



**P23-09**  
**Premier Bank Drive Through**

Property Owner: Premier Bank  
Applicant: Brian Midock  
Location: 830 North Court Street  
Zoning: C-3 (General Commercial)  
Request: Site Plan and Conditional Zoning Certificate approval for a bank drive through expansion

**LOCATION AND SURROUNDING USES**

The subject site is composed of 0.654 acres located on the east side of North Court Street. Adjacent properties are zoned C-3 and contain the following uses and zoning:

- North – Future Bank
- East – Retail
- South – Bank
- West – Multi-Tenant Building



**BACKGROUND & PROPOSED APPLICATION**

The site was most recently occupied by US Bank which included a single lane drive through at the rear of the building. The site currently has access from a shared drive to the east and a partial ingress/egress easement with the property to the south. The site contains ample parking in the front and rear of the building.

The applicant is proposing to add two additional drive through lanes, modify parking to the rear of the building, and alter exterior building elevations.

## ***CONDITIONAL ZONING CERTIFICATE***

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### ***Drive Through Standards***

Drive through facilities include several standards found in Section 1155.10, including the following:

- (a) The establishment must be located on an arterial road that is adequately designed to carry the additional traffic generated by the establishment. The City may require the applicant to conduct a traffic impact study by a qualified traffic engineer to determine the adequacy of the roadway. Such study shall be at the applicant's expense.
- (b) A minimum of five (5) stacking spaces per drive-thru lane is recommended.
  - (1) Such waiting areas shall not obstruct off-street parking spaces or internal circulation on site.
  - (2) Waiting spaces shall be situated in such a manner that vehicles using the drive through or drive-in facilities are traveling in a continuous forward motion.
  - (3) A bypass lane is recommended to permit unimpeded circulation around a drive through lane. A bypass lane shall not include parking spaces.
- (c) A solid fence or wall four (4) to six (6) feet in height shall be constructed where any off-street parking area is located in a side or rear yard, adjacent to any residentially zoned parcel of land. An evergreen hedge maintained in good condition may be substituted for the required fence or wall, provided however, that the evergreen hedge provides an opaque screen to prevent the glare of headlights onto adjoining properties and provided that the Planning Director approves such screening.
- (d) Speakers used for taking orders shall be positioned to minimize the sound on adjacent property.

### ***Parking Requirements and Standards***

Section 1145.04(a) includes a table which states that banks must have 4 stacking spaces for drive through lanes. The applicant has indicated three total drive through lanes on the east side (rear) of the building, which will be covered by a proposed canopy. Each drive through lane will have 3 stacking spaces, which is less than required by Section 1145.04(a).

### ***Conditional Zoning Certificate Basis of Determination***

The Planning Commission shall establish beyond reasonable doubt that the general standards and the specific standards pertinent to each use indicated herein are satisfied by the completion and operation of the proposed development. The Planning Commission may also impose such additional conditions and safeguards deemed necessary for the general welfare, for the protection of individual property rights and for the insuring that the intent and objectives of this Zoning Ordinance will be observed.

The Planning Commission shall review the particular facts and circumstances of each proposed use in terms of the following standards and shall find adequate evidence showing that such use on the proposed location:

- (1) Will be harmonious with and in accordance with the general objectives or with any specific objectives of the Land Use and Thoroughfare Plan of current adoption;
- (2) Will be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area;
- (3) Will not be hazardous or disturbing to existing or future neighboring uses;
- (4) Will not be detrimental to property in the immediate vicinity or to the community as a whole;
- (5) Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection drainage structures, refuse disposal and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide such service adequately;

- (6) Will be in compliance with State, County and City regulations;
- (7) Will have vehicular approaches to the property which shall be so designed as not to create an interference with traffic or surrounding public streets or roads.

**SITE PLAN**

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***Development Standards***

The following table indicates the general development standard requirements of the C-3 zoning district:

	<b>Required</b>	<b>Proposed</b>
Minimum Front Setback	0 ft.	54 ft.
Minimum Side Setback	0 ft.	21 ft.
Minimum Rear Setback	30 ft.	137 ft.

The project meets the applicable development standards.

