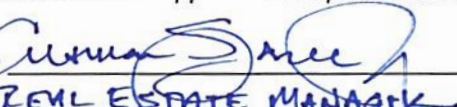




BOARDS & COMMISSIONS APPLICATION

132 North Elmwood Avenue
330-722-9038
www.medinaoh.org

Application Number P23-11

GENERAL	Date of Application <u>05/18/2023</u> Property Location <u>1105 N Court Street, Medina, OH 44256</u> Description of Project <u>Demolition of existing Kmart building and construction of new 160,621 SF Meijer commercial retail building with associated access drives, parking, landscaping and utilities.</u>
CONTACT INFORMATION	Applicant Name <u>Meijer Stores Limited Partnership (Crisman S. Jones)</u> Address <u>2350 Three Mile Road NW</u> City <u>Grand Rapids</u> State <u>MI</u> Zip <u>49544</u> Phone <u>616-735-7992</u> Email <u>Cris.JonesJr@Meijer.com</u> Property Owner Name <u>DEL 570 II, LLC, a New York limited liability company (Benderson Development)</u> Address <u>570 Delaware Avenue</u> City <u>Buffalo</u> State <u>NY</u> Zip <u>14202</u> Phone <u>716-878-9459</u> Email <u>EricRecoon@benderson.com (Eric Recoon)</u>
APPLICATION TYPE	Planning Commission Site Plan <input checked="" type="checkbox"/> Conditional Zoning Certificate <input checked="" type="checkbox"/> Code or Map Amendment <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Conditional Sign (EMC/Shopping Ctr) <input checked="" type="checkbox"/> Cert. of Appr. (TCOV) <input type="checkbox"/> Other <input type="checkbox"/> Historic Preservation Board Certificate of Appropriateness <input type="checkbox"/> Conditional Sign <input type="checkbox"/> Board of Zoning Appeals Variance <input checked="" type="checkbox"/> Appeal <input type="checkbox"/>
APPLICANT SIGNATURE	<i>By signing this application, I hereby certify that:</i> 1) <i>The information contained in this application is true and accurate to the best of my knowledge;</i> 2) <i>I am authorized to make this application as the property owner of record or I have been authorized to make this application by the property owner of record;</i> 3) <i>I assume sole responsibility for correspondence regarding this application; and</i> 4) <i>I am aware that all application requirements must be submitted prior to the formal acceptance of my application.</i> Signature <u></u> Date <u>5/16/23</u> <u>SR. REAL ESTATE MANAGER</u>
OFFICIAL USE	Zoning District <u>C-3</u> Fee (See Fee Sheet) \$ <u>925</u> Meeting Date <u>6-8-23</u> Check Box when Fee Paid <input checked="" type="checkbox"/>

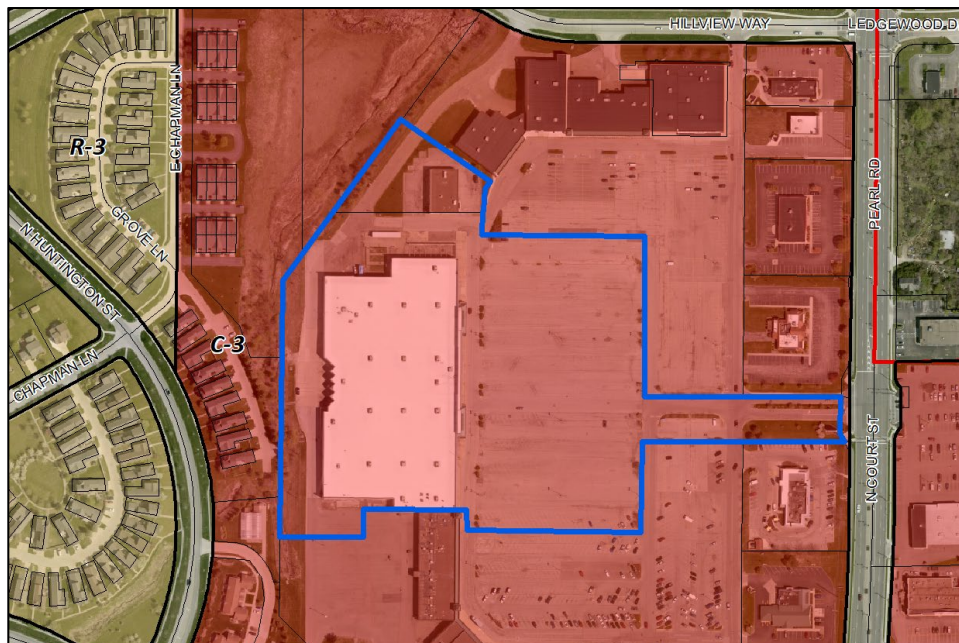
P23-11
Meijer Redevelopment

Property Owner: DEL 570 II LLC & TKMO LLC
 Applicant: Crisman Jones
 Location: 1105 North Court Street
 Zoning: C-3 (General Commercial)
 Request: Site Plan and Conditional Zoning Certificate approval for a retail building larger than 80,000 sq. ft. with a pharmacy drive through and Conditional Sign Permit approval for a Shopping Center Sign

LOCATION AND SURROUNDING USES

The subject site is composed of 14.7 acres located on the west side of North Court Street. Adjacent properties are zoned C-3 and contain the following uses and zoning:

- **North** – Retail
- **East** – Retail and Restaurant
- **South** – Retail
- **West** – Single-Family Residential



BACKGROUND & PROPOSED APPLICATION

The existing site was previously home to the Medina Super Kmart and has been vacant for an extended period of time. The applicant is proposing to demolish the existing 158,827 sq. ft. building on the site and construct a 160,621 sq. ft. Meijer. The proposed Meijer includes a drive through pharmacy and outdoor sales area on the south side of the building and customer pickup area and loading docks on the north side of the building. The site layout remains similar to the existing site with the building located on the west side of the site, parking in the central portion, and access to the north, south, and east.

CONDITIONAL ZONING CERTIFICATE

A Conditional Zoning Certificate is necessary to allow a pharmacy drive through and a retail building larger than 80,000 sq. ft. in the C-3 zoning district.

Drive Through

A pharmacy drive through is proposed on the south side of the building with approximately 8 stacking spaces. The site is located on an arterial road and the drive through is not adjacent to residential areas.

Drive through facilities include several standards found in Section 1155.10, including the following:

- (a) The establishment must be located on an arterial road that is adequately designed to carry the additional traffic generated by the establishment. The City may require the applicant to conduct a traffic impact study by a qualified traffic engineer to determine the adequacy of the roadway. Such study shall be at the applicant's expense.
- (b) A minimum of five (5) stacking spaces per drive-thru lane is recommended.
 - (1) Such waiting areas shall not obstruct off-street parking spaces or internal circulation on site.
 - (2) Waiting spaces shall be situated in such a manner that vehicles using the drive through or drive-in facilities are traveling in a continuous forward motion.
 - (3) A bypass lane is recommended to permit unimpeded circulation around a drive through lane. A bypass lane shall not include parking spaces.
- (c) A solid fence or wall four (4) to six (6) feet in height shall be constructed where any off-street parking area is located in a side or rear yard, adjacent to any residentially zoned parcel of land. An evergreen hedge maintained in good condition may be substituted for the required fence or wall, provided however, that the evergreen hedge provides an opaque screen to prevent the glare of headlights onto adjoining properties and provided that the Planning Director approves such screening.
- (d) Speakers used for taking orders shall be positioned to minimize the sound on adjacent property.

Retail Building Larger than 80,000 sq. ft.

As previously noted, the existing former Super Kmart building is 158,827 sq. ft. in area and the proposed Meijer building is 160,621 sq. ft. in area, which is a 1.3% increase in size from the existing building. There are no specific standards regarding large retail buildings in the C-3 zoning district.

Conditional Zoning Certificate Basis of Determination

The Planning Commission shall establish beyond reasonable doubt that the general standards and the specific standards pertinent to each use indicated herein are satisfied by the completion and operation of the proposed development. The Planning Commission may also impose such additional conditions and safeguards deemed necessary for the general welfare, for the protection of individual property rights and for the insuring that the intent and objectives of this Zoning Ordinance will be observed.

The Planning Commission shall review the particular facts and circumstances of each proposed use in terms of the following standards and shall find adequate evidence showing that such use on the proposed location:

- (1) Will be harmonious with and in accordance with the general objectives or with any specific objectives of the Land Use and Thoroughfare Plan of current adoption;
- (2) Will be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area;
- (3) Will not be hazardous or disturbing to existing or future neighboring uses;

- (4) Will not be detrimental to property in the immediate vicinity or to the community as a whole;
- (5) Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection drainage structures, refuse disposal and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide such service adequately;
- (6) Will be in compliance with State, County and City regulations;
- (7) Will have vehicular approaches to the property which shall be so designed as not to create an interference with traffic or surrounding public streets or roads.

SITE PLAN

Development Standards

The proposed building is located in the C-3 zoning district. The following table indicates the general development standard requirements:

	Required	Proposed
Minimum Lot Frontage	40 ft.	100 ft.
Minimum Front Setback	0 ft.	810 ft.
Minimum Side Setback	0 ft.	75 ft.
Minimum Rear Setback	30 ft.	58 ft.
Maximum Building Height	40 ft.	36 ft.

The project meets the applicable development standards.

Parking, Access, and Circulation

Access and Circulation – The site maintains access to a signalized intersection on North Court Street. Cross access is also maintained to commercial properties to the north, south, and east.

Traffic Impacts – As noted, the site was previously occupied by a large retail user of a similar building size. Therefore, at the request of the City Engineer, the applicant has provided a trip generation comparison between the former Super Kmart and the proposed Meijer. The trip generation comparison illustrates a negligible increase of 4 trip ends in the AM Peak and 7 trip ends in the PM Peak. As traffic will not be substantially increased from the previous user of the site, off-site traffic improvements are not required.

Required Off-Street Spaces – Per Section 1145.04(e), retail uses require a minimum of 1 parking space for every 400 sq. ft., which results in 402 minimum required parking spaces. In order to prevent excessive lot coverage, the minimum number of parking spaces may be exceeded by 20%, or 482 spaces, “unless good cause can be shown by the applicant and approved by the Planning Commission”

The proposed site incorporates 518 total parking spaces, which exceeds the maximum indicated. However, the proposed parking lot reduces the number of parking spaces by over 200 and incorporates significantly more green space than the existing parking lot.

Parking Dimensions – Ninety-degree parking spaces must be 9 ft. in width and 19 ft. in length with a 24 ft. wide drive aisle. The proposed site meets this standard.

Loading Zones – Six loading docks are located on the north side of the building. They are of sufficient size and are screened from properties to the west with a retaining wall.

Landscaping, Screening, and Buffering

Parking Lot Landscaping – Landscape features or other visual barriers are required between parking and the right-of-way. Plans show landscaping between parking and the right-of-way. In addition, interior parking lot landscaping is provided at the required 5 sq. ft. per 100 sq. ft. of parking area.

Trash/Mechanical Areas – A trash compactor, mechanical yard, organix bins, and fire pump house are located on the north side of the building. The applicant has indicated these areas will be screened with slatted chain link fencing matching the color of the building.

Buffering and Screening – Though zoned C-3, single-family residential uses are located to the west of the site. The majority of the western property includes mature landscaping and grade changes that provide a sufficient buffer to the residential uses to the west. To provide additional screening, landscaping has been added to the west of the loading docks and mechanical areas on the north side of the building.

Engineering Department Comments

The City of Medina Engineering Department comments have been *attached* to this staff report and include:

- Maintaining existing connections within the limits of necessary waterline replacements,
- Entering into a Memorandum of Understanding (MOU) with the city pertaining to the ongoing maintenance and repair of the water lines on site, and
- Verifying the existing detention system meets current stormwater quantity and quality requirements with any necessary modifications included with the proposed site redevelopment.

Utilities and Stormwater

The site has access to public water and sanitary sewer service. Stormwater will be reviewed in detail by the City Engineer, though the project will reduce the total impervious surface on the site.

Building Elevations, Lighting, and Signage

Section 1109.04(c) includes design guidelines for Site Plan review. Subsection (16) includes the following requirements applicable to Large Retail Establishments:

- A. Facades greater than 100 feet in horizontal length shall incorporate wall plane projects or recesses having a depth of at least three percent (3%) of the length of the façade and extending at least twenty percent (20%) of the façade. No uninterrupted length of any façade shall exceed 100 horizontal feet. Facades that have no customer entrance are only visible from service areas and are screened from abutting properties and customer parking are exempt from this requirement.
- B. Facades that face a public street shall have arcades, display windows, entry areas, awning or other such features along no less than sixty percent (60%) of their horizontal length.
- C. Each large parking lot must be divided into smaller lots through the incorporation of landscaping and/or pedestrian walkways.

The front elevation of the building incorporates two large glass entry features which project from the building face and include steel awnings. Landscaping has also been incorporated adjacent to the building to soften the appearance of larger wall sections.

However, the front facade has a length of approximately 145 ft. without a projection and incorporates approximately 30% of feature areas. The parking lot includes adequate landscaping area, however, it is not divided into a smaller lot format. The applicant has applied for a variance to Section 1109.04(c) regarding the front facade and parking lot divisions.

Stucco appearance is discouraged unless it is utilized with bands of accent color, recessed or protruding belt courses, wide reveals, or combinations thereof, per Section 1109.04(c)(10). Exterior materials include "Precast Concrete walls with EIFS Formliner" on the majority of the building with "Concrete Formliner" at the entry features. The applicant has indicated that a revised exterior wall design will be provided addressing this concern, however, plans have not been received at this time.

Plans indicate freestanding parking lot lights incorporating a full cut-off fixture and a compliant photometric plan. Lighting height is indicated at 30 ft. Section 1145.09(c)(5) limits lighting height to 25 ft., though the Planning Commission may approve greater heights upon a showing by the applicant that the additional height complies with both of the following standards:

1. The additional height is necessary to efficiently illuminate outdoor areas; and
2. The additional height will have no adverse effect on adjacent properties.

The applicant has indicated that lowering the lights to 25 ft. would add light poles to the parking area and would result in lighting hot spots. The applicant has also noted that the 30 ft. height makes for a more efficient light distribution and existing light poles in the shopping center appear to be taller than 25 ft.

Site Plan Review Standards

The Planning Commission's review and action shall be based on the following Standards per Section 1109.02(c):

- (1) The site plan shows that a proper relationship does exist between thoroughfares, service roads, driveways and parking areas to encourage pedestrian and vehicular traffic safety.
- (2) All the development features including the principal buildings, open spaces, service roads, driveways and parking areas are so located and related as to minimize the possibility of any adverse effects upon adjacent development.
- (3) The site plan includes adequate provision for the screening of parking areas, service areas and active recreation areas from surrounding properties by landscaping and/or ornamental walls or fences. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (4) Grading and surface drainage provisions are reviewed and approved by the City Engineer.
- (5) The design and construction standards of all private streets, driveways and parking areas are to be built following approval of plans by the City Engineer according to construction standards specified in the Codified Ordinances.
- (6) Maximum possible privacy for multi-family dwellings and surrounding residential properties shall be provided through good design and use of proper building materials and landscaping. Visual privacy should be provided through structural screening and landscaping treatment. Auditory privacy in multi-family dwellings should be provided through soundproofing. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (7) The architectural design of buildings should be developed with consideration given to the relationship of adjacent development in terms of building height, mass, texture, materials, line and pattern and character.
- (8) Building location and placement should be developed with consideration given to minimizing removal of trees and change of topography. Any trees to be removed which are planted in a public right-of-way or on municipal property shall be reviewed by the Shade Tree Commission.

- (9) In multi-family developments, television and other antennas shall be centralized.
- (10) On-site circulation shall be designed to make possible adequate fire and police protection.
- (11) Off-street parking facilities shall be provided in accordance with Chapter 1145. In large parking areas, visual relief shall be provided through the use of tree planted and landscaped dividers, islands and walkways. In multi-family developments no parking or service areas shall be permitted between any street and the main building. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (12) Signs shall be provided in accordance with these Codified Ordinances.
- (13) Any trees planted on site shall be on approved list of Shade Tree Commission and planted in accordance with Commission standards.

CONDITIONAL SIGN PERMIT

Section 1147.14(c) allows for a single large freestanding Shopping Center sign in larger commercial developments, which requires review by the Planning Commission. For the size of the subject shopping center, a sign is permitted to be 30 ft. tall and 500 sq. ft. in area. The proposed sign is compliant at 30 ft. tall and 374 sq. ft. in area.

Shopping Center signs must also be setback 50 ft. from property lines and the right-of-way. The proposed sign is setback 5 ft. from the right-of-way and 24 ft. from the south property line. The sign is in a similar location as the existing sign and the applicant has applied for a variance to Section 1147.14(c) regarding the sign setback requirements.

Building signs exceed code requirements, however, they are not subject to Conditional Sign Permit review. A variance regarding building sign requirements will be reviewed by the Board of Zoning Appeals.

COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION

Staff recommends **approval** of application P23-11 for Site Plan, Conditional Zoning Certificate, and Conditional Sign Permit approval as submitted, with the following conditions:

1. Exterior wall design shall be revised to address concerns regarding the considerable use of "Precast Concrete walls with EIFS Formliner".
2. The applicant shall comply with City of Medina Engineering requirements regarding water line connections, a memorandum of understanding for water line maintenance, and stormwater detention as discussed in this staff report,
3. The project shall comply with Planning and Zoning Code Section 1147.14(c) to allow a Shopping Center sign within required setbacks, Section 1109.04(c)(16) regarding design guidelines for large retail establishments, and Section 1145.04(a) regarding drive through stacking spaces or a variance shall be approved by the Board of Zoning Appeals.

