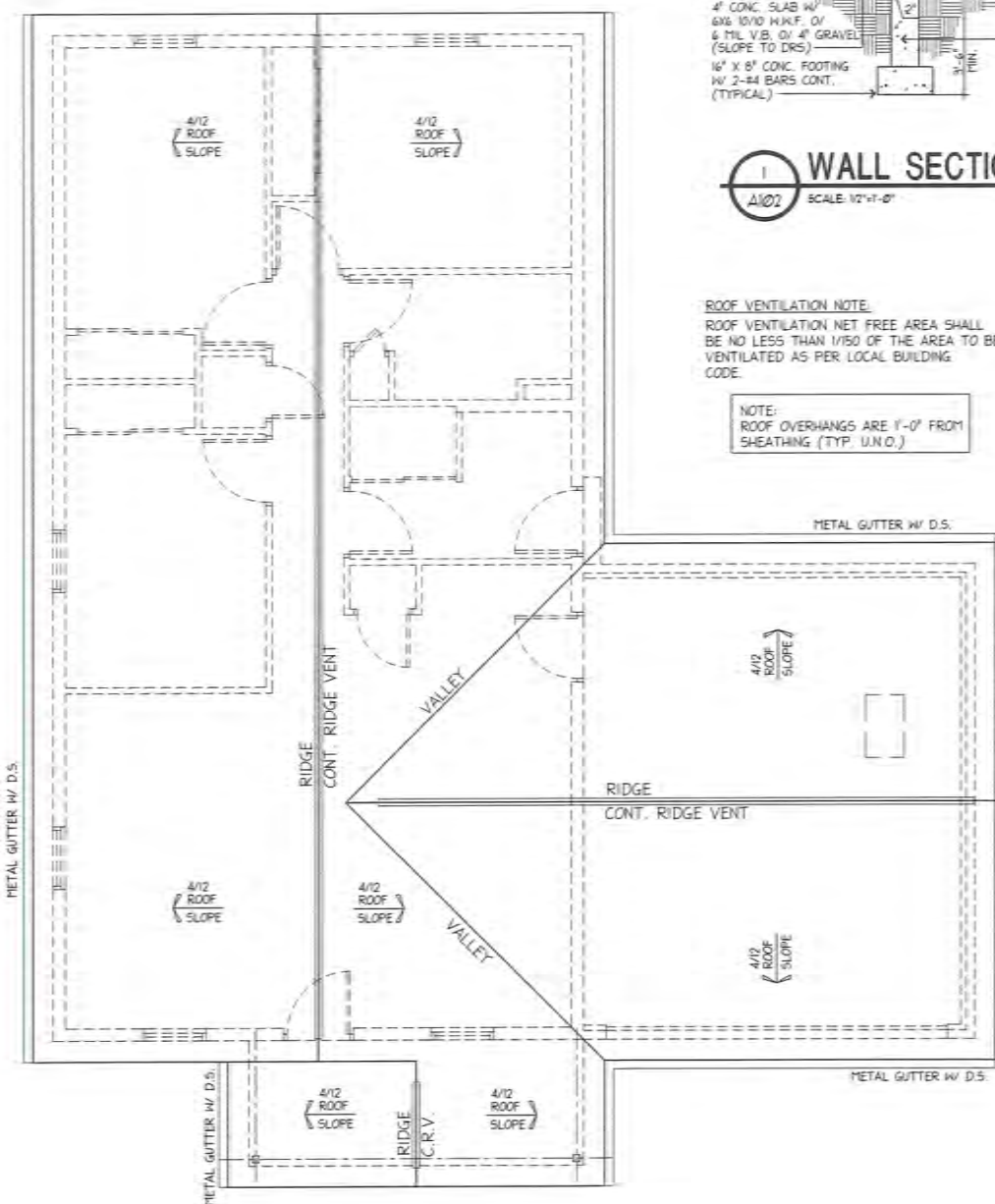
SECTION NOTES:
 - TRUSSES TO BE ENGINEERED BY TRUSS MANUFACTURER
 - FIREBLOCK WALLS AS PER R602.8
 - FOUNDATION DRAINS TO DISCHARGE TO DAYLIGHT OR APPROVED SYSTEM
 - PROVIDE GROUNDING ELECTRODE TO FOOTING & ATTACH AS PER NEC 250.50 & 250.52 (A)(3). CONNECTION MUST BE INSPECTED PRIOR TO CONCRETE POUR