***Parking, Access, and Circulation***

Access and Circulation – The site currently has an east/west access drive which is shared with the property to the south. This drive connects to a north/south access drive (adjacent to Drug Mart) at the northeast corner of the site.

This proposed parking lot maintains the shared east/west access drive and incorporates an additional egress drive on the east side of the site.

An existing partial ingress/easement is indicated on plans. The Engineering Department has noted that the easement should be extended to allow the property full access.

Required Off-Street Spaces – Financial Institutions require 1 parking space for every 200 sq. ft., which results in 10 required parking spaces. The proposed site plan indicates 19 parking spaces, which is a reduction from the previous 40 spaces.

Parking Dimensional Standards – New parking spaces to the rear of the building are 9 ft. x 18 ft. with a 26 ft. aisle. Per Section 1145.08, parking will need to be reconfigured to be the required 9 ft. x 19 ft. with a 24 ft. aisle.

***Landscaping, Screening, and Buffering***

Parking Lot Landscaping – New grass islands have been created on the east side of the site. The landscape islands must incorporate landscape materials such as trees, bushes, and/or shrubs per Section 1145.09(b).

Trash Enclosure – An existing trash container is indicated in the northeast corner of the site, however, the location does not contain a trash container. A trash container cannot be situated at the indicated location as a stormwater inlet structure is present and it is within the required setback.

A trash container must include an enclosure and meet the applicable setback for accessory structures (20 ft.).



### ***Engineering Department Comments***

The City of Medina Engineering Department has reviewed the plans and has recommended to the Planning Commission that an access easement between the property and the abutting property be a condition of approval.

### ***Utilities and Stormwater***

The site has access to public water and sanitary sewer service. Stormwater will be reviewed in detail by the City Engineer, though the project will reduce the total impervious surface on the site.

### ***Building Elevations and Lighting***

Architectural plans incorporate significant changes to the building exterior and an addition of a rear canopy:

- The brick on the building is proposed to be painted a gray color.
- Entrances on the front and side of the building currently include pitch roofs with rounded columns. The front entrance will be modified to include a large square entry clad in corrugated metal and the side entrance cover will be removed.
- Windows with white trim will be replaced with black framed windows.
- A rear canopy will be constructed to cover one row of vehicles. It will also be clad with gray corrugated metal.

No changes to lighting are indicated. Any new lighting or changes to lighting must comply with Section 1145.09(c).

Plans show multiple signs on the building which do not comply with sign regulations. Signs will be reviewed separately through the Sign Permit process and are not being reviewed at this time.

### ***Site Plan Review Standards***

The Planning Commission's review and action shall be based on the following Standards per Section 1109.02(c):

- (1) The site plan shows that a proper relationship does exist between thoroughfares, service roads, driveways and parking areas to encourage pedestrian and vehicular traffic safety.
- (2) All the development features including the principal buildings, open spaces, service roads, driveways and parking areas are so located and related as to minimize the possibility of any adverse effects upon adjacent development.
- (3) The site plan includes adequate provision for the screening of parking areas, service areas and active recreation areas from surrounding properties by landscaping and/or ornamental walls or fences. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (4) Grading and surface drainage provisions are reviewed and approved by the City Engineer.
- (5) The design and construction standards of all private streets, driveways and parking areas are to be built following approval of plans by the City Engineer according to construction standards specified in the Codified Ordinances.
- (6) Maximum possible privacy for multi-family dwellings and surrounding residential properties shall be provided through good design and use of proper building materials and landscaping. Visual privacy should be provided through structural screening and landscaping treatment. Auditory privacy in multi-family dwellings should be provided through soundproofing. All trees planted shall be as found in specifications approved by the Shade Tree Commission.

- (7) The architectural design of buildings should be developed with consideration given to the relationship of adjacent development in terms of building height, mass, texture, materials, line and pattern and character.
- (8) Building location and placement should be developed with consideration given to minimizing removal of trees and change of topography. Any trees to be removed which are planted in a public right-of-way or on municipal property shall be reviewed by the Shade Tree Commission.
- (9) In multi-family developments, television and other antennas shall be centralized.
- (10) On-site circulation shall be designed to make possible adequate fire and police protection.
- (11) Off-street parking facilities shall be provided in accordance with Chapter 1145. In large parking areas, visual relief shall be provided through the use of tree planted and landscaped dividers, islands and walkways. In multi-family developments no parking or service areas shall be permitted between any street and the main building. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (12) Signs shall be provided in accordance with these Codified Ordinances.
- (13) Any trees planted on site shall be on approved list of Shade Tree Commission and planted in accordance with Commission standards.