Andrew Dutton

From: Patrick Patton
Sent: Tuesday, May 30, 2023 12:27 PM
To: Andrew Dutton
Cc: Nino Piccoli; Andy Bendel; Jake Farley; Fred Himmelreich
Subject: RE: Meijer Site Plan Review
Attachments: Engineering Checklist for Commercial Site Plan.pdf

Andrew-

My comments:

1. Please refer to the attached engineering checklist for site plan approval.
2. It is our understanding that the project will include replacement of some of the existing water line on the site. All existing connections within the water line replacement limits (three total) MUST be maintained.
3. I would recommend that the approval include the requirement that the City and the project owner must enter into a Memorandum of Understanding pertaining to the ongoing maintenance and repair of the water lines on site.
4. The existing development includes a storm water detention system. The applicant will be required to verify that the new development and the existing detention system meet current storm water quantity and storm water quality regulations. Any modifications necessary to meet those current regulations must be included with the project.

Patrick Patton, PE
City Engineer
City of Medina, Ohio

Phone: (330) 721-4721
Email: ppatton@medinaoh.org
Website: www.medinaoh.org

Medina City Hall / 132 N. Elmwood Avenue / Medina, Ohio 44256



Andrew Dutton

From: Kimberly Marshall
Sent: Wednesday, May 31, 2023 9:38 AM
To: Andrew Dutton
Cc: Kimberly Marshall
Subject: RE: Meijer Site Plan Review

Andrew,

As Economic Development Director, I fully support the Meijer Retail project. K-Mart closed in December 2011 and the building has largely been vacant since then with the exception of some temporary seasonal usage. The closing of K-Mart has severely impacted the remaining tenants of the plaza with many stores leaving or reductions in their lease due to losing the anchor tenant. The building has become an attractive nuisance and been a drain on city services for code enforcement and building code violations as well as a safety impediment. The N. Court corridor has seen tremendous redevelopment and new businesses moving in as a result of the two year infrastructure road widening, safety enhancement and aesthetic improvement project. Investment in new businesses and redevelopment is at \$22MM since 2017. Meijer's will be a welcome addition to Medina with a tear down and brand new building constructed in it's place. This redevelopment will result in new tenants coming into the plaza due to this new anchor tenant. The Meijer Retail project along with anticipated new tenants in remaining portion of the plaza will result in new jobs and payroll for the City of Medina.

Thank you,

Kimberly

Kimberly Marshall
Economic Development Director
City of Medina
132 N Elmwood Ave
Medina, OH 44256
330-764-3319



Andrew Dutton

From: Mark Crumley
Sent: Tuesday, May 30, 2023 10:04 AM
To: Andrew Dutton; Sarah Tome; Larry Walters; Medina Forestry; Patrick Patton; Edward Kinney; Sharon Garrison; Nino Piccoli; Jansen Wehrley; Daniel Gladish; Kimberly Marshall
Subject: RE: Meijer Site Plan Review

Andrew

The Fire Department has no comments at this time.

Thanks

Mark Crumley, Asst. Chief
Medina Fire Department
300 W. Reagan Pkwy.
Medina, Ohio 44256

Office: 330-723-5704





May 18, 2023

Andrew Dutton
Community Development Director
City of Medina
132 North Elmwood Avenue
Medina, OH 44256

RE: Meijer – Project Narrative, Medina, Ohio

Dear Mr. Dutton:

Please accept this project narrative for the proposed 160,621 square foot Meijer Supercenter to be located at 1105 North Court Street.

Meijer is a family-owned company headquartered in Grand Rapids, Michigan and founded in 1934. Meijer originated as a grocery store and expanded into its first supercenter format in 1962. Currently, Meijer owns 501 grocery stores, supercenters, and convenience stores concentrated in the Midwest including, OH, IN, KY, MI, IL and WI.

The Meijer redevelopment is intended to replace the vacant Kmart located in the existing Medwick Marketplace. As part of this redevelopment Meijer intends to demolish the Kmart, the existing former auto parts building, and reconstruct a large portion of the current parking field. Also, as part of this project Meijer intends to remove and reconstruct a new shared multitenant sign located at the current shopping center’s main entrance.

The proposed Meijer development will offer grocery sales, including bakery, deli, floral, meats, etc. along with pharmacy and general merchandise sales. The development will also offer additional services consisting of a garden center and a dedicated online order pick up area. The online pick-up area is located at the north end of the store and affords customers the opportunity to drive into a dedicated parking area. Upon customer arrival, a store associate will be notified and proceed to deliver and load the grocery order. The pharmacy drive up area is located at the south end of the building, just in front of the garden center. The pharmacy drive up allows customers to circulate within their vehicles in a clockwise movement through the queue. Customers can pick up their prescription by utilizing a teller window and drawer system eliminating the need for them to park, enter the store or leave their vehicle.

Woolpert, Inc.
4454 Idea Center Boulevard
Dayton, OH 45430-1500
937.461.5660

May 18, 2023

As part of this submittal Woolpert has prepared a traffic trip comparison memo for the proposed Meijer project. This memo indicates that the proposed Meijer generates an estimated traffic volume similar to the traffic volume that was generated by an active Kmart as both retailers are of similar use and size. Considering the estimated traffic for Meijer is similar to Kmart, we believe the North Court Street roadway infrastructure improvements, as completed by the city, has adequate capacity to support the proposed Meijer.

The proposed utility infrastructure for this site includes connections to the existing city water and county sewer systems. From these connection points new infrastructure will be constructed throughout the site to serve the various utility needs for the proposed Meijer. All other utilities required such as electric, gas, data, etc. will be connected to existing infrastructure located on the property. An enhancement of the existing on-site underground storm water collection system will be performed as part of the construction process. This collection system will be routed to the existing above ground detention facility located northwest of the site. Storm water quality improvements will also be constructed through a combination of underground detention and a reduction in the impervious area, by additional green space. This stormwater management system will be designed, constructed, and maintained in compliance with applicable City of Medina and State of Ohio requirements.

We believe that the proposed investment to redevelop Medwick Marketplace conforms with the character of the existing commercial corridor and adheres to the buffering requirements for the surrounding residents. A new Meijer and the associated improvements will significantly improve the commercial corridor and be a valuable addition for the community. Thank you for reviewing our submittal package and we appreciate staff's support of our Proposed Development Plan.

Should you have any questions or need any additional information regarding this submittal, please contact me at 937-531-1691.

Sincerely,

Woolpert, Inc.



Brian L. Smallwood
Project Manager
c/o Meijer Stores Limited Partnership

Cc: Cris Jones, Meijer Real Estate
Kayla Doshier, Meijer Real Estate

Woolpert, Inc.
4454 Idea Center Boulevard
Dayton, OH 45430-1500
937.461.5660




May 18, 2023

RE: Meijer – Anticipated Conditional Use and Variance List

Please see below for list of anticipated conditional uses and variances.

	Required/Allowed	Requesting
Main store	Conditional Use Retail larger than 80,000 sf	Conditional Use 160,621 sf
Gas Station	Conditional Use	N/A
24 hr. Operation	N/A	Yes
Liquor sales	Yes	Apply for liquor license
Pharmacy Drive Thru	Conditional Use	Conditional Use
Outdoor garden center	Plant greenhouse allowed	Yes
Outdoor display/sales	No	Yes (Variance)
Parking Count	402 (1 space/400 sf of building)	
Parking Spaces	9' x 19'	9.5' x 19'
Site Signage	1 Free Standing 30' max height 500 sf max area 50' setback	1 Free Standing 30' 374 sf 5' (current location/Variance)
Building Signage	1 Wall Sign (470 sf) (1sf/1ft of building frontage) Projecting signs are not allowed	1 Wall Sign (801 sf) 8 Wayfinding Wall Signs (315 sf) (Variance) 2 projecting signs (32 sf) (Variance)
Building Height	40'	36'
Building Materials		



WOOLPERT

Memo

To: Patrick Patton, PE, City Engineer for Medina, OH

From: Keegan Anderson, PE

Date: May 15, 2023

Subject: Proposed Meijer Development, Medina Trip Generation Comparison

Introduction

This memo documents the trip generation comparison of the existing Kmart with the proposed redevelopment on the northwest corner of Pearl Road and North Reagan Parkway, in Medina, Ohio. The existing site consists of a one-story 158,827 square foot brick KMart Supercenter with a grocery section included.

Trip Generation

The proposed site is planned to consist of the same one-story 160,621 square foot area of retail space. The *Institute of Transportation Engineers (ITE) Trip Generation Manual, 11th edition* was used to calculate the anticipated trips generated from the existing land uses and the proposed redevelopment. Land use code 813 Free-Standing Discount Superstore provided a reasonable trip generation for the proposed floor area. The net increase/decrease of trips are shown in the table below.

Trip Generation Comparison

ITE Trip Generation		Unit	Weekday Trip Ends			
ITE Code	Description		AM Peak (In/Out)		PM Peak (In/Out)	
Proposed Development						
813	Free-Standing Discount Superstore (Meijer)	160,621 SF	167	132	341	354
Total Trips (Proposed Development)			299		695	
Existing Development						
813	Free-Standing Discount Superstore (KMart)	158,827 SF	165	130	337	351
Total Trips (Existing Development)			295		688	
Trip Increase (+) or Decrease (-)			4		7	

Conclusion

The trip generation comparison shows a net increase of 4 trips in the AM peak and a net increase of 7 trips in the PM peak period. The industry standard threshold for requiring a traffic impact study for a proposed development is the generation of 100 additional trips within a peak hour. The proposed development is not anticipated to generate over 100 new trips in a peak hour so therefore, the existing infrastructure in place is assumed to be sufficient and no traffic impact study should be required.



MEIJER STORE MED
1105 NORTH COURT STREET
MEDINA, MEDINA COUNTY, OHIO 44256

SITE PLAN SUBMITTAL
ISSUE DATE: 05/18/2023
PROJECT NUMBER: 10017851

±14.7 ACRES LOCATED IN A PART OF CITY LOT 5760 AND THE WHOLE OF CITY LOT NO. 5678 AND ALSO BEING WITHIN TOWNSHIP 3 NORTH, RANGE 14 WEST OF THE CONNECTICUT WESTERN RESERVE



4454 Idea Center Boulevard
Dayton, OH 45430
937.461.5660



2929 WALKER AVENUE
GRAND RAPIDS, MICHIGAN 49544
(616) 453-6711

CIVIL DRAWING INDEX

CURRENT DATE	SHEET #	SHEET NAME
05/18/23	C-001	COVER SHEET
05/18/23	C-100	EXISTING CONDITIONS - DEMOLITION PLAN
05/18/23	C-200	SITE LAYOUT - PAVEMENT PLAN
05/18/23	C-300	SITE GRADING - DRAINAGE PLAN
05/18/23	C-400	UTILITY PLAN
05/18/23	C-401	UTILITY PLAN
05/18/23	C-500	TRAFFIC CONTROL SIGNAGE - STRIPING PLAN
05/18/23	C-501	EXTERIOR SIGNAGE DETAILS
05/18/23	C-600	LANDSCAPE PLAN
05/18/23	C-601	LANDSCAPE DETAILS
05/18/23	C-801	SITE PHOTOMETRIC PLAN
05/18/23	C-802	SITE ELECTRICAL DETAILS

GENERAL NOTES

- CONDUCT SITE CLEARING OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. STREETS AND ROADWAYS SHALL BE THOROUGHLY CLEANED AND/OR SWEEPED ON A DAILY BASIS OR MORE FREQUENTLY AS REQUIRED. RESTORE DAMAGED IMPROVEMENTS TO ORIGINAL CONDITION AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
 - PROVIDE DUST CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES.
 - ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH SPECIFICATIONS.
 - UNLESS SPECIFIED OTHERWISE, ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH MEIJER STANDARD SPECIFICATIONS, THE STATE DEPARTMENT OF ENVIRONMENTAL QUALITY STANDARDS, DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND/OR THE APPROPRIATE LOCAL AUTHORITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES, AND LICENSE FEES, UNLESS NOTED OTHERWISE.
 - RELOCATION OF ANY UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY. OBTAIN WRITTEN APPROVAL FROM THE ENGINEER BEFORE ANY UTILITY RELOCATION.
 - ELECTRONIC FILES IN DWG FORMAT WILL BE SUPPLIED TO THE CONSTRUCTION MANAGER FOR LAYOUT AND GRADING.
 - ELECTRONIC FILE USE TERMS AND CONDITIONS:
 - RECIPIENT ACKNOWLEDGES THAT ANY USE OF THE TRANSFERRED DATA IS FOR INFORMATION ONLY AND NOT GUARANTEED OR WARRANTED BY MEIJER OR ITS CONSULTANTS. USE OF TRANSFERRED DATA BY THE RECIPIENT SHALL BE AT RECIPIENT'S SOLE RISK. RECIPIENT ACKNOWLEDGES THAT THE AUTOMATED CONVERSION OF INFORMATION AND DATA FROM THE ORIGINAL FORMAT AND SYSTEM TO AN ALTERNATE FORMAT OR SYSTEM CAN NOT BE ACCOMPLISHED WITHOUT THE INTRODUCTION OF HEXADECIMAL ANOMALIES, AND ERRORS. RECIPIENT FURTHER ACKNOWLEDGES THAT THE ELECTRONIC DATA MAY NOT BE FULLY COMPATIBLE WITH RECIPIENT'S COMPUTER SYSTEM AND NEITHER MEIJER NOR ITS CONSULTANTS MAKE NO REPRESENTATIONS REGARDING SUCH COMPATIBILITY.
 - ACCORDINGLY, WITH RESPECT TO THE CONVERSION AND USE OF SUCH ELECTRONIC DATA, RECIPIENT AGREES TO ASSUME ALL RISKS ASSOCIATED THEREWITH, AND TO THE FULLEST EXTENT PERMITTED BY LAW, TO HOLD HARMLESS AND INDEMNIFY MEIJER AND THEIR CONSULTANTS FROM AND AGAINST ALL CLAIMS, LIABILITIES, LOSSES, DAMAGES, AND COSTS, INCLUDING BUT NOT LIMITED TO ATTORNEY'S FEES AND COSTS, WHETHER OR NOT SUIT HAS BEEN FILED, ARISING OUT OF, OR IN ANY WAY CONNECTED WITH THE USE, MODIFICATION, MISINTERPRETATION, MISUSE, OR REUSE BY RECIPIENT OR OTHERS OF THE ELECTRONIC DATA WHICH IS PROVIDED BY MEIJER OR ITS CONSULTANTS UNDER THESE TERMS AND CONDITIONS.
 - THESE TERMS AND CONDITIONS SHALL BE BINDING UPON THE SUCCESSORS AND ASSIGNS OF THE PARTIES.
- UPON ACCEPTANCE OF THE ELECTRONIC DATA TRANSMISSION, RECIPIENT HEREBY AGREES TO THE FOREGOING TERMS AND CONDITIONS. IF RECIPIENT DOES NOT AGREE TO THE FOREGOING TERMS AND CONDITIONS, MEIJER AND ITS CONSULTANTS DO NOT AUTHORIZE THE USE OF THE TRANSMITTED DATA, AND RECIPIENT SHALL DESTROY THE TRANSMITTED DATA AND NOTIFY MEIJER OR ITS CONSULTANTS OF THE SAME BY PROVIDING WRITTEN NOTICE WITHIN ONE DAY OF TRANSMISSION. FAILURE TO PROVIDE SUCH NOTICE SHALL ACT AS WAIVER AND RECIPIENT SHALL BE BOUND TO THE FOREGOING TERMS AND CONDITIONS.

LOCAL UTILITY LOCATING AGENCY

ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS, AND HOLIDAYS) AND CALL LOCAL UTILITY LOCATING AGENCY AT 811.

EXISTING UTILITY LOCATIONS SHOWN SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPUTATIONS.

SURVEY

EXISTING TOPOGRAPHY IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY WOOLPERT, IN MEDINA, OHIO, COMPLETED ON APRIL 7, 2023.