4 WALL SECTION
 SCALE: 1/2"=1'-0"



5 PARTIAL SECTION
 SCALE: 1/2"=1'-0"



A ROOF PLAN
 SCALE: 1/4"=1'-0"

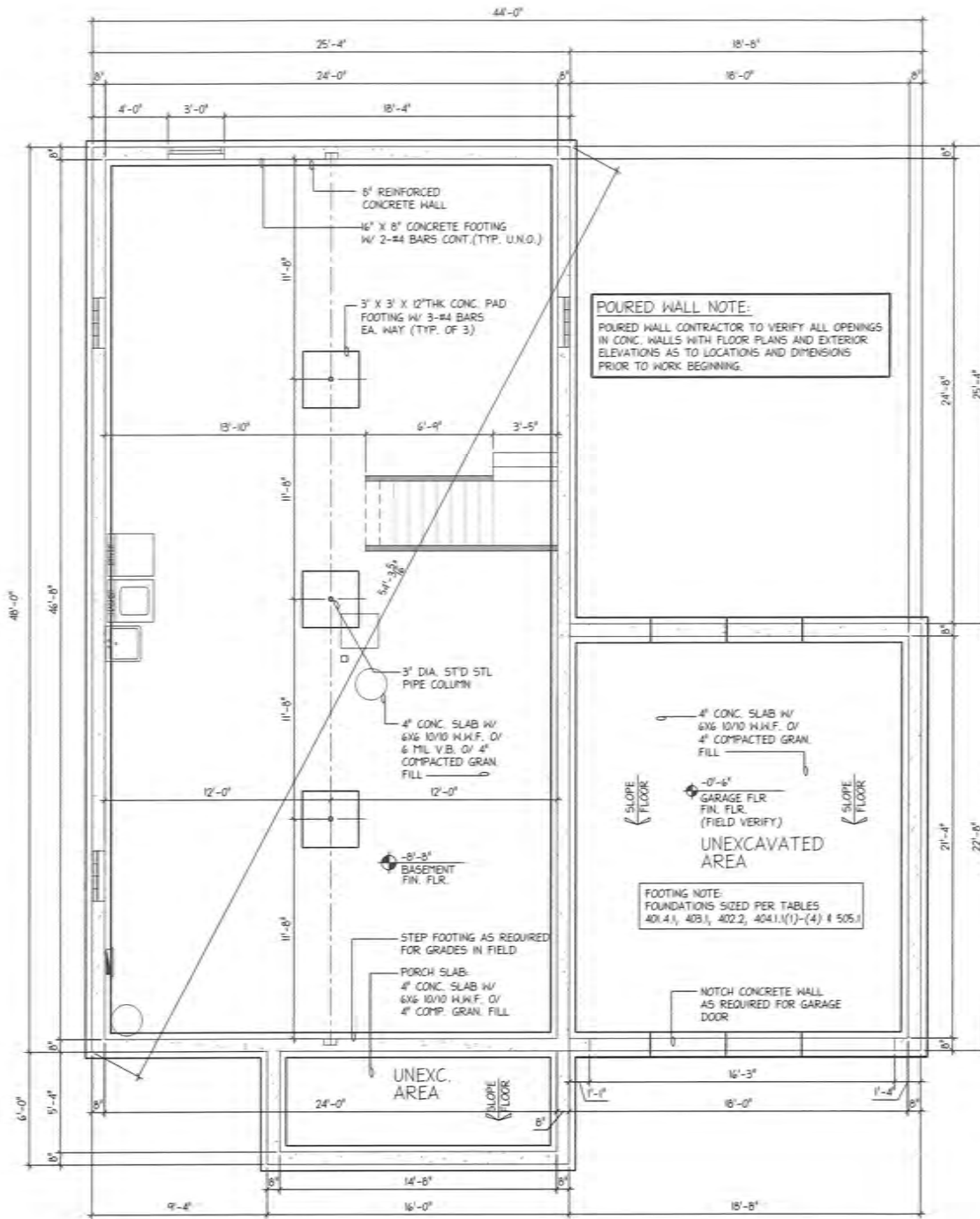