#### **COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION**

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Staff recommends **approval** of application P23-09 for Site Plan and Conditional Zoning Certificate approval as submitted, with the following conditions:

1. Access easements shall be modified or created as required by the City Engineer.
2. Parking spaces to the rear of the building shall be adjusted to comply with dimensional requirements of Section 1145.08 and parking lot islands on the east side of the site shall incorporate landscape materials such as trees, bushes, and/or shrubs per Section 1145.09(b).
3. Trash containers shall comply with screening and setback requirements of Section 1155.05 and shall not conflict with stormwater structures.
4. Consider reworking the main entrance feature on the front of the building to complement the existing pitched roof building.
5. The project shall comply with Planning and Zoning Code Section 1145.04(a) regarding drive through stacking spaces or a variance shall be approved by the Board of Zoning Appeals.

**Property Location: 830 N. Court St, Medina OH 44256**

**Applicant: Premier Bank**

Existing Site :

Formerly a bank, the vacant building is a one story brick structure with an asphalt shingle roof. The site is mostly paved and the neighboring properties are also commercial.

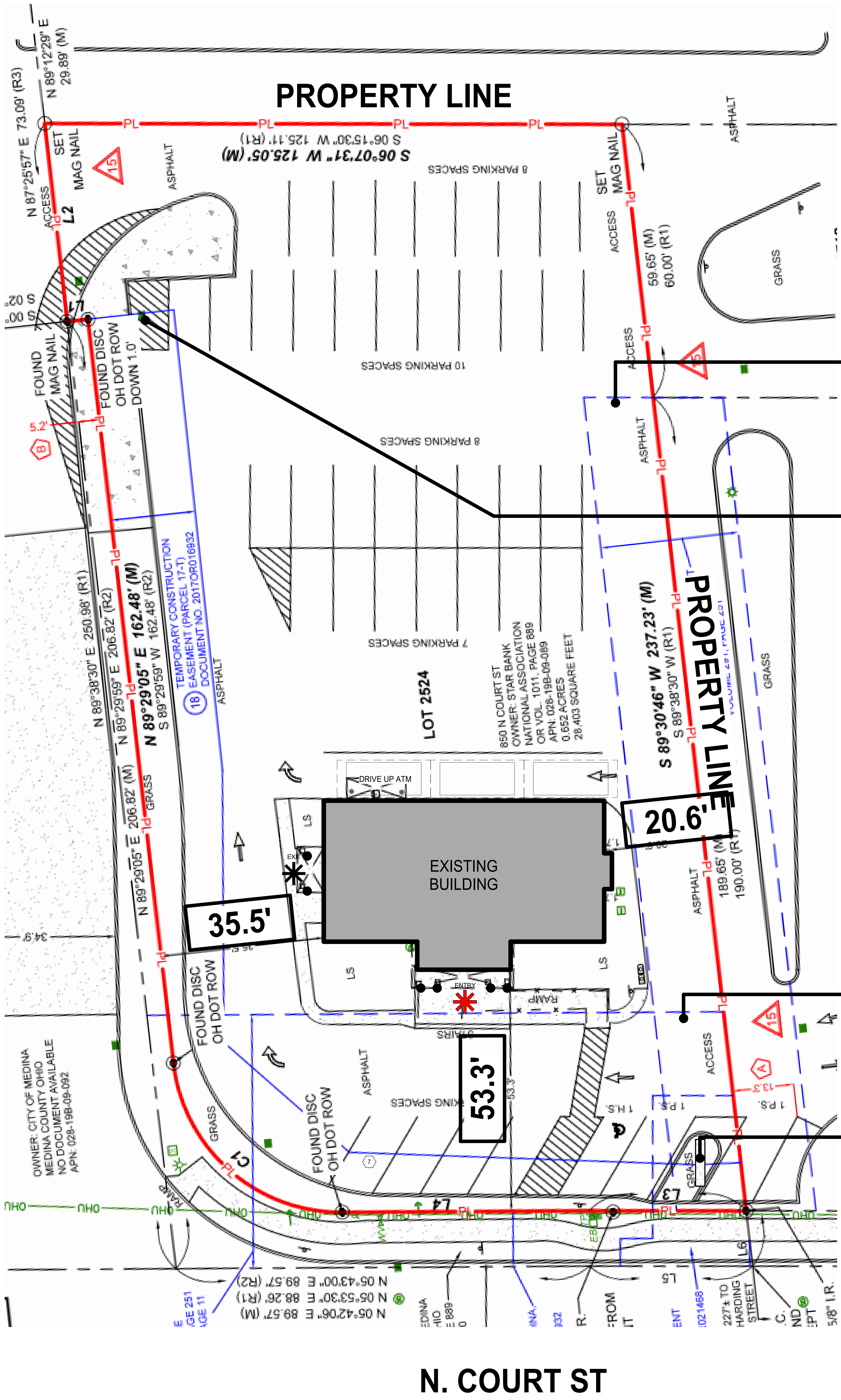
Project scope includes the following:

A complete build-out of the first floor space to accommodate banking functions as well as making a toilet room and break room accessible on the first floor.

The exterior of the building will be provided with a facelift by repairing and maintaining the existing overall footprint and roofline while adding a drive-thru canopy that extends off the back elevations. Street facing improvement include framing over the top of the existing entry to create a departure from the colonial style that the building currently is. The framed-out portions of the building will allow for proper signage placement on the building and will be done with common commercial materials currently used at other Premier Bank branch locations. The main material introduced is a softly corrugated metal panel that will be used on the new features of the building. In addition, the existing red brick will be painted and windows will be replaced.

The rest of the site will largely remain the same with the exception of some restriping to accommodate the drive-thru traffic. The site contains an abundance of parking which allows us to remove one existing row. Stacking for the drive-thru is 3 cars comfortably per lane but with the addition of 3 lanes the stacking is anticipated to be less than if only 2 are provided. In the event the stacking extends past 3 vehicles the stacking would not stop traffic from reaching parking, exiting the site, or allowing the neighboring property to exit their site.





INGRESS /  
EGRESS  
EASEMENT

TRASH  
LOCATION

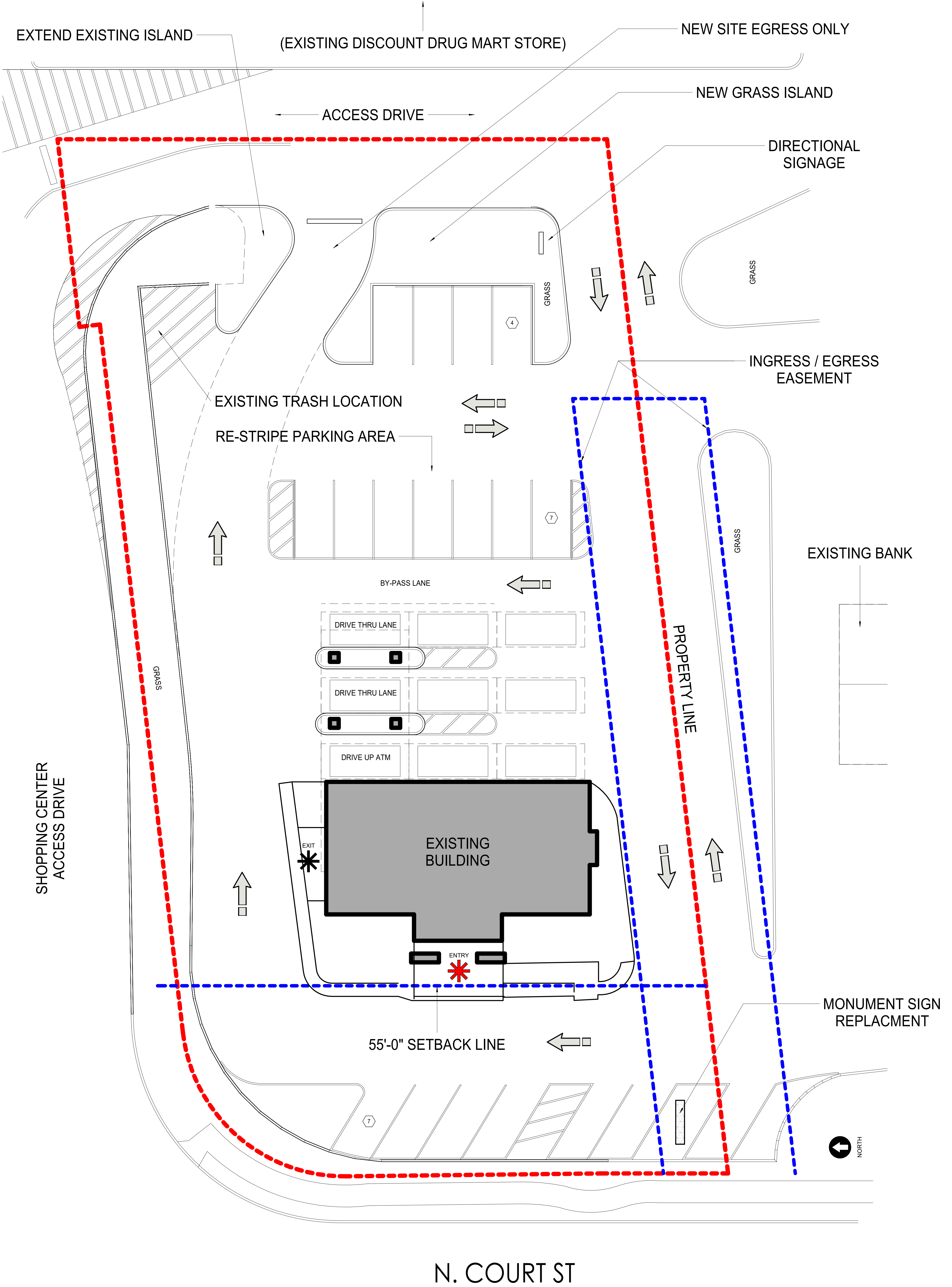
55'-0"  
SETBACK  
LINE

MONUMENT  
SIGN

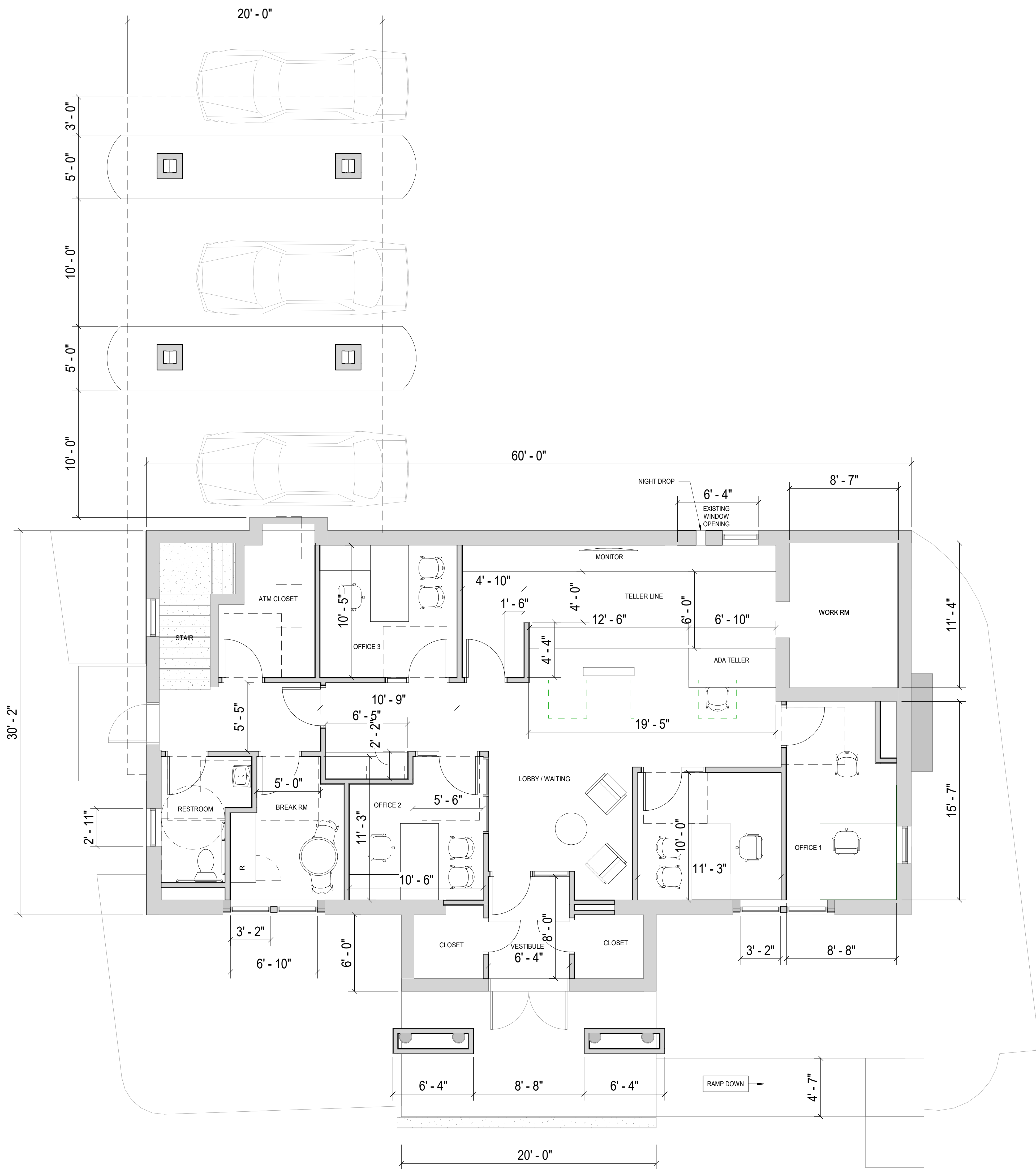
N. COURT ST

1 SITE PLAN - EXISTING  
EXISTING SCALE: 1" = 10'-0"



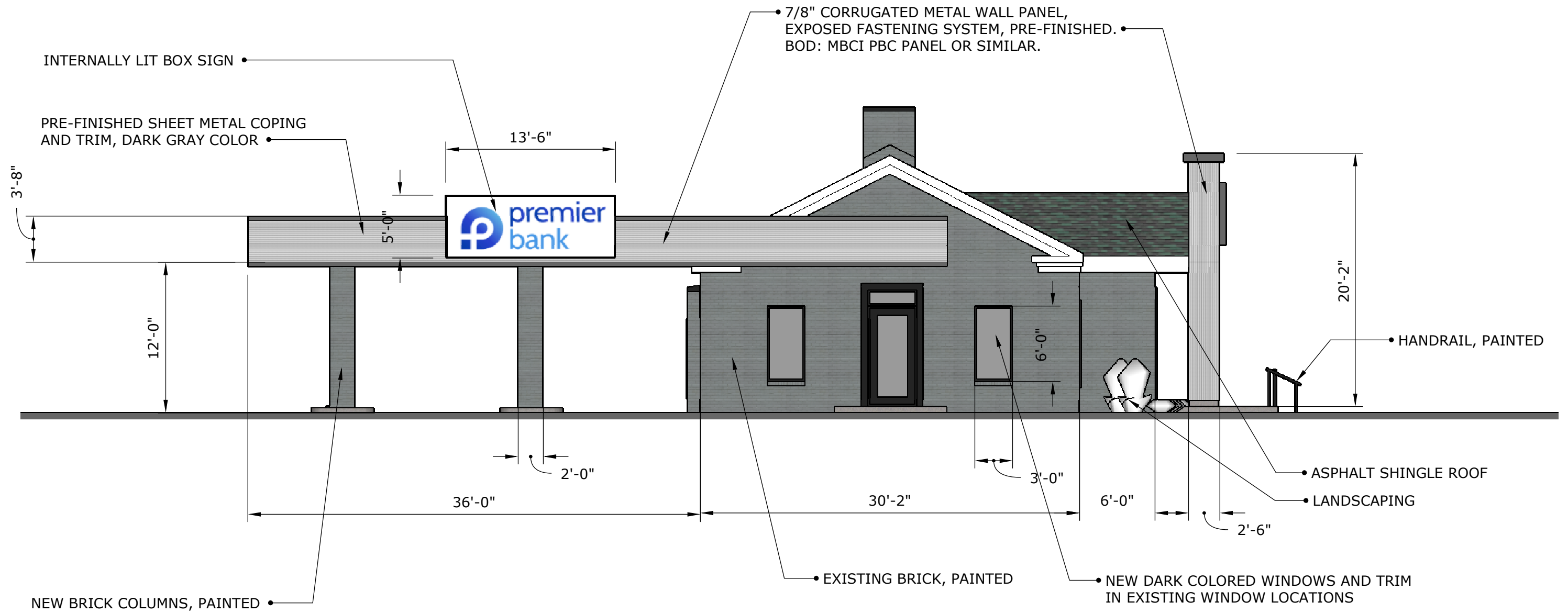


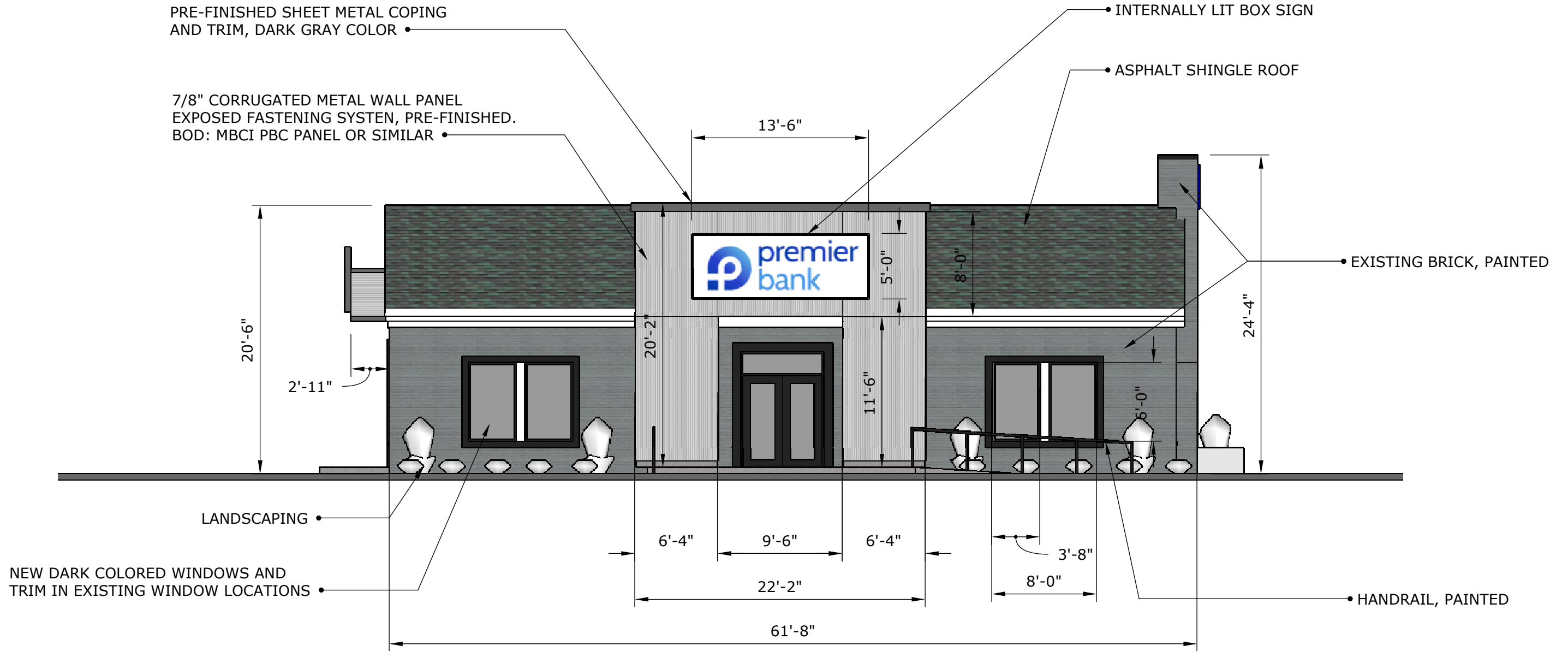
1 SITE PLAN - NEW  
 SCALE: 1" = 10'-0"