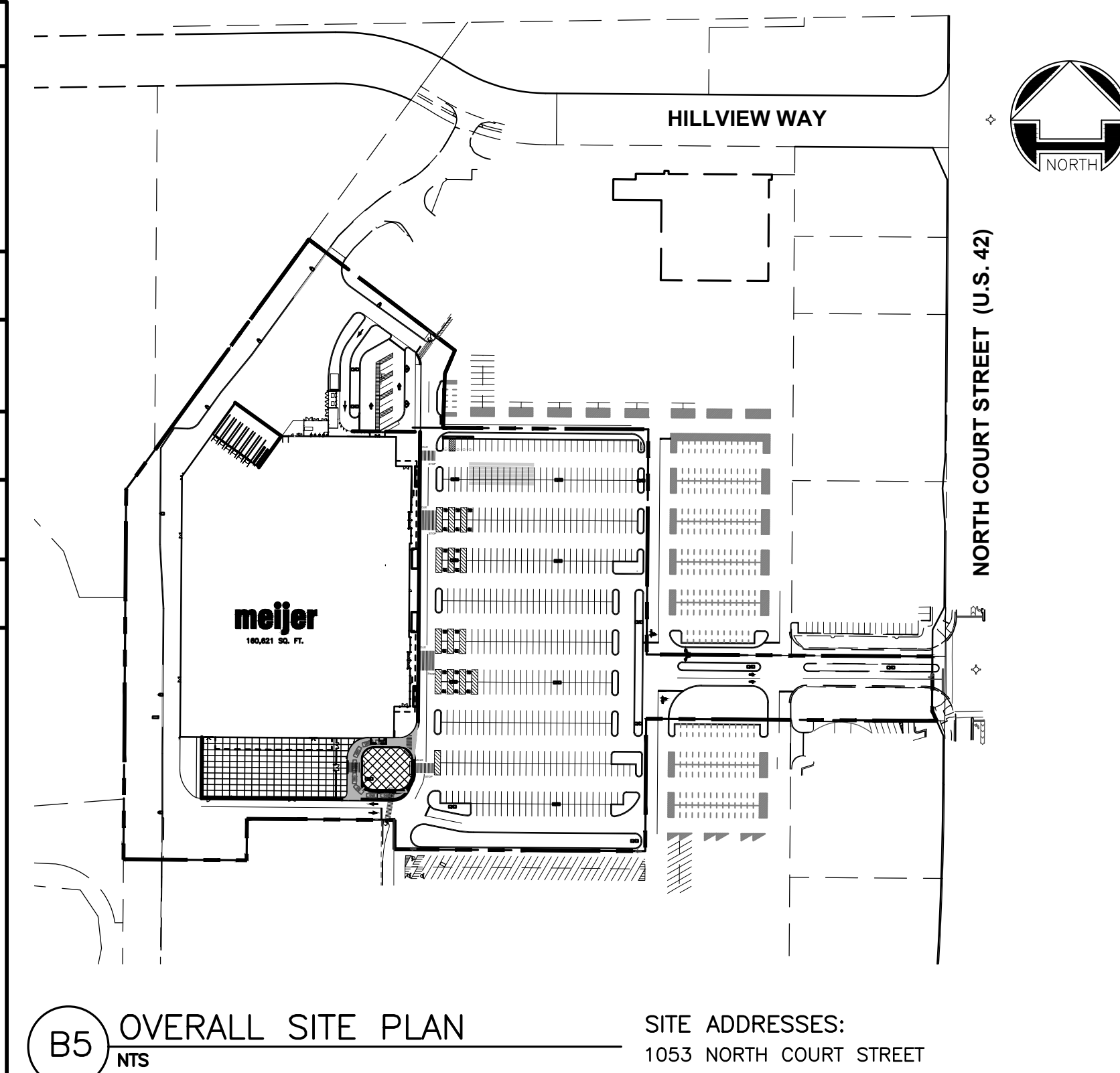
GEOTECHNICAL

GEOTECHNICAL ASSESSMENT CURRENTLY UNDERWAY.

SHEET KEYNOTE INSTRUCTIONS

SHEET KEYNOTES ARE NOTED WITHIN THE GRAPHIC AREA OF THE DRAWING. THESE ARE REPRESENTED BY A NUMBER SURROUNDED BY A HEXAGON, WITH OR WITHOUT A LEADER. A LEGEND ON THE RIGHT SIDE OF THE PAGE LISTS THE NOTES IN NUMERICAL ORDER.

EXAMPLE: 1. ALIGN NEW CONSTRUCTION WITH THE FACE OF EXISTING CONSTRUCTION.



SYMBOL LEGEND

	EXISTING MAJOR CONTOUR		8" SAN SANITARY SEWER & MANHOLE
	EXISTING MINOR CONTOUR		WYE & LEAD
	NEW MINOR CONTOUR		RISER & LEAD
	NEW MAJOR CONTOUR		STANDARD SEWER CLEANOUT
	CENTER OF DITCH		12" SD STORM SEWER & MANHOLE
	LOT LINE (AS PLATTED)		CATCH BASIN WITH EROSION CONTROL
	R.O.W. LINE		UNDERDRAIN
	SECTION LINE		CONC DIA (E)
	FENCE		E.I.F.S.
	GRAVEL SURFACE		EL. ELEV
	PAVED SURFACE		ES
	EXISTING CURB & GUTTER		EQ
	PROPOSED CURB & GUTTER		FH
	TURN DOWN CONCRETE SLAB		FF
	SIGN		FSQ
	SITE LIGHT POLES		GRD
	BENCH MARK		GP
	SECTION CORNER		GPD
	EASEMENT LINE		GPM
	PROPOSED ELEVATION		GV&BOX
	PROPOSED PAVEMENT MARKING (PAINTING)		HC
	PROPOSED BARRIER FREE PARKING		HEX
			UE
			UT
			CONC SLAB
			HEAVY DUTY ASPHALT
			LIGHT DUTY ASPHALT
			MATCH LINE

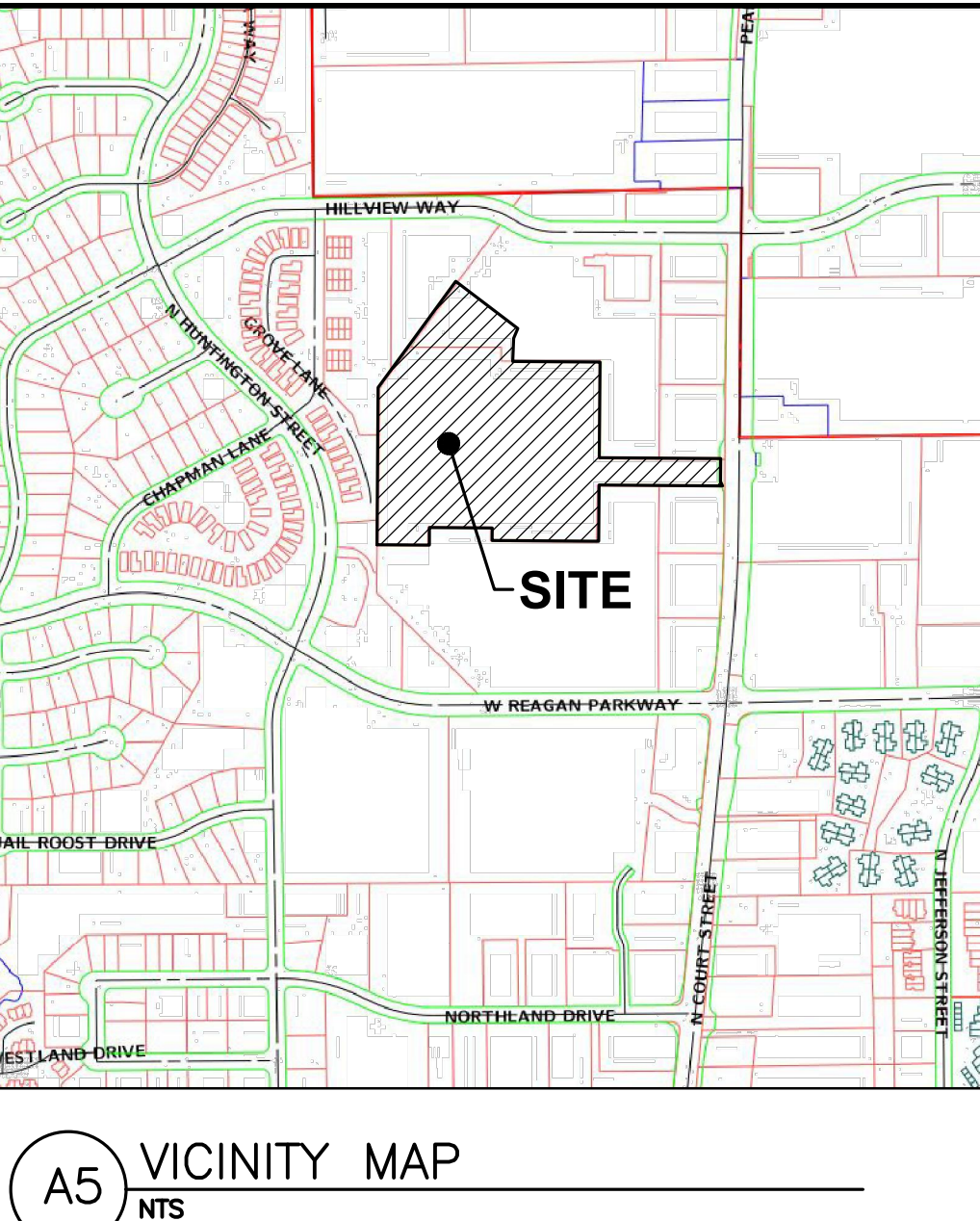
ABBREVIATIONS

A	AREA	MAT'L	MATERIAL
ALT	ALTERNATE	MAX	MAXIMUM
AMP	AMPERE	MECH	MECHANICAL
ARCH	ARCHITECTURAL	MIN	MINIMUM
ASTM	AMERICAN SOCIETY FOR TESTING & MATERIALS	MH	MANHOLE
B/C	BACK OF CURB	(N)	NORTH
BIT	BITUMINOUS PAVEMENT	OC	ON CENTER
BM	BENCH MARK	OSHA	OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION
CONC	CONCRETE	PC	POLYETHYLENE
DIAM	DIAMETER	PE	PHASE
(E)	EAST	PH	POUNDS PER SQUARE INCH
E.I.F.S.	EXTERIOR INSULATION FINISHING SYSTEM	PSI	POINT OF TANGENCY
EL. ELEV	ELEVATION	PVC	POLYVINYL CHLORIDE
EQ	EQUIVALENT	PVMT	PAVEMENT
ES	END SECTION	R	RADIUS
ETC	ETCETERA	RCP	REINFORCED CONCRETE PIPE
FH	FIRE HYDRANT	RE	REFERENCE
FF	FINISHED FLOOR	REQ'D	REQUIRED
FSQ	FOOT SQUARE	ROW	RIGHT-OF-WAY
GRD	GROUND	RW	RETAINING WALL
GNP	GUTTER PAN	(N)	NORTH
GPD	GALLONS PER DAY	SAN	SANITARY SEWER
GPM	GALLONS PER MINUTE	SB	SOIL BORING
GV&BOX	GATE VALVE AND BOX	SF, SQ.FT.	SQUARE FEET
HC	HIGH CAPACITY	SQ	SQUARE
HEX	HEXAGON	STIM	STORM SEWER
IE	INVERT ELEVATION	STRUC	STRUCTURE
KVA	KILOVOLT AMPERE	TC	TOP OF CURB
LBS	POUNDS	TEL	TELEPHONE
LD	LIGHT DUTY	TP	TOP OF PAVEMENT
LED	LIGHT EMITTING DIODE	TRNF	TRANSFORMER
LF	LINEAR FEET	TS	TOP OF SLAB
LG	LARGE	TW	TOP OF WALL
MANUF	MANUFACTURE	TYP	TYPICAL
		UC	UTILITY CROSSING
		UD	UNDER DRAIN
		W	WIRE
		(W)	WEST
		WC	WATER COLUMN
		WTR	WATER
		WWF	WELDED WIRE FABRIC

AGENCIES

ZONING CITY OF MEDINA COMMUNITY DEVELOPMENT DEPARTMENT 132 N. ELMWOOD AVE. MEDINA, OH 44256 ANDREW DUTTON ADUTTON@MEDINA.OH.GOV (330) 722-9023	ELECTRIC FIRST ENERGY-OHIO EDISON 341 WHITE POND DRIVE AKRON, OH 44320 EMILY GROSS EGROSS@FIRSTENERGYCORP.COM (330) 436-1331
SANITARY MEDINA COUNTY SANITARY ENGINEERS 791 W. SMITH ROAD MEDINA, OH 44256 J.MARTIN@MEDINACO.OH.GOV (330) 764-8328	GAS COLUMBIA GAS 2901 E. MANHATTAN BLVD TOLEDO, OH 43611 JAMIE BRIEHL JBRIEHL@GASOURCE.COM (419) 539-6049
WATER CITY OF MEDINA WATER DEPARTMENT 132 N. ELMWOOD AVE MEDINA, OH 44256 NINO PICCOLI NPICCOLI@MEDINA.OH.GOV (330) 722-9082	TELEPHONE & INTERNET FRONTIER 921 STEUBENVILLE AVE. CAMBRIDGE, OH 43725 (888) 997-1062
STORMWATER CITY OF MEDINA ENGINEERING DEPARTMENT 132 N. ELMWOOD AVE MEDINA, OH 44256 PATRICK PATTON, CITY ENGINEER PPATTON@MEDINA.OH.GOV (330) 721-4721	FIRE CITY OF MEDINA FIRE DEPARTMENT CHIEF LARRY WALTERS LWALTERS@MEDINA.OH.GOV (330) 725-1772
	POLICE CITY OF MEDINA POLICE DEPARTMENT LIEUTENANT SCOTT MARCUM SMARCUM@MEDINA.OH.GOV (330) 725-7777

VICINITY MAP



DEVELOPER:

MEIJER STORES LIMITED PARTNERSHIP
MICHAEL FLOCKINGER, VICE PRESIDENT - REAL ESTATE & STORE DEVELOPMENT
2350 THREE MILE ROAD
GRAND RAPIDS, MI 49544
(616) 453-6711

OWNER:

DEL 570 II, LLC
ERIC RECOON, VICE PRESIDENT, DEVELOPMENT AND LEASING
570 DELAWARE AVENUE
BUFFALO, NY 14202
(716) 878-9459

ENGINEER:

WOOLPERT INC.
BRIAN L. SMALLWOOD, P.E.
4454 IDEA CENTER BLVD
DAYTON, OH 45430
(937) 531-1691

REV.	DATE	DESCRIPTION

MEIJER STORE MED
1105 N COURT STREET
MEDINA, OHIO 44256

COVER SHEET

ISSUED FOR:	
PERMIT	MM/DD/YY
BID	MM/DD/YY
CONSTRUCTION	MM/DD/YY

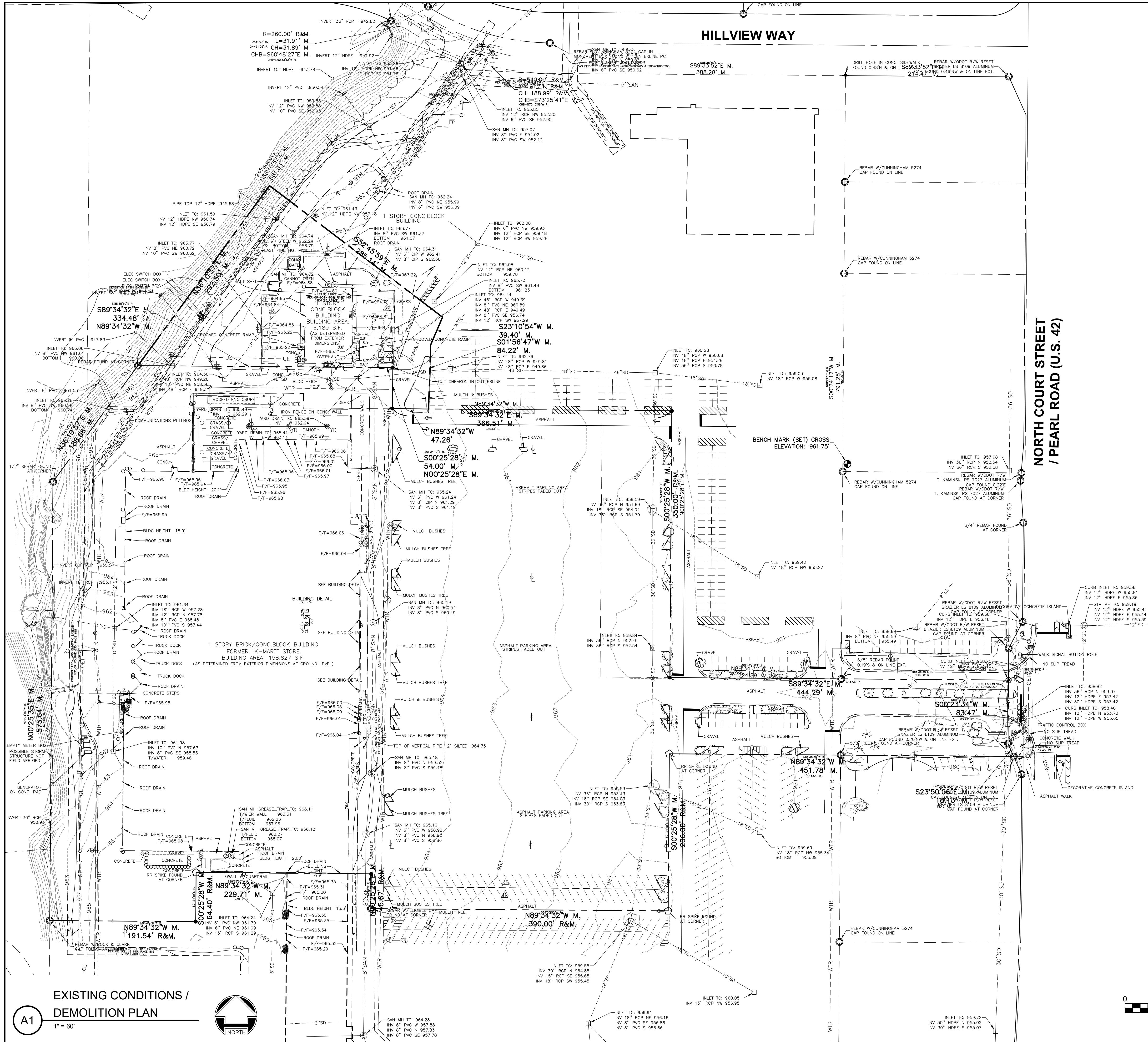
PROJECT MANAGER	DESIGNER
BLS	JMR

JOB NO.
10017851

C-001



Images: Meijer MED - Additional Survey; Topo Aerial; JPB; Yrfe; 10017851-x.dwg; 10017851-tblk.dwg
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EXISTING LEGEND