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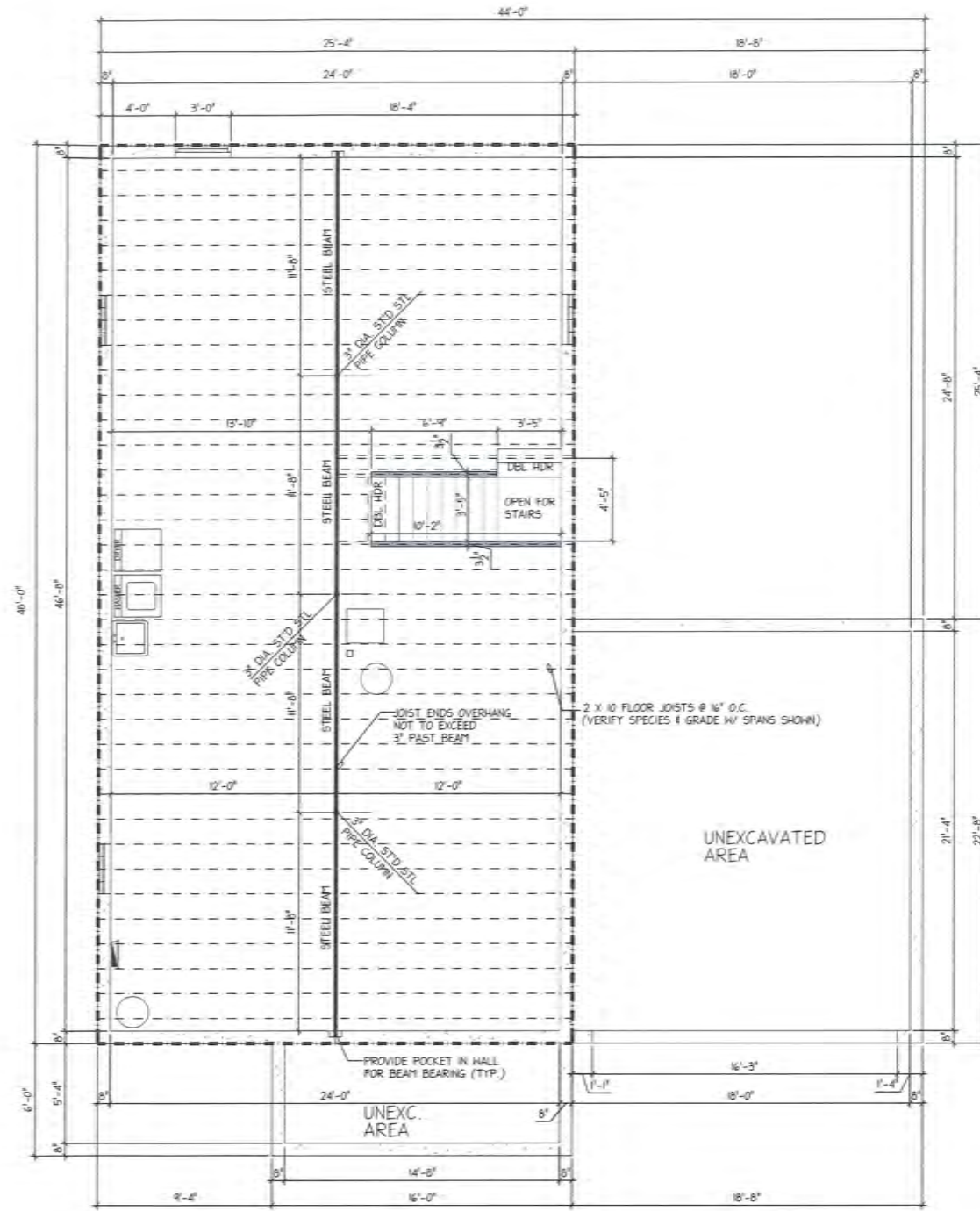
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 06-10-2021
 BY: 23-134