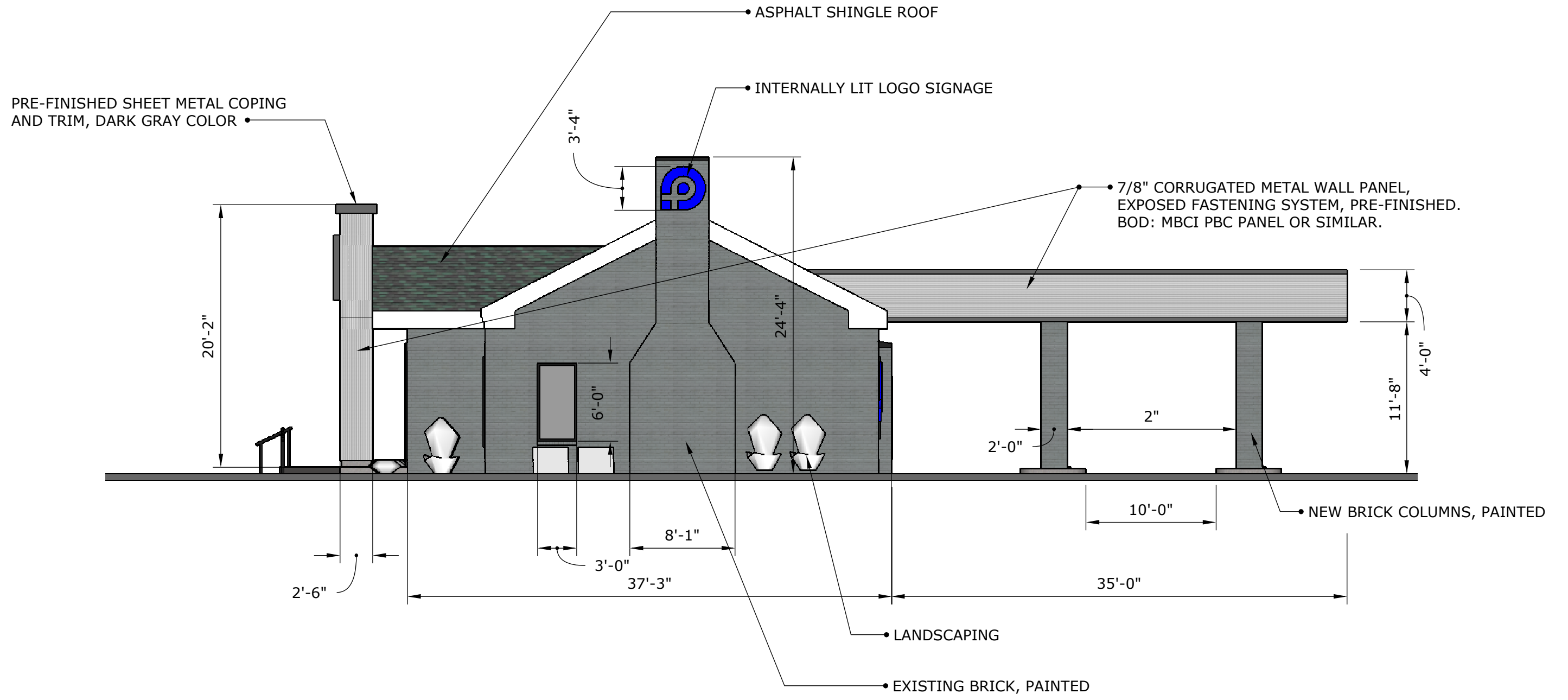


1 FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"









NEW DARK COLORED WINDOWS AND TRIM  
IN EXISTING WINDOW LOCATIONS

ASPHALT SHINGLE ROOF

7/8" CORRUGATED METAL WALL PANEL,  
EXPOSED FASTENING SYSTEM, PRE-FINISHED.  
BOD: MBCI PBC PANEL OR SIMILAR