- 901 --- EXISTING 1' CONTOUR
- 900 --- EXISTING 5' CONTOUR
- SD --- STORM SEWER
- SAN --- SANITARY SEWER
- WTR --- WATER LINE
- G --- GAS LINE
- OE --- OVERHEAD ELECTRIC
- OETC --- OVERHEAD ELECTRIC, TELEPHONE AND CABLE
- FENCE --- FENCE
- WOOD STOCKADE FENCE --- WOOD STOCKADE FENCE
- TREE LINE --- TREE LINE
- CATCH BASIN
- CURB INLET
- STORM MANHOLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- SPRINKLER CONTROL VALVE
- GAS REGULATOR
- GAS VALVE
- ELECTRIC METER
- POWER POLE
- TELEPHONE/POWER/CABLE POLE
- LIGHT POLE
- GUY POLE
- GUY WIRE
- SIGN
- DECIDUOUS TREE
- CONIFEROUS TREE
- BENCHMARK
- IRON PIN FOUND
- IRON PIPE FOUND

WOOLPERT
 ARCHITECTURE | ENGINEERING | GEOGRAPHICAL
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 Dayton, OH 45430
 937.461.5660

meijer
 2929 WALKER AVENUE
 GRAND RAPIDS, MICHIGAN 49544
 (616) 453-6711

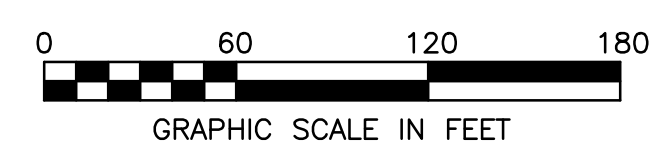
REV.	DATE	DESCRIPTION

MEIJER STORE MED
 1105 N COURT STREET
 MEDINA, OHIO 44256

EXISTING CONDITIONS / DEMOLITION PLAN

ISSUED FOR:	
PERMIT	MM/DDYY
BID	MM/DDYY
CONSTRUCTION	
MM/DDYY	MM/DDYY
PROJECT MANAGER	DESIGNER
BLS	JMR
JOB NO.	
10017851	
C-100	

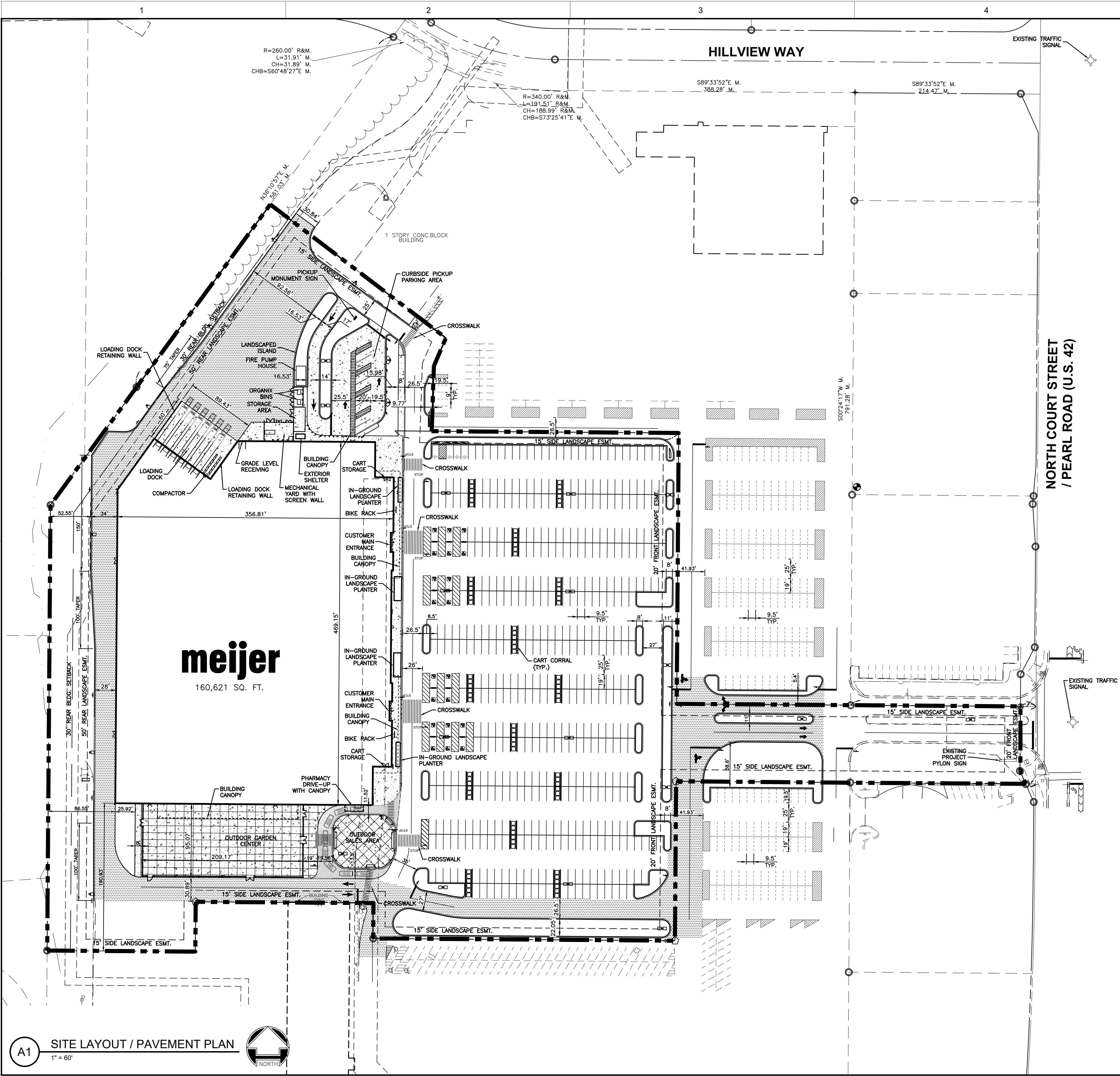
BENCHMARK:
 THE BASIS OF ELEVATIONS HEREON IS NAVD 88 PER OBSERVATIONS OF SELECTED STATIONS IN THE NATIONAL GEODETIC SURVEY CONTINUOUSLY OPERATING REFERENCE STATION (NGS CORS) NETWORK. CROSS ON THE EAST BONNET BOLT OF FIRE HYDRANT - SEE DRAWING FOR LOCATION.
 ELEVATION = 961.75'



Ohio Utilities Protection Service
Call 811
 before you dig

EXISTING CONDITIONS / DEMOLITION PLAN
 1" = 60'
 NORTH

Images: Meijer MED - Additional Survey.jpg; Topo Aerial.jpg; Xrefs: 10017851-x.dwg; 10017851-tbk.dwg; 10017851-p.dwg; 10017851-sit-notes.dwg
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GENERAL NOTES

- NO DIMENSION MAY BE SCALED. REFER UNCLER ITEMS TO THE ENGINEER FOR INTERPRETATION.
- DIMENSIONS AND/OR COORDINATES ARE TO BACK OF CURB, FACE OF BUILDING (FACE OF PRECAST), EDGE OF PAVEMENT OR CENTER OF STRUCTURE OR SIGN. VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
- BUILDING SLABS, UNDERBED THICKNESS AND LOCATIONS ARE SHOWN FOR REFERENCE. VERIFY WITH STRUCTURAL DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING TO ACCOMPLISH ALL WORK INDICATED ON PLANS AND PERFORM REQUIRED COMPACTION OPERATIONS.
- PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS AND FOR PUBLIC SAFETY AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.
- NO EQUIPMENT OR MATERIAL STORAGE IS PERMITTED IN THE RIGHT-OF-WAY.
- WORK SHALL CONFORM TO THE REQUIREMENTS OF MEIJER STANDARD SPECIFICATIONS, GOVERNING AGENCIES HAVING JURISDICTION. GRADING, PAVING AND MATERIALS SHALL COMPLY WITH THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AS WELL AS PROJECT SPECIFICATIONS AND DRAWINGS. IN CASE OF DISCREPANCIES BETWEEN REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.
- EXTERIOR CONCRETE SLABS ADJACENT TO BUILDING SHALL BE PLACED ON 4" STRUCTURAL CUSHION, UNLESS NOTED OTHERWISE. REFER TO THE STRUCTURAL DRAWINGS FOR INFORMATION ON THE GARDEN CENTER SLAB.
- RADI ARE 4' UNLESS OTHERWISE NOTED.
- PROPOSED SITE IS LOCATED IN ZONE X, AREA OF MINIMAL FLOOD HAZARD. REFERENCE FEMA FIRM PANEL 39103C0161D EFFECTIVE DATE 08/04/2008.

LEGEND

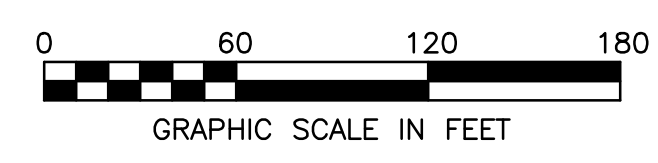
- MEIJER LIGHT POLE
-
- BARRIER FREE PARKING
- CART CORRAL
- CONCRETE PAVEMENT
- CONCRETE PAVEMENT WITH PROPEX FIBERMESH
- HEAVY DUTY ASPHALT
- LIGHT DUTY ASPHALT
- BROOM FINISH
- MEIJER PROPERTY LINE

SITE DATA TABLE

ZONING	C-3
PROPOSED LAND USE	COMMERCIAL RETAIL
SITE AREA	14.74 ACRES
BUILDING AREA	160,621 SF = 3.69 ACRES
OPEN SPACE AREA	2.37 ACRES

PARKING SUMMARY

MAIN STORE	
STANDARD PARKING	497
VAN ACCESSIBLE	21
TOTAL PARKING	518
REQUIRED BY CODE	403



REV.	DATE	DESCRIPTION

MEIJER STORE MED
 1105 N COURT STREET
 MEDINA, OHIO 44256

SITE LAYOUT / PAVEMENT PLAN

ISSUED FOR:	
PERMIT	MM/DD/YY
BID	MM/DD/YY
CONSTRUCTION	MM/DD/YY

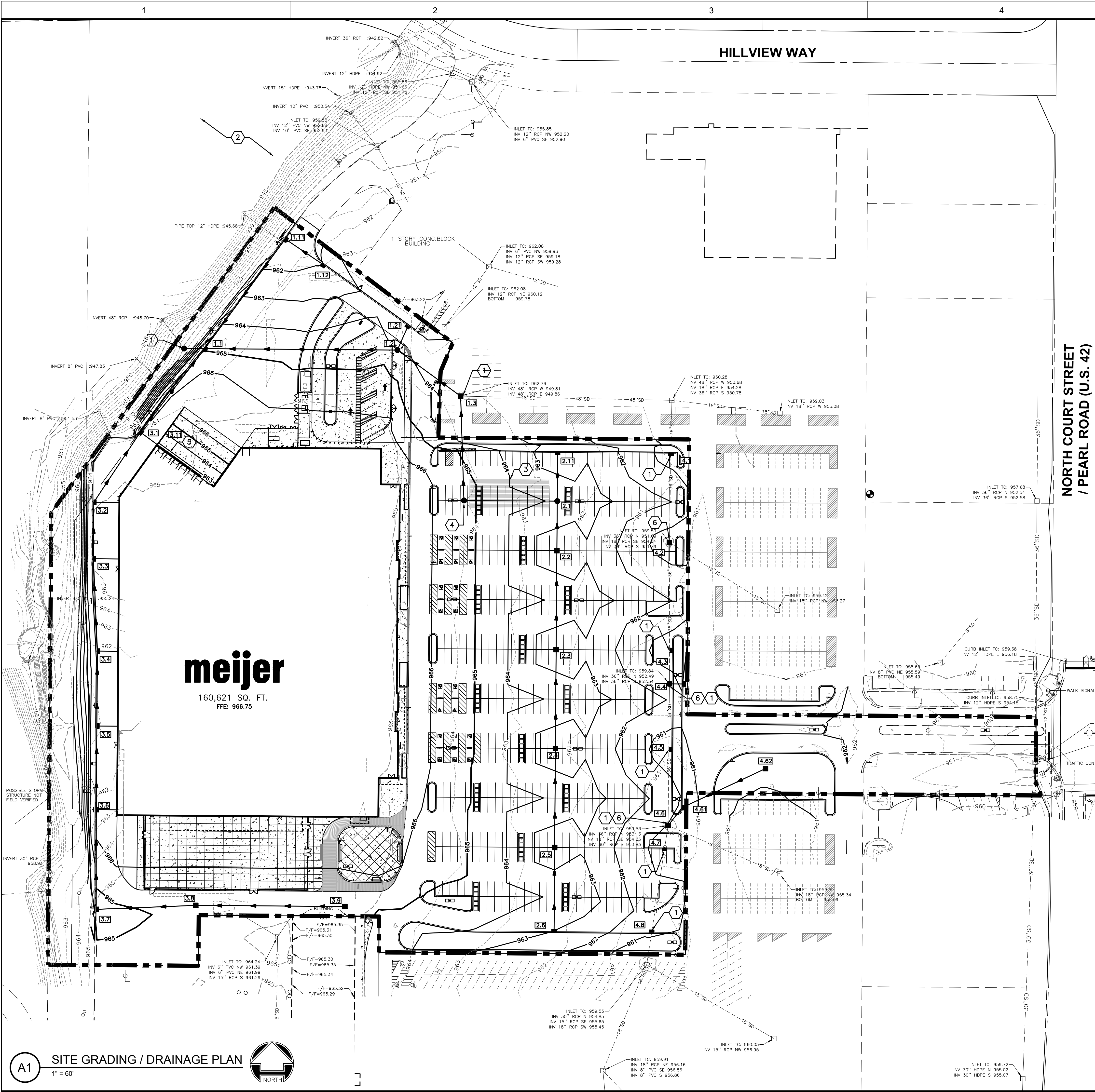
PROJECT MANAGER	DESIGNER
BLS	JMR

JOB NO.
10017851

C-200

A1 SITE LAYOUT / PAVEMENT PLAN
1" = 60'

Images: Meijer MED - Additional Survey; Topo Aerial; . Xrefs: 10017851-x.dwg; 10017851-tbk.dwg; 10017851-p.dwg; 10017851-GR-NOTES.dwg; 10017851-GR-NOES.dwg
 User: jrb Names: C-300 SITE GRADING / DRAINAGE PLAN
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GRADING NOTES

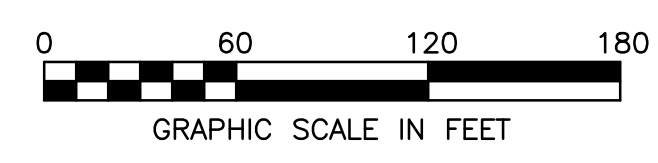
1. CONTOURS SHOWN ARE FOR REFERENCE ONLY.
2. PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT, BUILDING PAD, OR GREEN AREAS.
3. FOR ALL CURB ISLANDS, CENTER OF ISLANDS TO BE A MINIMUM OF 6" HIGHER THAN TOP OF CURB.
4. RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH AT A MINIMUM EXISTING CONDITIONS.
5. CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
6. FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.1 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATIONS AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISHED DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION.
7. VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
8. UTILITIES SHALL END 5 FEET FROM THE BUILDING UNLESS NOTED OTHERWISE.
9. PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITIES.
10. ALL MATERIAL SPECIFICATIONS, AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH MEIJER STANDARD SPECIFICATIONS AND THOSE OF THE APPROPRIATE UTILITY COMPANIES.
11. BEFORE COMMENCING WORK, CONTRACTOR SHALL VERIFY ALL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES.
12. PROPOSED SITE IS LOCATED IN ZONE X, AREA OF MINIMAL FLOOD HAZARD. REFERENCE FEMA FIRM PANEL 39103C0161D EFFECTIVE DATE 08/04/2008.

LEGEND

- PROPERTY LINE
- - - - - EXISTING 1' CONTOUR
- - - - - EXISTING 5' CONTOUR
- - - - - EXISTING STORM SEWER
- - - - - PROPOSED 1' CONTOUR
- - - - - PROPOSED 5' CONTOUR
- STORM SEWER
- UNDERDRAIN
- MANHOLE
- DRAINAGE BASIN
- CLEANOUT
- XX STORM STRUCTURE ID NUMBER

KEYNOTES

1. CONNECT TO EXISTING UTILITY PER AGENCY REQUIREMENTS.
2. EXISTING STORMWATER MANAGEMENT FACILITY.
3. UNDERGROUND STORMWATER QUALITY SYSTEM.
4. WATER QUALITY OUTLET CONTROL STRUCTURE.
5. TRENCH DRAIN.
6. ADJUST TO GRADE.