Project No:
 Sheet:
A102
 Scale: See Plan



A FOUNDATION PLAN
SCALE: 1/4"=1'-0"



B FIRST FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"

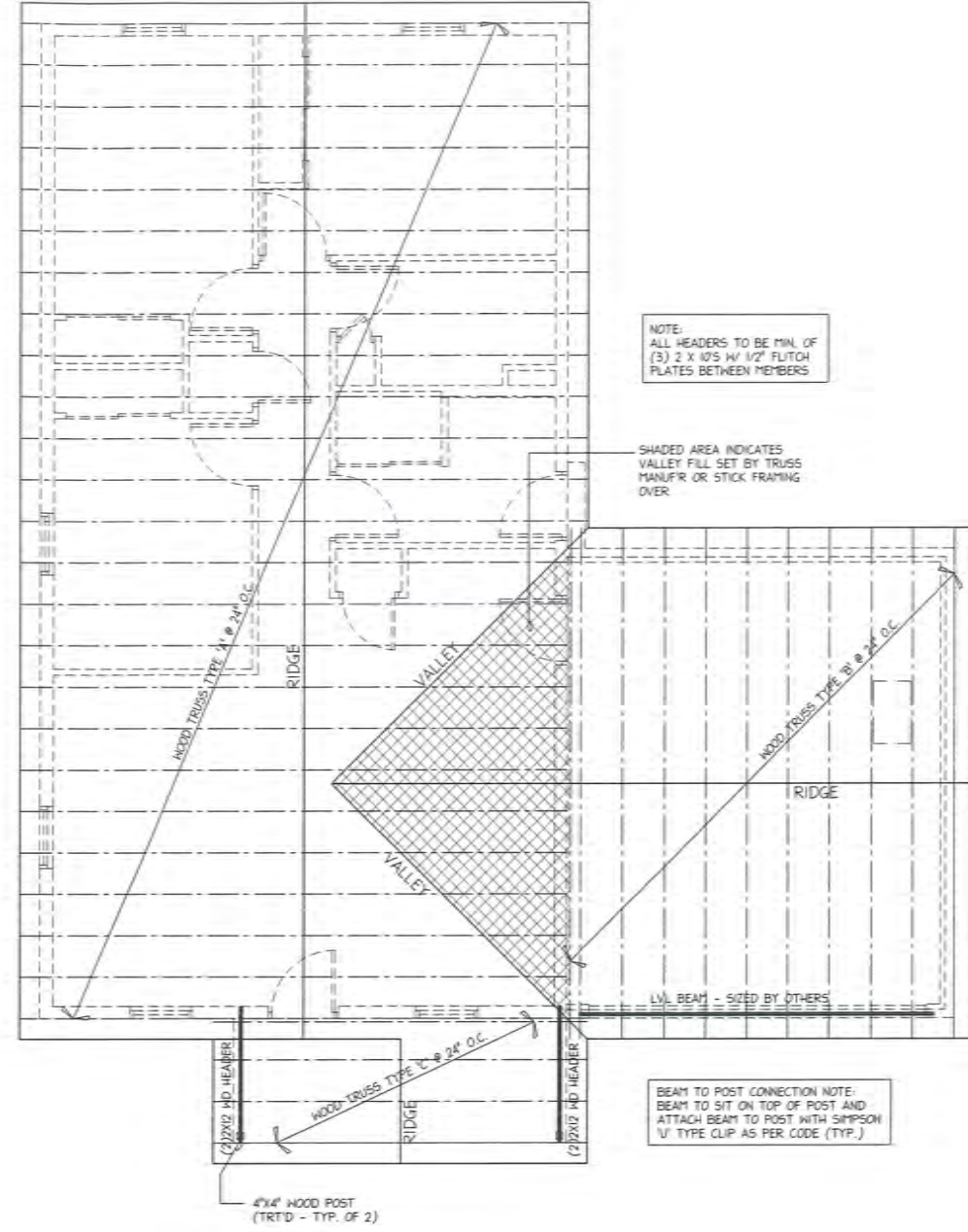
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498 DURLING DRIVE WADSWORTH, OHIO