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 Dayton, OH 45430
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 2929 WALKER AVENUE
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 (616) 453-6711

REV.	DATE	DESCRIPTION

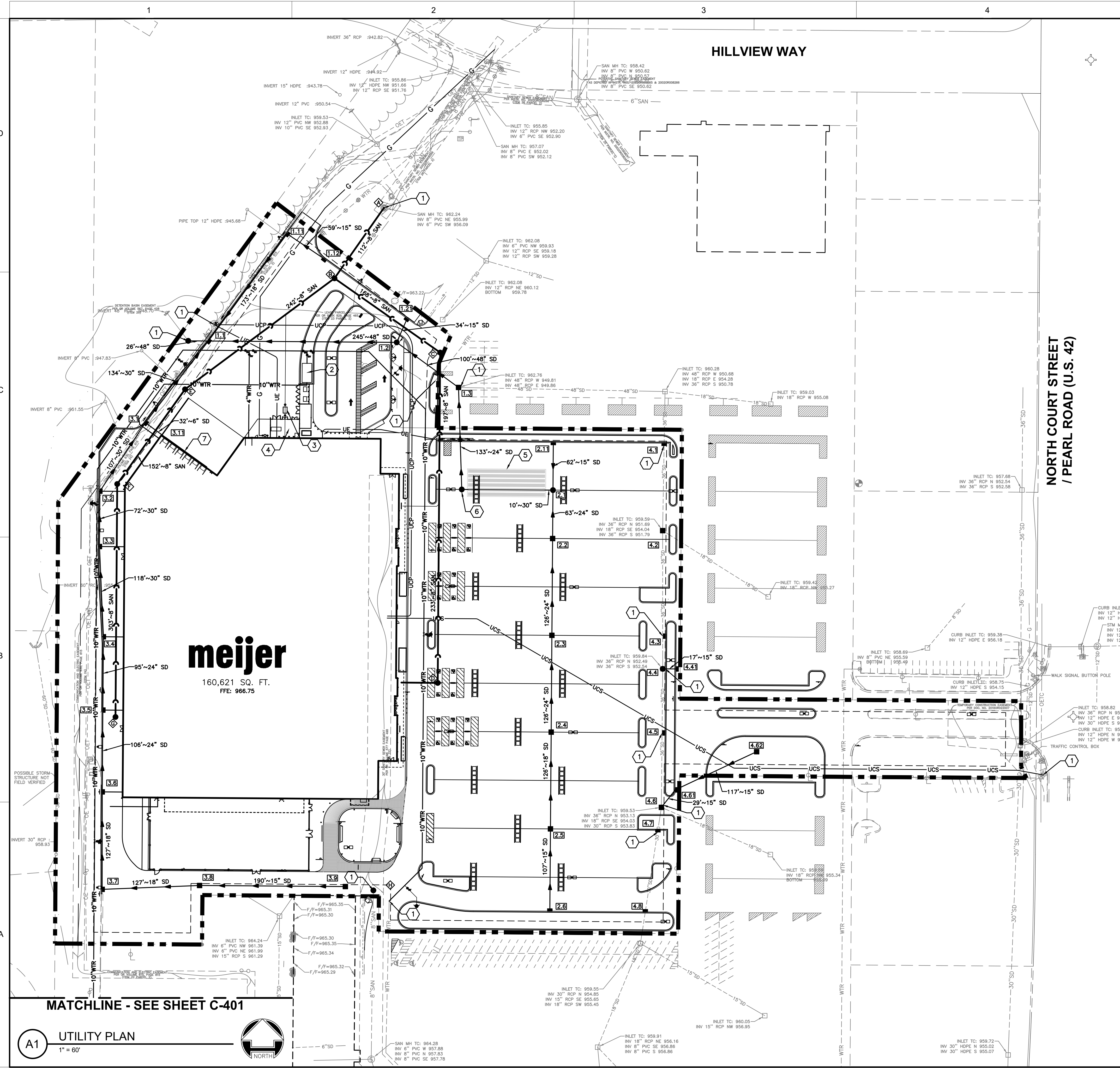
MEIJER STORE MED
 1105 N COURT STREET
 MEDINA, OHIO 44256

SITE GRADING / DRAINAGE PLAN

ISSUED FOR:	
PERMIT	MM/DDYY
BID	MM/DDYY
CONSTRUCTION	MM/DDYY
PROJECT MANAGER	DESIGNER
BLS	JMR
JOB NO. 10017851	
C-300	

A1 SITE GRADING / DRAINAGE PLAN
 1" = 60'

Images: Meijer MED - Additional Surveys.jpg; Topo Aerial.jpg; Xrefs: 10017851-x.dwg; 10017851-tbk.dwg; 10017851-p.dwg; 10017851-UTL-NOTES.dwg
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LEGEND

- CATCH BASIN
- CURB INLET
- MANHOLE
- CLEANOUT
- XX"~XX" SD — STORM SEWER
- - - - - UNDERDRAIN
- XX"~8" SAN — STORM STRUCTURE I.D.
- 10"WTR — SANITARY SEWER
- 4"WTR — SANITARY SERVICE
- 10"WTR — FIRE SERVICE
- 4"WTR — DOMESTIC WATER SERVICE
- ▲ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ TEE
- ⊕ WATER BEND
- G — GAS SERVICE
- UCP — UNDERGROUND COMMUNICATIONS SERVICE
- UE — UNDERGROUND ELECTRIC SERVICE
- LIGHT POLE

- ### GENERAL NOTES
- THE CONTRACTOR IS RESPONSIBLE FOR ALL RESTORATION AND CLEAN-UP ASSOCIATED WITH THE INSTALLATION OF THE PROPOSED UTILITIES WITHIN THE PUBLIC RIGHT-OF-WAY AND EASEMENT.
 - VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - UTILITIES SHALL END 5 FEET FROM THE BUILDING UNLESS NOTED OTHERWISE.
 - PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITIES.
 - ALL DIMENSIONS ARE TO COLUMN LINE, CENTERLINE OF PIPE, CENTER OF MANHOLE, EDGE OF PAVEMENT OR BACK OF CURB WHERE APPLICABLE. DIMENSIONS TO COLUMN LINE ASSUME 9" THICK BUILDING WALL.
 - ALL MATERIAL, SPECIFICATIONS, AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH MEIJER STANDARD SPECIFICATIONS AND DETAILS AND CITY OF MEDINA AND MEDINA COUNTY.
 - CONTRACTOR SHALL PERFORM FULL DEPTH REMOVAL AND REPLACEMENT OF EXISTING PAVEMENT PER MEIJER REQUIREMENTS AT PROPOSED UTILITIES INSTALLATION IN EXISTING PAVED AREAS.
 - BEFORE COMMENCING WORK, CONTRACTOR SHALL VERIFY ALL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES.

UTILITIES SUMMARY

ELECTRIC: SECONDARY SERVICE, PREFERRED BASED ON RATE, PAD-MOUNT UTILITY OWNED TRANSFORMER 2,000 KVA, SECONDARY 480/277V, 3PH, 4W GRD WYE.

PHONE: FIBER OPTIC ENTRANCE CABLE.

GAS: 11,000 CFH @ 2 PSI (5 PSI IF AVAILABLE) FOR 1.5 STORE.

WATER: 4" DIA. PIPE WITH 2" METER, 10,000 GPD SUMMER, 5,000 GPD WINTER, 150 GPM PEAK USE, 65 PSI AFTER BACKFLOW PREVENTER.

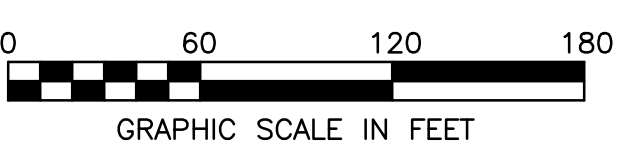
FIRE PROTECTION: 10" DIA. MIN., 1,100 GPM @ 54 PSI AT BASE OF RISER.

SANITARY SEWER: 5,000 GPD AVG., 40 GPM PEAK FLOW.

IRRIGATION: DESIGN TO BE PROVIDED AS PART OF FINAL DESIGN.

- ### WATER NOTES
- INSTALL WATER MAIN WITH A MINIMUM OF 5 FEET OF COVER.
 - CONTRACTOR TO COORDINATE WITH CITY FOR INSPECTION OF INSTALLATION OF WATER LINES INCLUDING CONNECTIONS TO EXISTING. PROVIDE 48 HOURS NOTICE.
 - ON SITE HYDRANTS SHALL FACE THE BUILDING.
 - HYDRANTS LOCATED IN CURB ISLAND OR GREEN SPACE SHALL BE LOCATED 5' FROM BACK OF CURB OR EDGE OF PAVEMENT (TYP.).
 - HYDRANTS SHALL BE MUELLER SUPERIOR CENTURIUM A 423 AND PAINTED OSHA YELLOW.
 - INSTALL CONCRETE PADS FOR ALL HYDRANT VALVES IN NON-PAVED AREAS.
 - SERVICES TWO (2) INCHES AND SMALLER SHALL BE TYPE "K" COPPER.
 - SERVICES LARGER THAN TWO (2) INCHES SHALL BE AMWA C900 SDR 18.
 - GATE VALVES SHALL BE USED FOR WATERLINES EIGHT (8) INCHES IN DIAMETER OR SMALLER. GATE VALVES SHALL CONFORM WITH CITY SPECIFICATIONS. FOR WATERLINES GREATER THAN EIGHT (8) INCHES IN DIAMETER, BUTTERFLY VALVES SHALL BE USED. BUTTERFLY VALVES SHALL CONFORM WITH CITY SPECIFICATIONS.

- ### KEYNOTES
- CONNECT TO EXISTING UTILITY PER AGENCY REQUIREMENTS.
 - FIRE PUMP HOUSE.
 - GREASE INTERCEPTOR.
 - ELECTRICAL EQUIPMENT YARD.
 - UNDERGROUND STORMWATER QUALITY SYSTEM.
 - WATER QUALITY OUTLET CONTROL STRUCTURE.
 - TRENCH DRAIN.



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meijer
 2929 WALKER AVENUE
 GRAND RAPIDS, MICHIGAN 49544
 (616) 453-6711

REV.	DATE	DESCRIPTION

MEIJER STORE MED
 1105 N COURT STREET
 MEDINA, OHIO 44256

UTILITY PLAN

ISSUED FOR:	
PERMIT	MM/DDYY
BID	MM/DDYY
CONSTRUCTION	MM/DDYY

PROJECT MANAGER	DESIGNER
BLS	JMR

JOB NO.
 10017851

C-400

MATCHLINE - SEE SHEET C-401

A1 UTILITY PLAN
 1" = 60'

meijer
 160,621 SQ. FT.
 FFE: 966.75

LEGEND

- CATCH BASIN
- CURB INLET
- MANHOLE
- CLEANOUT
- STORM SEWER
- - - UNDERDRAIN
- ⊠ STORM STRUCTURE I.D.
- SANITARY SEWER
- SANITARY SERVICE
- ⊠ SANITARY SEWER I.D.
- 10" WTR — FIRE SERVICE
- 4" WTR — DOMESTIC WATER SERVICE
- ▲ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ TEE
- ⌒ WATER BEND
- G — GAS SERVICE
- UCS — UNDERGROUND COMMUNICATIONS SERVICE
- UE — UNDERGROUND ELECTRIC SERVICE
- LIGHT POLE

GENERAL NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR ALL RESTORATION AND CLEAN-UP ASSOCIATED WITH THE INSTALLATION OF THE PROPOSED UTILITIES WITHIN THE PUBLIC RIGHT-OF-WAY AND EASEMENT.
- VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- UTILITIES SHALL END 5 FEET FROM THE BUILDING UNLESS NOTED OTHERWISE.
- PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITIES.
- ALL DIMENSIONS ARE TO COLUMN LINE, CENTERLINE OF PIPE, CENTER OF MANHOLE, EDGE OF PAVEMENT OR BACK OF CURB WHERE APPLICABLE. DIMENSIONS TO COLUMN LINE ASSUME 9" THICK BUILDING WALL.
- ALL MATERIAL, SPECIFICATIONS, AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH MEIJER STANDARD SPECIFICATIONS AND DETAILS AND CITY OF MEDINA AND MEDINA COUNTY.
- CONTRACTOR SHALL PERFORM FULL DEPTH REMOVAL AND REPLACEMENT OF EXISTING PAVEMENT PER MEIJER REQUIREMENTS AT PROPOSED UTILITIES INSTALLATION IN EXISTING PAVED AREAS.
- BEFORE COMMENCING WORK, CONTRACTOR SHALL VERIFY ALL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES.

UTILITIES SUMMARY

ELECTRIC: SECONDARY SERVICE, PREFERRED BASED ON RATE, PAD-MOUNT UTILITY OWNED TRANSFORMER 2,000 KVA, SECONDARY 480/277V, 3PH, 4W GRD WYE.
 PHONE: FIBER OPTIC ENTRANCE CABLE.
 GAS: 11,000 CFH @ 2 PSI (5 PSI IF AVAILABLE) FOR 1.5 STORE.
 WATER: 4" DIA. PIPE WITH 2" METER, 10,000 GPD SUMMER, 5,000 GPD WINTER, 150 GPM PEAK USE, 65 PSI AFTER BACKFLOW PREVENTER.
 FIRE PROTECTION: 10" DIA. MIN., 1,100 GPM @ 54 PSI AT BASE OF RISER.
 SANITARY SEWER: 5,000 GPD AVG., 40 GPM PEAK FLOW.
 IRRIGATION: DESIGN TO BE PROVIDED AS PART OF FINAL DESIGN.

WATER NOTES

- INSTALL WATER MAIN WITH A MINIMUM OF 5 FEET OF COVER.
- CONTRACTOR TO COORDINATE WITH CITY FOR INSPECTION OF INSTALLATION OF WATER LINES INCLUDING CONNECTIONS TO EXISTING. PROVIDE 48 HOURS NOTICE.
- ON SITE HYDRANTS SHALL FACE THE BUILDING.
- HYDRANTS LOCATED IN CURB ISLAND OR GREEN SPACE SHALL BE LOCATED 5' FROM BACK OF CURB OR EDGE OF PAVEMENT (TYP.).
- HYDRANTS SHALL BE MUELLER SUPERIOR CENTURIAN A 423 AND PAINTED OSHA YELLOW.
- INSTALL CONCRETE PADS FOR ALL HYDRANT VALVES IN NON-PAVED AREAS.
- SERVICES TWO (2) INCHES AND SMALLER SHALL BE TYPE "K" COPPER.
- SERVICES LARGER THAN TWO (2) INCHES SHALL BE AWWA C900 SDR 18.
- GATE VALVES SHALL BE USED FOR WATERLINES EIGHT (8) INCHES IN DIAMETER OR SMALLER. GATE VALVES SHALL CONFORM WITH CITY SPECIFICATIONS. FOR WATERLINES GREATER THAN EIGHT (8) INCHES IN DIAMETER, BUTTERFLY VALVES SHALL BE USED. BUTTERFLY VALVES SHALL CONFORM WITH CITY SPECIFICATIONS.

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- ELECTRICAL EQUIPMENT YARD.
- UNDERGROUND STORMWATER QUALITY SYSTEM.
- WATER QUALITY OUTLET CONTROL STRUCTURE.
- TRENCH DRAIN.

REV.	DATE	DESCRIPTION

MEIJER STORE MED
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 MEDINA, OHIO 44256

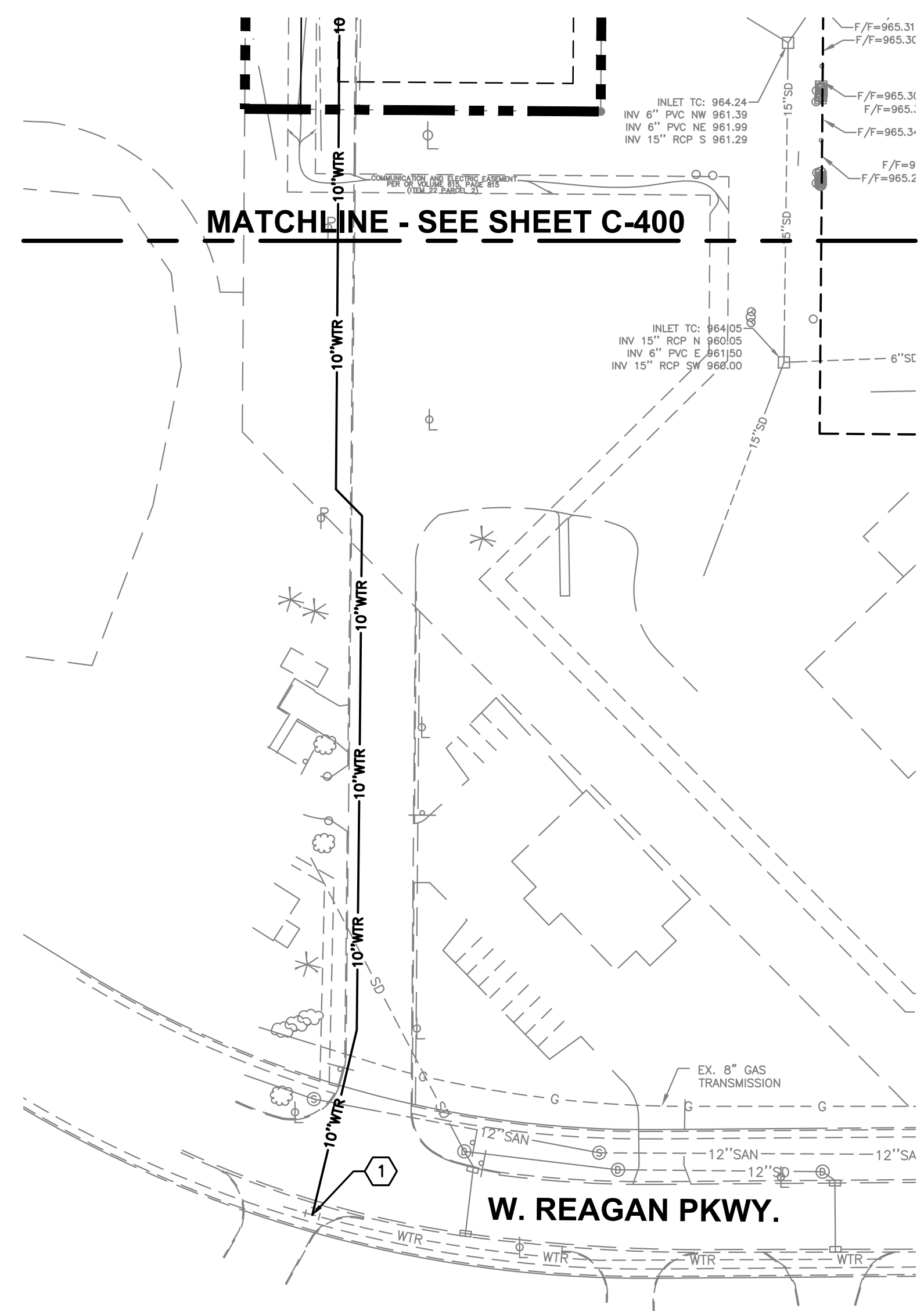
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CONSTRUCTION	MM/DD/YY