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Foundation & First Flr Framing Plans
FEB 11 2021
BY: 22-134

Project No:
Sheet:
A103
Scale: See Plan



A
A104 **ROOF FRAMING PLAN**

SCALE 1/4"=1'-0"
TRUSS NOTE:
THE WOOD TRUSS MANUFACTURER IS TO FURNISH CERTIFIED ENGINEERING TRUSS DRAWINGS WHICH INDICATE MEMBER AND JOIST SIZE, LOADING, LUMBER STRENGTH, AND BRACING REQUIREMENTS FOR THE BUILDERS & BUILDING DEPT. APPROVAL.

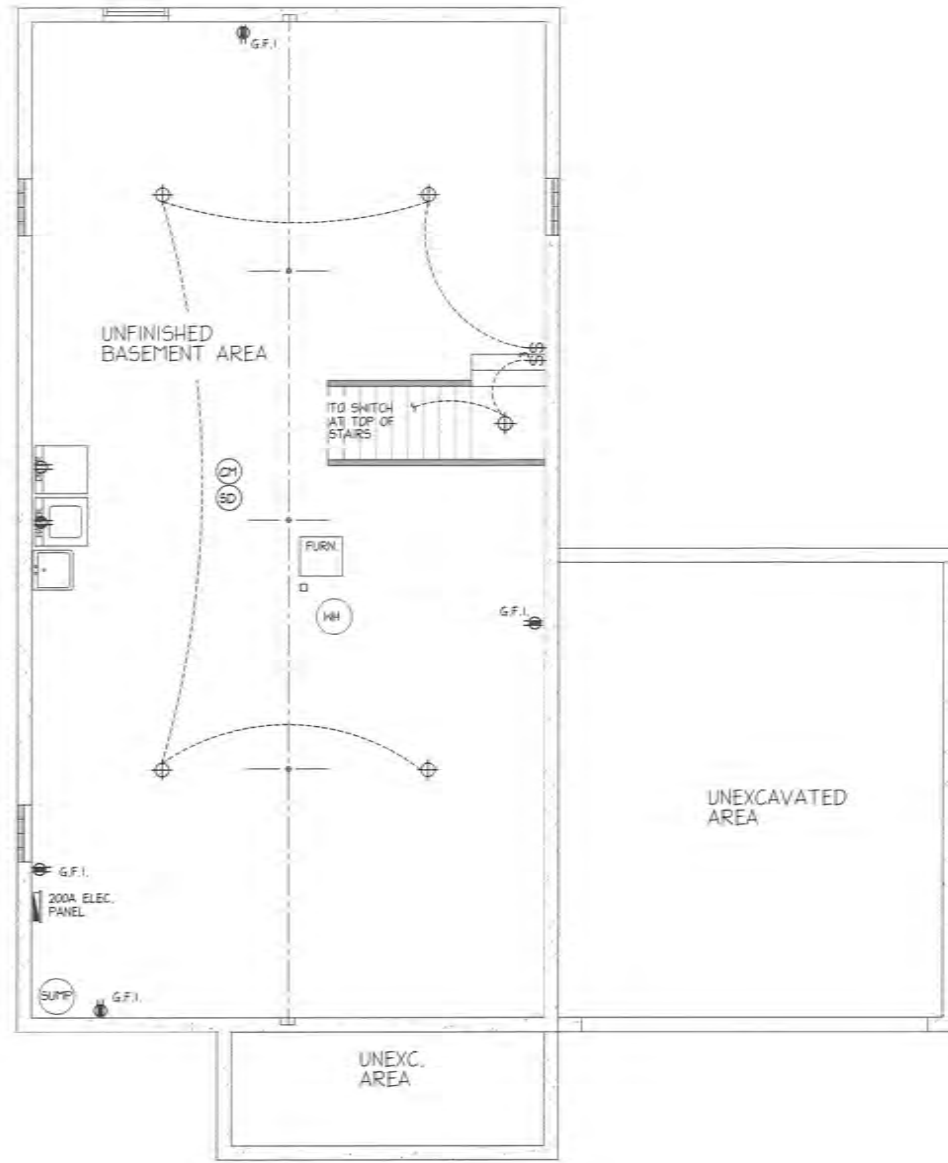
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Habitat for Humanity of Medina County
342 East Smith Road/Medina, Ohio 44256