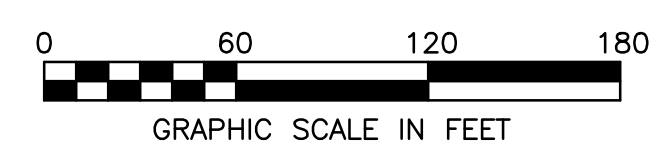
PROJECT MANAGER	DESIGNER
BLS	JMR

JOB NO.
10017851

C-401

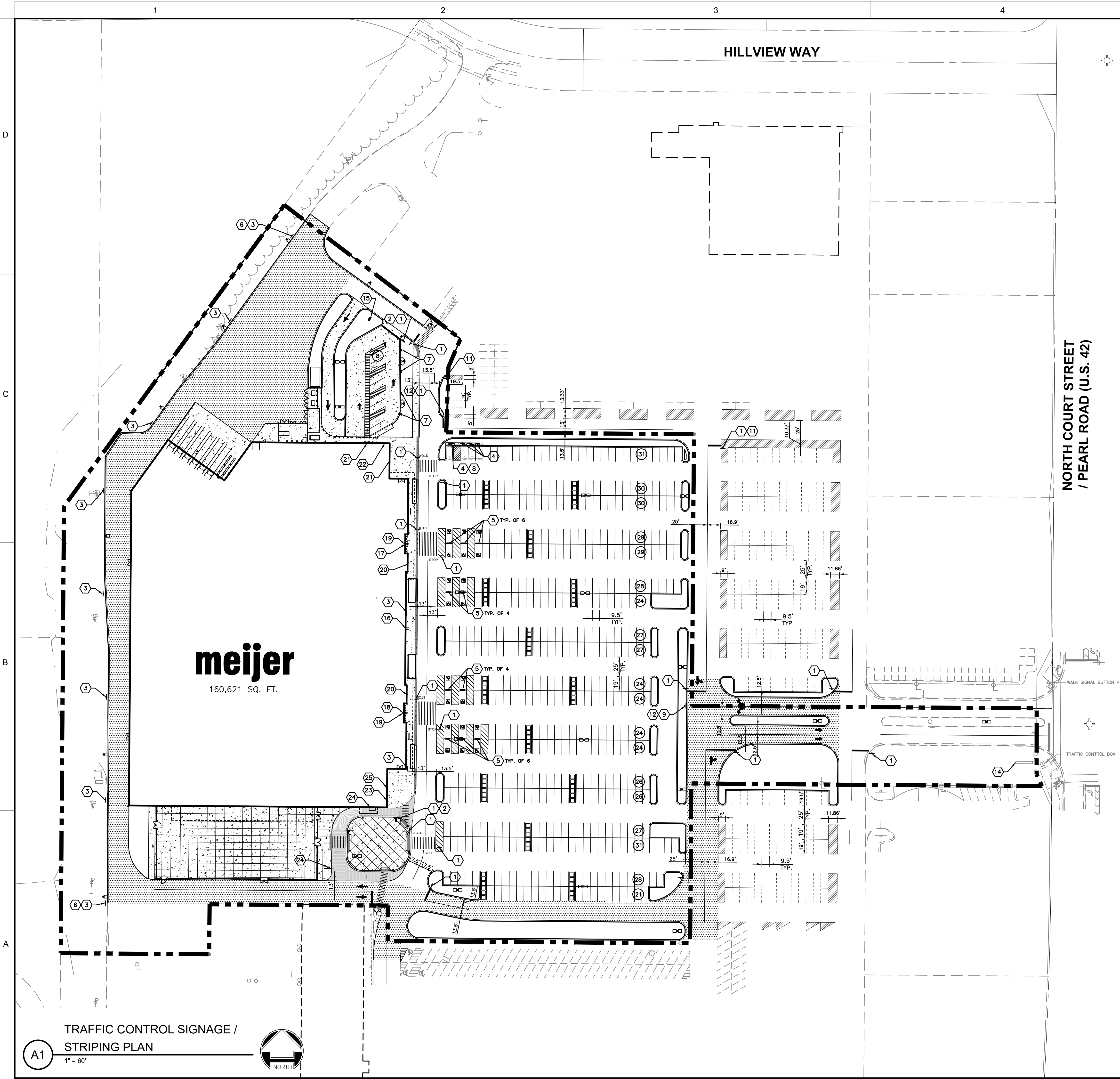


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Images: Meijer MED - Additional Surveys; Topo Aerial; Xrefs: 10017851-x.dwg; 10017851-tbk.dwg; 10017851-p.dwg
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HILLVIEW WAY

NORTH COURT STREET / PEARL ROAD (U.S. 42)

- PAVEMENT STRIPING NOTES**
1. ALL DIMENSIONS MEASURED FROM FACE OF BUILDING.
 2. REFER TO SHEET C-701 FOR SIGNAGE/STRIPING DETAILS.
 3. ALL PAVEMENT MARKING SHALL BE YELLOW IN COLOR UNLESS NOTED OTHERWISE.
 4. CROSSWALK STRIPING TO BE CENTERED ON THE BUILDING AND GARDEN CENTER ENTRANCES.
 5. TRANSVERSE STRIPING WITHIN THE OUTDOOR GARDEN CENTER SHALL MATCH "NO PARKING AREA" STRIPING AS INDICATED IN THE SIGNAGE/STRIPING LEGEND.

- BUILDING AND SITE SIGNAGE NOTES**
1. LOCATE FIRE LANE SIGNS AT FRONT OF BUILDING AT THE EDGE OF CONCRETE SIDEWALK (4 SIGNS)
 2. STOP SIGNS AND FIRE LANE SIGNS ALONG FRONT OF THE STORE TO BE ON MOVABLE CONCRETE BASES
 3. LOCATE FIRE LANE SIGNS ALONG THE GARDEN CENTER ATTACHED TO THE FENCE (3 SIGNS).
 4. LOCATE FIRE LANE SIGNS ALONG BACK OF BUILDING AND THE TRUCK DOCK AREAS AT 2 FT. BEHIND PAVEMENT IN THE GRASS AREA (8 SIGNS).
 5. INSTALL CART CORRALS PROVIDED BY OWNER.

PARKING SUMMARY

MAIN STORE	
STANDARD PARKING	497
VAN ACCESSIBLE	21
TOTAL PARKING	518
REQUIRED BY CODE	403

KEYNOTES - POLE-MOUNTED SIGNAGE

1. STOP SIGN.
2. DO NOT ENTER SIGN.
3. NO PARKING - FIRE LANE SIGN.
4. "EV" PARKING SIGN. SEE DETAIL D1.1 ON C-501.
5. ACCESSIBLE PARKING SIGN.
6. TRUCK ROUTE SIGN. SEE DETAIL D2 ON C-501.
7. PICKUP PARKING STALL NUMBER SIGN. SEE DETAIL C4 ON C-501.
8. "EV" CHARGING SIGN WITH "VAN ACCESSIBLE" SIGN. SEE DETAIL D1.1 ON C-501.
9. PHARMACY LEFT/PICKUP RIGHT SIGN. SEE DETAIL C2 ON C-501.
10. PHARMACY RIGHT SIGN. SEE DETAIL C2 ON C-501.
11. PICKUP LEFT SIGN. SEE DETAIL C2 ON C-501.
12. PICKUP RIGHT SIGN. SEE DETAIL C2 ON C-501.
13. NOT USED.

KEYNOTES - MONUMENT/PYLON SIGNAGE

14. DEVELOPMENT PYLON SIGN. SEE DETAIL A2 ON C-501.
15. PICKUP MONUMENT SIGN. SEE DETAIL C4 ON C-501.

KEYNOTES - BUILDING SIGNAGE

16. MEIJER SIGN. SEE DETAIL A1 ON C-501.
17. "FRESH" SIGN. SEE DETAIL B4.1 ON C-501.
18. "HOME" SIGN. SEE DETAIL B4 ON C-501.
19. "WELCOME" SIGN. SEE DETAIL B5 ON C-501.
20. "LICENSEE" SIGN. SEE DETAIL A5.1 ON C-501.
21. PICKUP SIGN. SEE DETAIL A3 ON C-501.
22. PICKUP BLADE SIGN. SEE DETAIL C1 ON C-501.
23. Rx BLADE SIGN. SEE DETAIL B1 ON C-501.
24. PHARMACY DRIVE UP SIGN. SEE DETAIL A4 ON C-501.
25. PHARMACY SIGN. SEE DETAIL A5 ON C-501.

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TRAFFIC CONTROL SIGNAGE /
 STRIPING PLAN

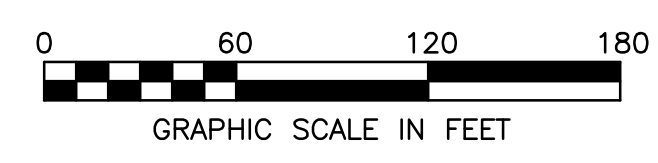
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PROJECT MANAGER	DESIGNER
BLS	JMR

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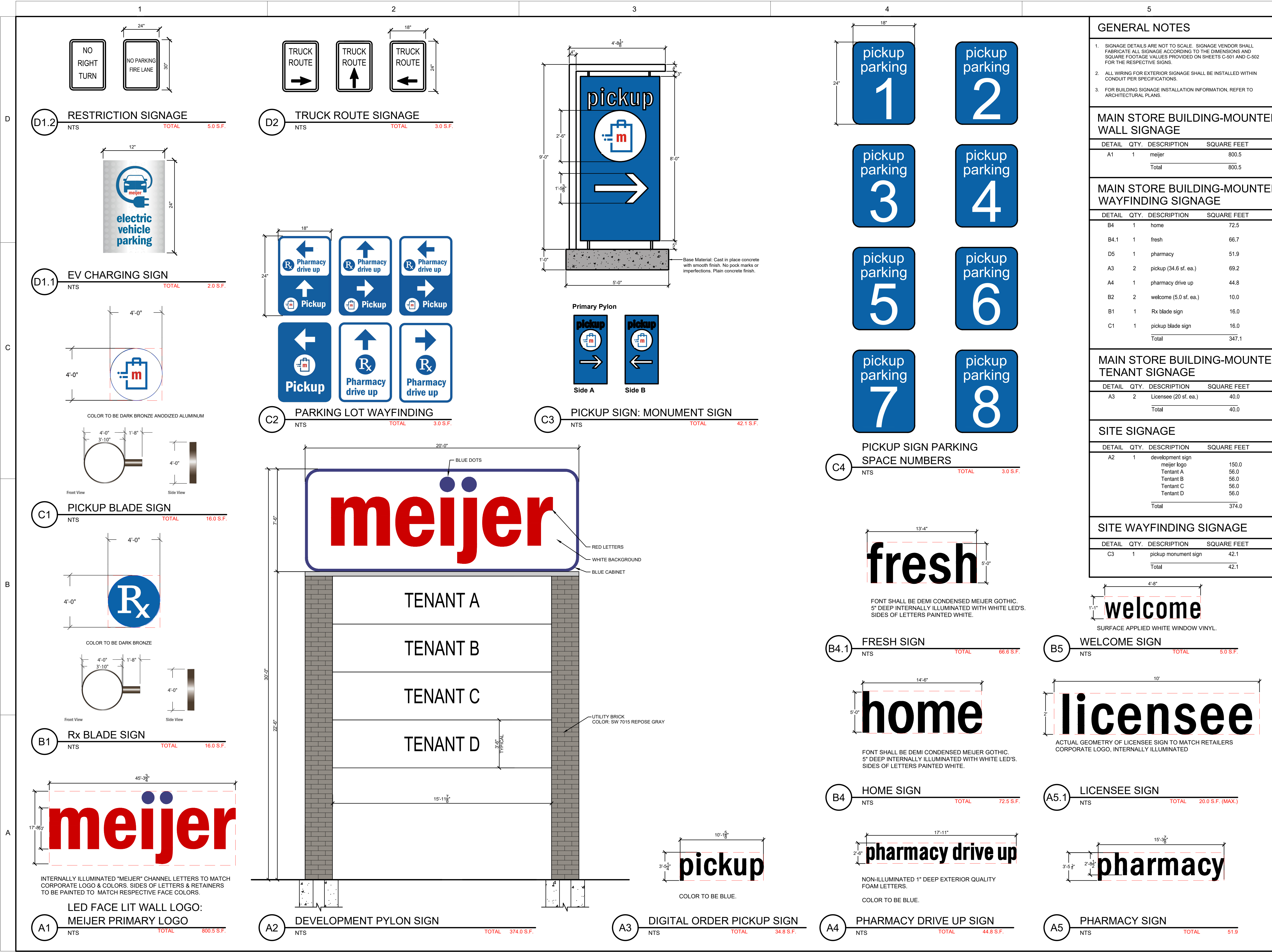
C-500

A1 TRAFFIC CONTROL SIGNAGE / STRIPING PLAN
 1" = 60'



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D1.2 RESTRICTION SIGNAGE
 NTS TOTAL 5.0 S.F.

D2 TRUCK ROUTE SIGNAGE
 NTS TOTAL 3.0 S.F.

D1.1 EV CHARGING SIGN
 NTS TOTAL 2.0 S.F.

C2 PARKING LOT WAYFINDING
 NTS TOTAL 3.0 S.F.

C3 PICKUP SIGN: MONUMENT SIGN
 NTS TOTAL 42.1 S.F.

C1 PICKUP BLADE SIGN
 NTS TOTAL 16.0 S.F.

B1 Rx BLADE SIGN
 NTS TOTAL 16.0 S.F.

A1 LED FACE LIT WALL LOGO: MEIJER PRIMARY LOGO
 NTS TOTAL 800.5 S.F.

A2 DEVELOPMENT PYLON SIGN
 NTS TOTAL 374.0 S.F.

A3 DIGITAL ORDER PICKUP SIGN
 NTS TOTAL 34.8 S.F.

C4 PICKUP SIGN PARKING SPACE NUMBERS
 NTS TOTAL 3.0 S.F.

B4.1 FRESH SIGN
 NTS TOTAL 66.6 S.F.

B4 HOME SIGN
 NTS TOTAL 72.5 S.F.

A4 PHARMACY DRIVE UP SIGN
 NTS TOTAL 44.8 S.F.

B5 WELCOME SIGN
 NTS TOTAL 5.0 S.F.

A5.1 LICENSEE SIGN
 NTS TOTAL 20.0 S.F. (MAX.)

A5 PHARMACY SIGN
 NTS TOTAL 51.9

GENERAL NOTES

- SIGNAGE DETAILS ARE NOT TO SCALE. SIGNAGE VENDOR SHALL FABRICATE ALL SIGNAGE ACCORDING TO THE DIMENSIONS AND SQUARE FOOTAGE VALUES PROVIDED ON SHEETS C-501 AND C-502 FOR THE RESPECTIVE SIGNS.
- ALL WIRING FOR EXTERIOR SIGNAGE SHALL BE INSTALLED WITHIN CONDUIT PER SPECIFICATIONS.
- FOR BUILDING SIGNAGE INSTALLATION INFORMATION, REFER TO ARCHITECTURAL PLANS.

MAIN STORE BUILDING-MOUNTED WALL SIGNAGE

DETAIL	QTY.	DESCRIPTION	SQUARE FEET
A1	1	meijer	800.5
Total			800.5

MAIN STORE BUILDING-MOUNTED WAYFINDING SIGNAGE

DETAIL	QTY.	DESCRIPTION	SQUARE FEET
B4	1	home	72.5
B4.1	1	fresh	66.7
D5	1	pharmacy	51.9
A3	2	pickup (34.6 sf. ea.)	69.2
A4	1	pharmacy drive up	44.8
B2	2	welcome (5.0 sf. ea.)	10.0
B1	1	Rx blade sign	16.0
C1	1	pickup blade sign	16.0
Total			347.1

MAIN STORE BUILDING-MOUNTED TENANT SIGNAGE

DETAIL	QTY.	DESCRIPTION	SQUARE FEET
A3	2	Licensee (20 sf. ea.)	40.0
Total			40.0

SITE SIGNAGE

DETAIL	QTY.	DESCRIPTION	SQUARE FEET
A2	1	development sign	150.0
		meijer logo	56.0
		Tenant A	56.0
		Tenant B	56.0
		Tenant C	56.0
		Tenant D	56.0
Total			374.0

SITE WAYFINDING SIGNAGE

DETAIL	QTY.	DESCRIPTION	SQUARE FEET
C3	1	pickup monument sign	42.1
Total			42.1

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EXTERIOR SIGNAGE DETAILS

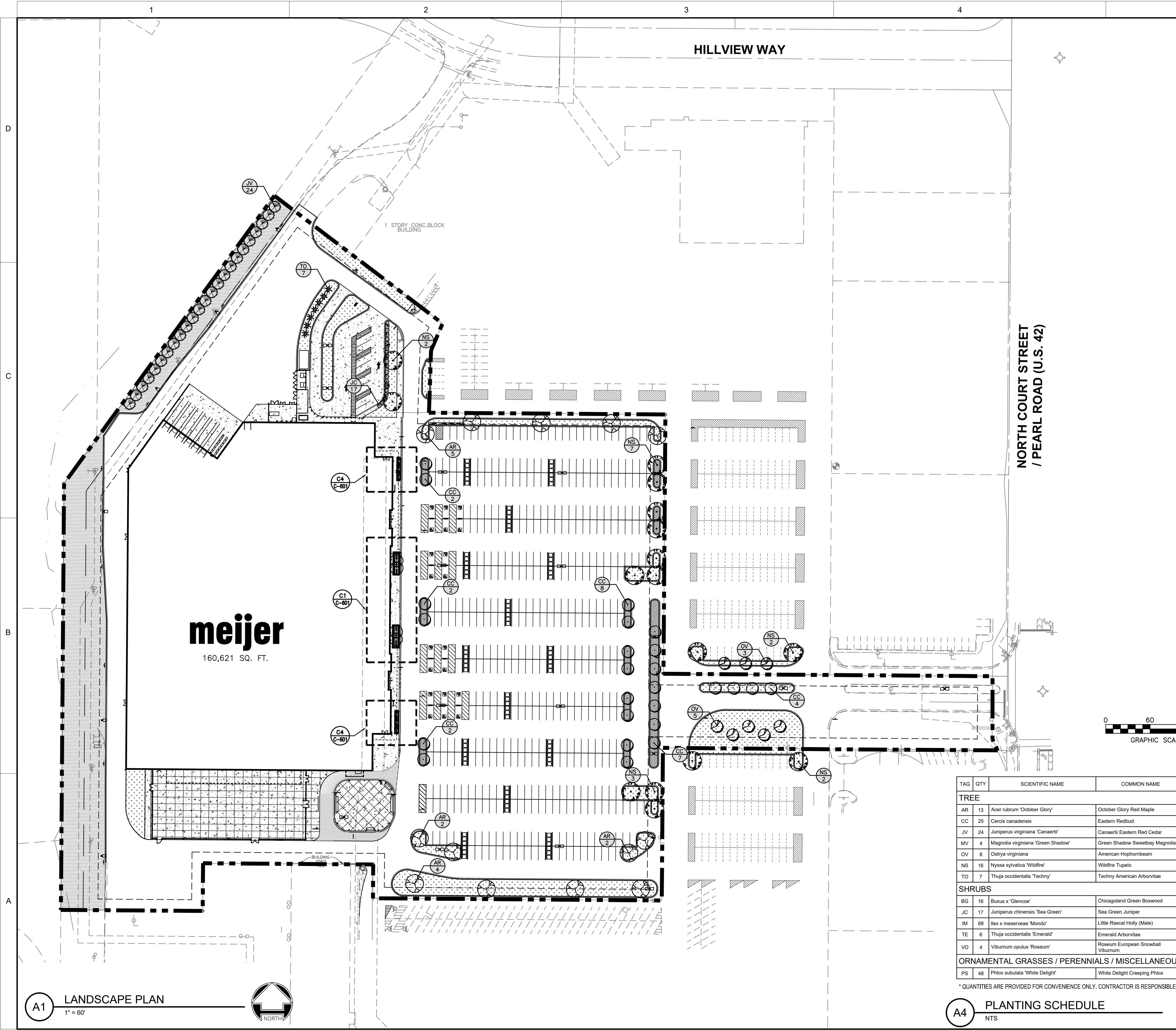
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PROJECT MANAGER	DESIGNER
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C-501

Images: Meijer_MED - Additional Surveys; Topo Aerial; . Xrefs: 10017851-x.dwg; 10017851-tbk.dwg; 10017851-p.dwg
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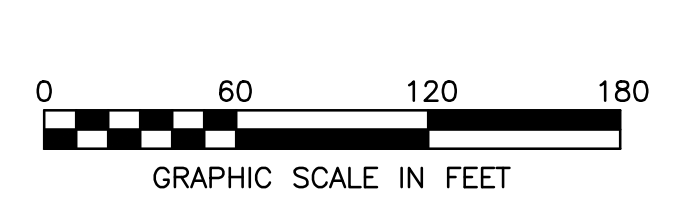


- ### LANDSCAPE NOTES
- COORDINATE PLACEMENT OF PLANTS WITH UTILITY LOCATIONS AND SIGHT LINES TO BUILDING. MAKE ADJUSTMENTS AS REQUIRED TO AVOID PLANTING OVER THE UTILITIES AND/OR WITHIN SIGHT LINES TO ALL MEIJER BUILDING SIGNAGE.
 - THE CENTER OF LARGE ISLANDS IS TO BE SIX INCHES HIGHER THAN TOP OF CURB. ENSURE ALL ISLANDS ARE SLOPED FOR POSITIVE DRAINAGE.
 - ALL AREAS THAT REQUIRE SEEDING SHALL RECEIVE 4" MINIMUM TOPSOIL, UNLESS NOTED OTHERWISE.
 - SEED ALL AREAS INDICATED ON THE LANDSCAPE PLAN. THE SOIL EROSION CONTROL PLAN AND ALL DISTURBED AREA. REVIEW AREAS OF SEEDING WITH CONSTRUCTION MANAGER PRIOR TO ANY SEEDING. ANY AREAS DISTURBED BY THE CONTRACTOR WHICH ARE BEYOND THE LIMITS OF GRADING AND EARTHWORK SHALL BE SEEDED AT NO ADDITIONAL COST TO THE OWNER.
 - TOPSOIL SHALL BE TESTED AND AMENDED AS NECESSARY DURING FINAL GRADING AND PREPARATION FOR SEEDING.
 - APPLY STARTER FERTILIZER (16-32-4) AT 250 POUNDS/ACRE TO SEEDED AREAS.
 - ALL LANDSCAPE ISLANDS SHALL BE 3" DEEP SHREDDED HARDWOOD MULCH EXCEPT AS NOTED. PLACE MULCH OVER WEED BARRIER FABRIC AND TREAT WITH PRE-EMERGENT HERBICIDE.

LANDSCAPE CODE SUMMARY

MEDINA, OHIO PLANNING AND ZONING CODE
 CHAPTER 1149: SCREENING AND LANDSCAPING
 1149.05 (C) SCREENING REQUIREMENT
 AN EXISTING NATURALIZED BUFFER GREENBELT GREATER THAN 10 (TEN) FEET IN WIDTH IS TO BE PRESERVED AND MAINTAINED TO SATISFY SCREENING REQUIREMENTS FOR A COMMERCIAL LAND USE ADJACENT TO A RESIDENTIAL DISTRICT.
 1145.09 (B) PARKING LOT LANDSCAPING
 5 SF OF LANDSCAPE AREA TO BE PROVIDED PER 100 SF OF PARKING AREA.
 PARKING AREA: 197,630 SF
 LANDSCAPE AREA REQUIRED: 9,882 SF
 LANDSCAPE AREA PROVIDED: 18,863 SF

- ### LANDSCAPING LEGEND
- SEED MIXTURE TYPE A (37,790 SF)
 - SEED MIXTURE TYPE B (46,365 SF)
 - SHREDDED HARDWOOD MULCH TO 3" DEPTH, UNLESS NOTED OTHERWISE. SEE SPECIFICATIONS



TAG	QTY	SCIENTIFIC NAME	COMMON NAME	COND.	SIZE	REMARKS
TREE						
AR	13	<i>Acer rubrum</i> 'October Glory'	October Glory Red Maple	B&B	3" caliper	Full, well shaped
CC	25	<i>Cercis canadensis</i>	Eastern Redbud	B&B	2.5" caliper	Full, well-shaped, single-stem
JV	24	<i>Juniperus virginiana</i> 'Canaertii'	Canaertii Eastern Red Cedar	B&B	6' height	Full, well shaped
MV	4	<i>Magnolia virginiana</i> 'Green Shadow'	Green Shadow Sweetbay Magnolia	B&B	10' height	Full, well shaped, single-stem
OV	8	<i>Ostrya virginiana</i>	American Hophornbeam	B&B	2.5" caliper	Full, well shaped, single-stem
NS	16	<i>Nyssa sylvatica</i> 'Wildfire'	Wildfire Tupelo	B&B	3" caliper	Full, well shaped
TO	7	<i>Thuja occidentalis</i> 'Tectny'	Tectny American Arborvitae	B&B	6' height	Full, well shaped
SHRUBS						
BG	16	<i>Buxus x 'Glencoe'</i>	Chicagoland Green Boxwood	#3 cont.	24" height	Full, vigorous
JC	17	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	#3 cont.	24" height	Full, vigorous
IM	68	<i>Ilex x meserveae</i> 'Mondo'	Little Rascal Holly (Male)	#3 cont.	12" height	Full, vigorous
TE	6	<i>Thuja occidentalis</i> 'Emerald'	Emerald Arborvitae	#3 cont.	36" height	Full, vigorous
VO	4	<i>Viburnum opulus</i> 'Roseum'	Roseum European Snowball Viburnum	#7 cont.	48" height	Full, vigorous
ORNAMENTAL GRASSES / PERENNIALS / MISCELLANEOUS						
PS	48	<i>Phlox subulata</i> 'White Delight'	White Delight Creeping Phlox	#1 cont.		Full, vigorous

* QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES OF PLANTS ON LANDSCAPE PLAN.

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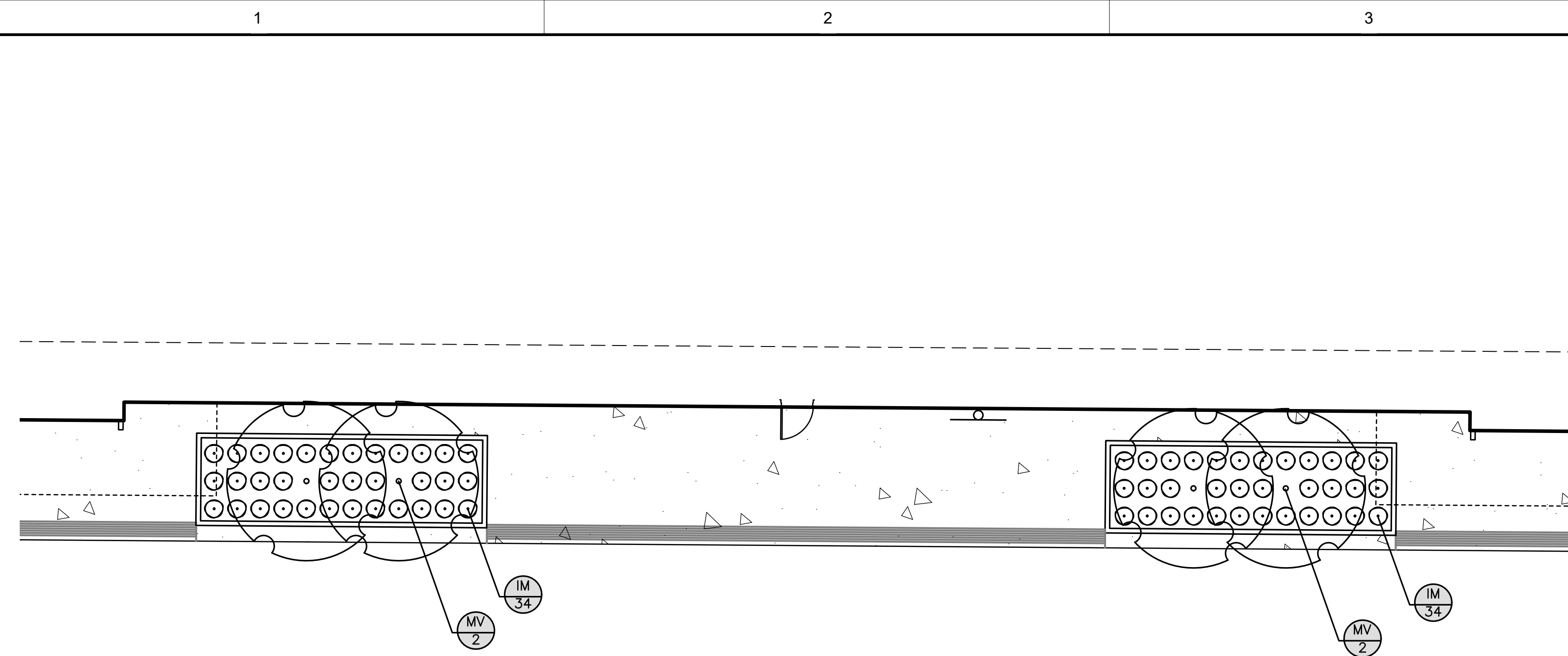
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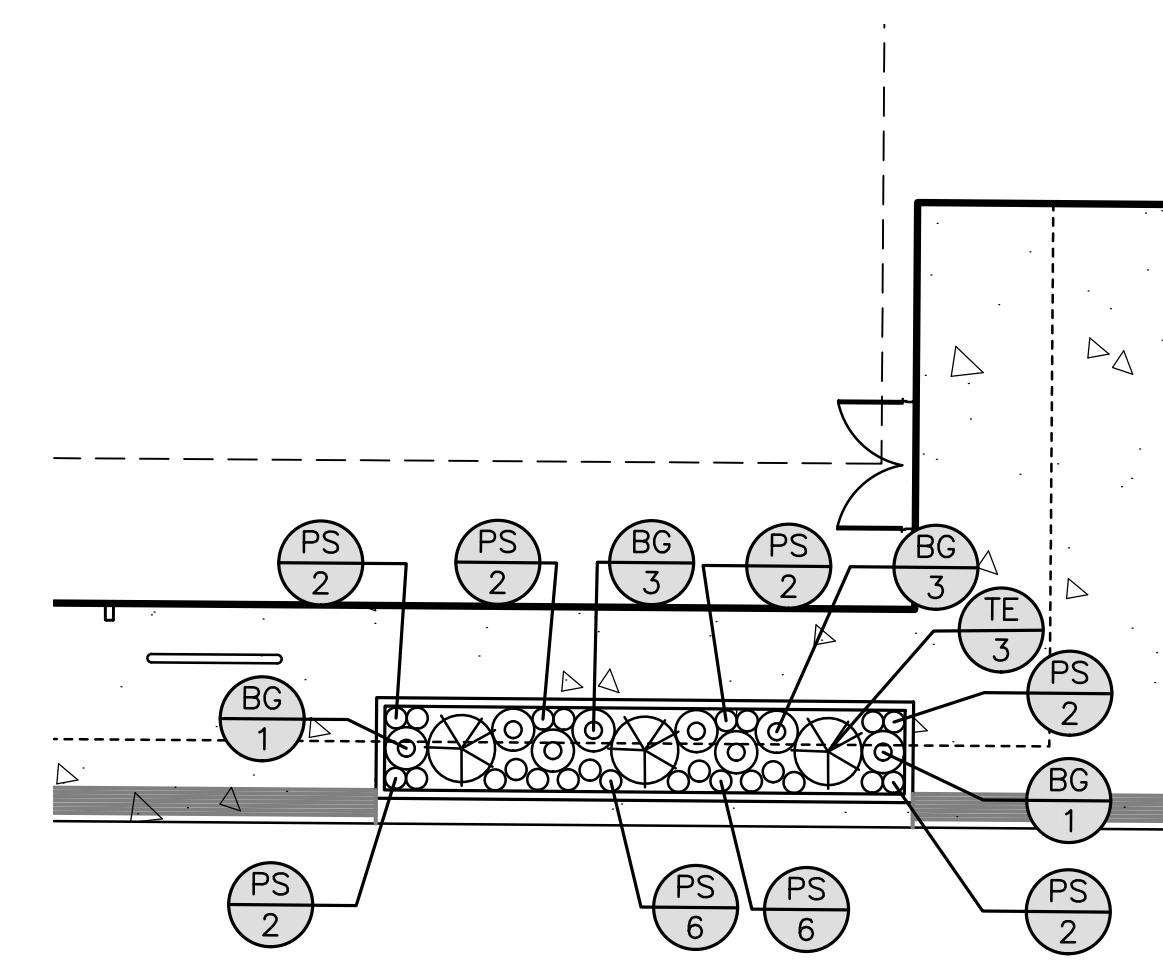
A1 LANDSCAPE PLAN
 1" = 60'

A4 PLANTING SCHEDULE
 NTS

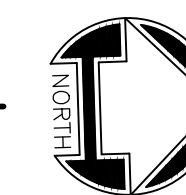
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C1 CENTER FRONT LANDSCAPE ENLARGEMENT
1" = 10'



C4 END FRONT PLANTER ENLARGEMENT
1" = 10'



NOTES:
 1. PLANTER TO BE FORM AND FIBER BOX SERIES STEEL PLANTER, PRODUCT ID: BX_S722424, 10 GA., POWDER COATED DARK BRONZE MATTE, SIZE: 72"L X 24"W X 24"H, STANDARD LIP, FLAT BOTTOM, 8 PLANTERS TOTAL (FORMANDFIBER.COM)
 2. FILL PLANTERS WITH POTTING SOIL