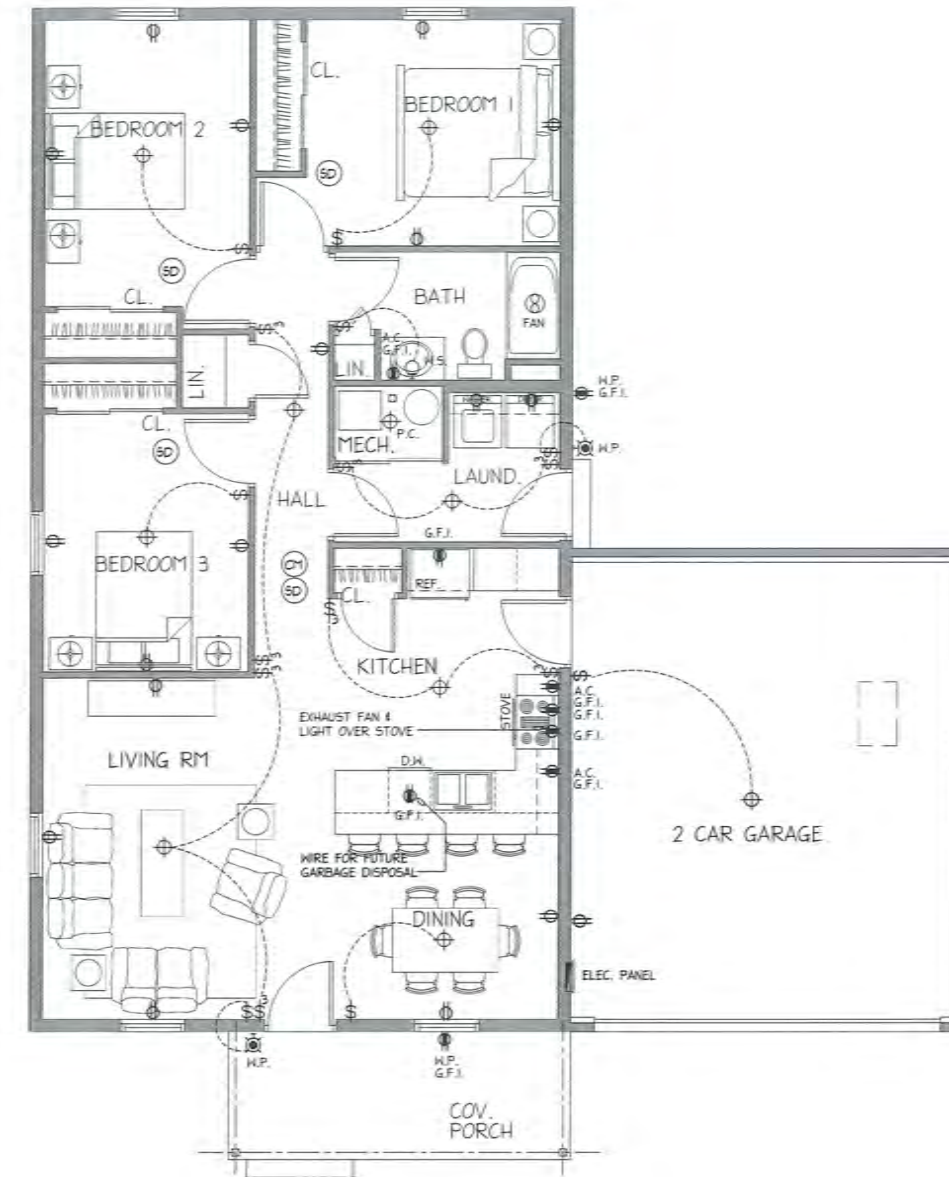
498 DURLING HOME PLANS
498 DURLING DRIVE / WADSWORTH, OHIO

RECEIVED
Roof Framing Plan
FEB 1 2014
65-10-202
BY: 22-134

Project No:
Sheet:
A104
Scale: See Plan



A ELECTRICAL BASEMENT FLOOR PLAN
SCALE: 1/4"=1'-0"



B ELECTRICAL FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

ELECTRICAL NOTES:

- DRAWINGS INDICATED THE MINIMUM DESIGN REQUIREMENTS. IN ADDITION, ALL NATIONAL, STATE, LOCAL AND NATIONAL ELECTRICAL CODES SHALL BE FOLLOWED. THE CONTRACTOR SHALL INCLUDE THE COST OF SATISFYING SUCH CODE IN THERE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY POWER AND THE COST THEREOF.
- A WRITTEN DIRECTORY SHALL BE PROVIDED IN PANEL BOX.
- GROUND ALL CONDUITS, CABINETS, PANELS AND OTHER EXPOSED NON-CURRENT CARRYING METAL PARTS OF ELECTRICAL EQUIPMENT IN ACCORDANCE WITH ALL PROVISIONS OF ARTICLE 250 OF THE NATIONAL ELECTRIC CODE OR LOCAL CODES THAT MAY APPLY.
- TEST GROUNDS, SHORT CIRCUITS AND PROPER FUNCTION OF ALL EQUIPMENT AFTER INSTALLATION IS COMPLETE. FAULTS IN INSTALLATION SHALL BE CORRECTED.
- PRE WIRE HOUSE FOR PHONE IN KITCHEN AND ALL BEDROOMS.
- INSTALL A MINIMUM OF ONE (1) HARDWIRED SMOKE DETECTOR (WITH BATTERY BACKUP) AT EACH BEDROOM, FLOOR AND BASEMENT AND/OR AS REQUIRED BY CODE.
- INSTALL A HARDWARE CARBON MONOXIDE DETECTOR (WITH BATTERY BACKUP) AT ALL BEDROOMS/BONUS ROOM ABOVE GARAGE PER LOCAL CODES.
- 220V OUTLET AT DRYER LOCATION.
- PROVIDE A 100 AMP SERVICE WITH MINIMUM 10% SPARE CIRCUITS.

ELECTRICAL LEGEND:

- MOTOR
- ELECTRICAL PANEL
- TELEPHONE OUTLET
- DUPLEX (110 V) CONVENIENCE OUTLET - 16" AFF.
- DUPLEX (220 V) OUTLET
- GROUND FAULT (110 V) CIRCUIT INTERRUPTOR
- GROUND FAULT (110 V) CIRCUIT INTERRUPTOR - WEATHERPROOF
- SINGLE POLE SWITCH
- THREE WAY SWITCH
- CARBON MONOXIDE DETECTOR - HARD WIRED
- SMOKE DETECTOR - HARD WIRED W/ BATTERY BACK-UP (DUAL SENSOR PHOTOELECTRIC & IONIZATION TYPE)
- EXHAUST FAN
- OVERHEAD LIGHT FIXTURE
- EXTERIOR WALL MTD LIGHT FIXTURE
- INDICATES ELECTRICAL WIRE

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498 DURLING HOME PLANS
498 DURLING DRIVE / WADSWORTH, OHIO

RECEIVED
Electrical Plans
FEB 21 2023
BY: 22-124

Date: 06-10-2021
Revised:

Project No.
Sheet:
A105
Scale: See Plan

Site - 425 W. Friendship St.



**North Side of W. Friendship St.
Looking West**



Duplex to the East (419)



Home to the West (433)



**South Side of W. Friendship St.
Looking West**



Home Across the Street (418)



Home Across the Street (424)



Home Across the Street (432)