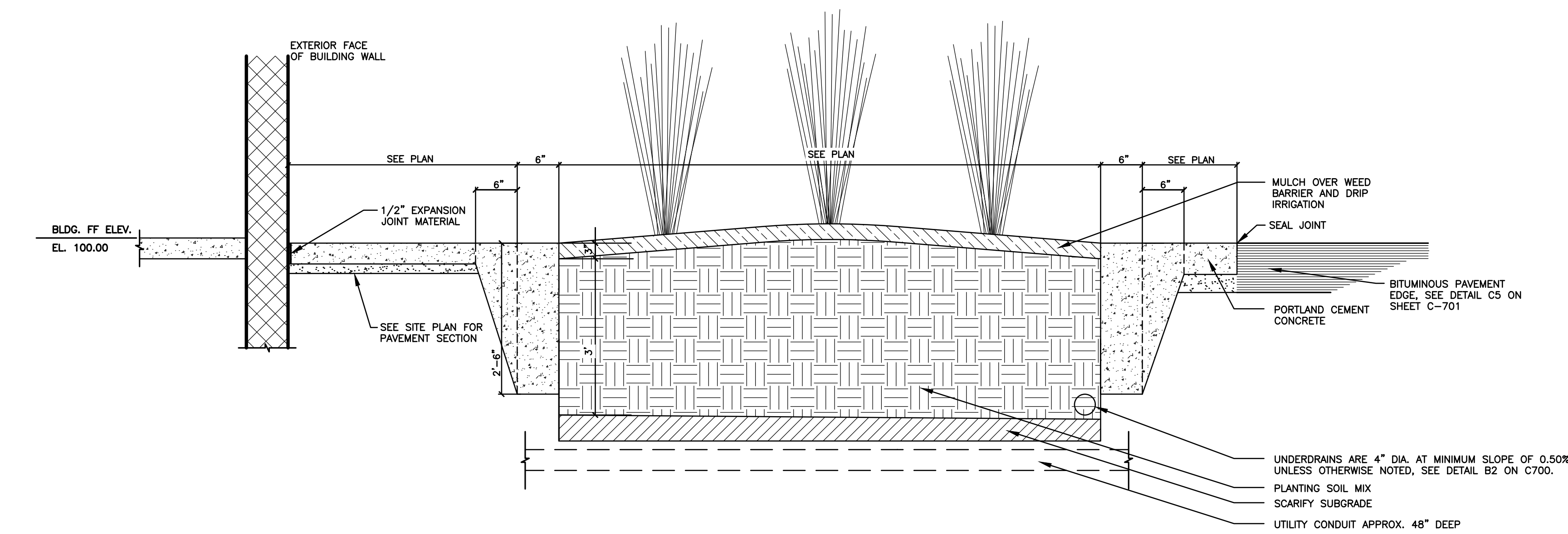
LAWN AREA SEED MIXTURE (TYPE A)			
COMMON NAME	PROPT BY WEIGHT	PERCENT PURITY	PERCENT GERMINATION
KENTUCKY BLUE GRASS	20%	95%	85%
TALL FESCUE	70%	95%	85%
PERENNIAL RYE GRASS	10%	95%	85%

APPLICATION RATE: 8 LBS/1000 FT²

NON-LAWN AREA (TYPE B)			
COMMON NAME	PROPT BY WEIGHT	PERCENT PURITY	PERCENT GERMINATION
KENTUCKY BLUE GRASS	30%	95%	85%
KENTUCKY 31 FESCUE	40%	95%	85%
PERENNIAL RYE GRASS	30%	95%	85%

APPLICATION RATE: 5 LBS/1000 FT²

D5 GRASS SEED SCHEDULE
NTS



B1 FRONT PLANTER LANDSCAPE SECTION
NTS

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MEIJER STORE MED
 1105 N COURT STREET
 MEDINA, OHIO 44256

LANDSCAPE DETAILS

ISSUED FOR:	
PERMIT	MM/DD/YY
BID	MM/DD/YY
CONSTRUCTION	MM/DD/YY

PROJECT MANAGER	DESIGNER
BLS	JMR

JOB NO.
10017851

C-601



REV.	DATE	DESCRIPTION

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MEIJER STORE MED
 1105 N COURT STREET
 MEDINA, OHIO 44256

SITE ELECTRICAL DETAILS

ISSUED FOR:	
PERMIT	MM/DD/YY
BID	MM/DD/YY
CONSTRUCTION	MM/DD/YY
PROJECT MANAGER	DESIGNER
BLS	JMR

JOB NO.
10017851

C-802



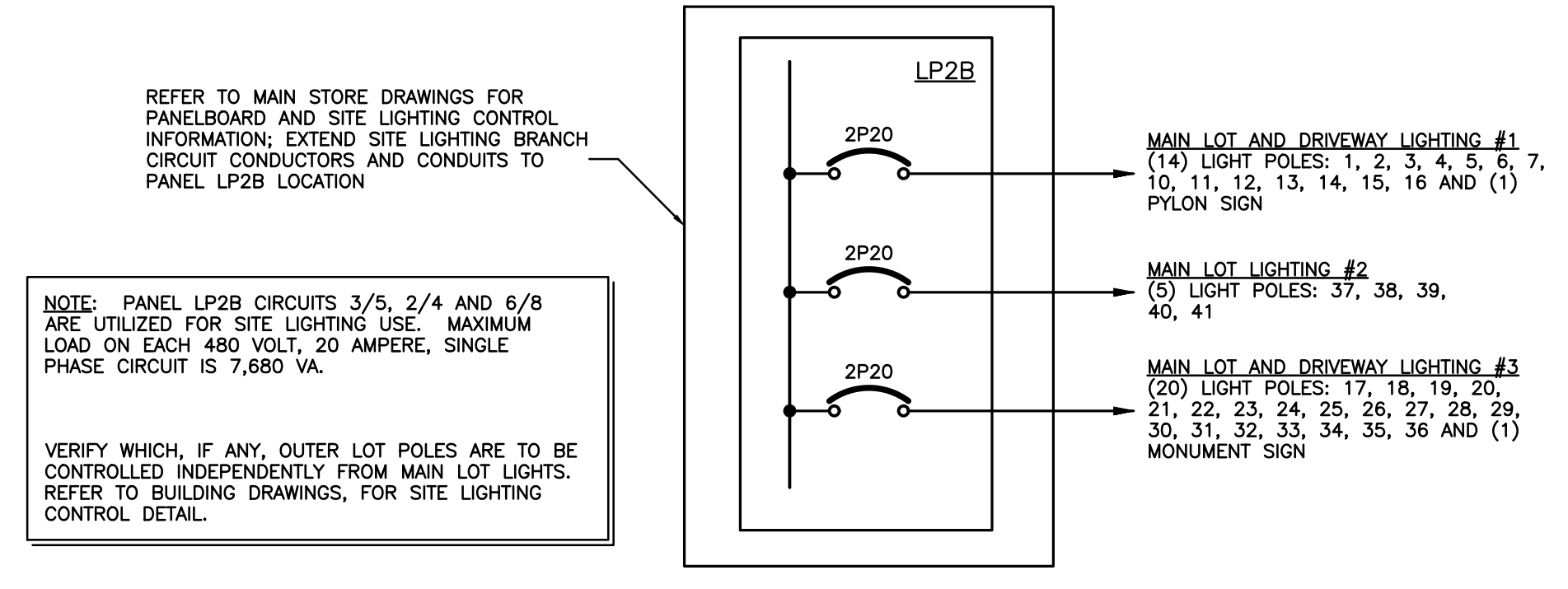
D5 POLE FIXTURE - TYPE Sx
NTS



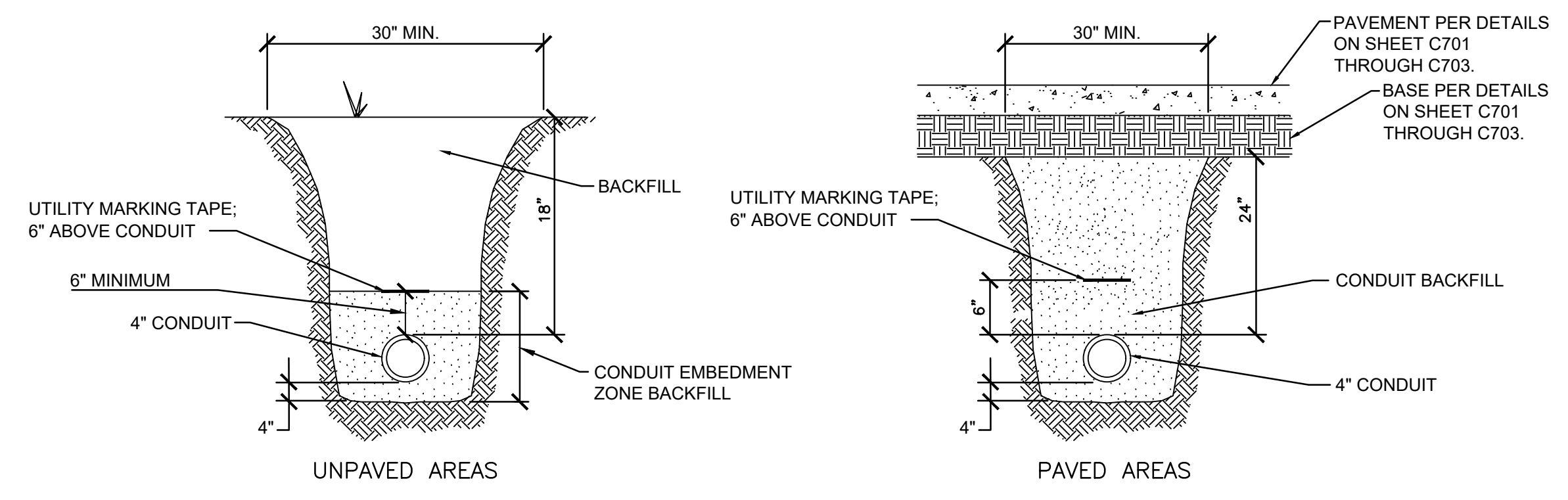
C4 WALL PACK - TYPE WM3
NTS



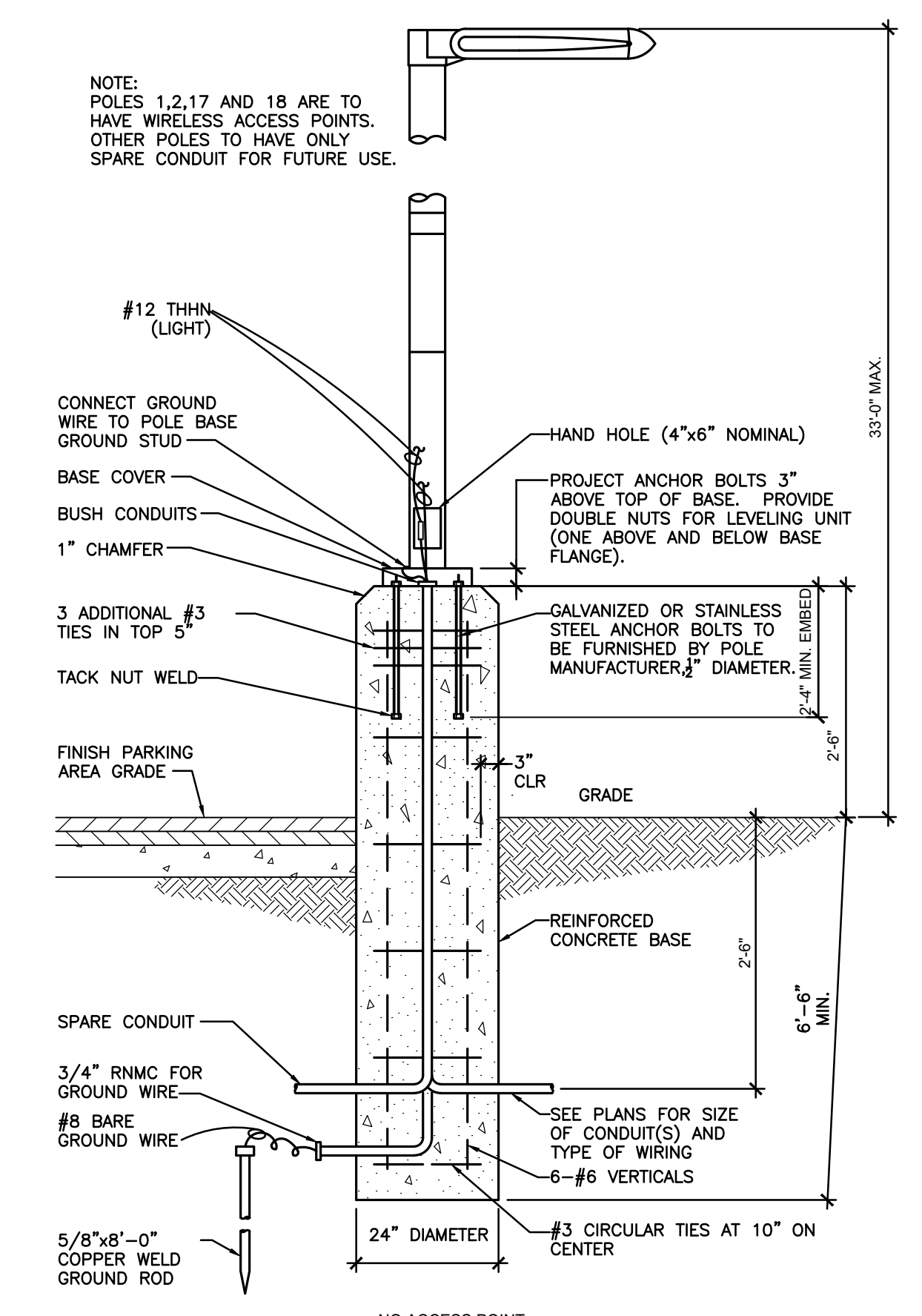
C5 WALL PACK - TYPE WM4
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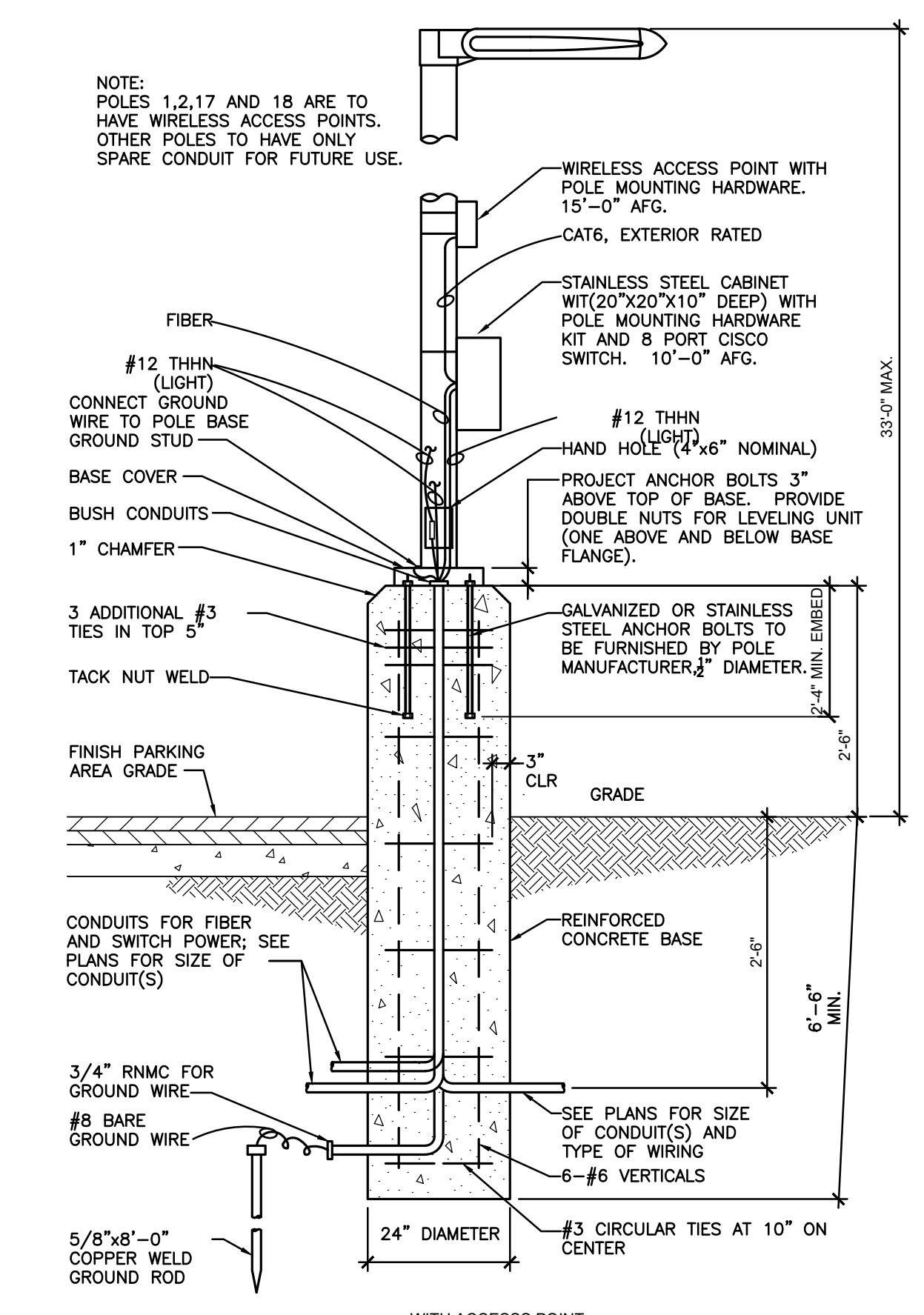
D1 LUMINAIRE WIRING DIAGRAM
NTS



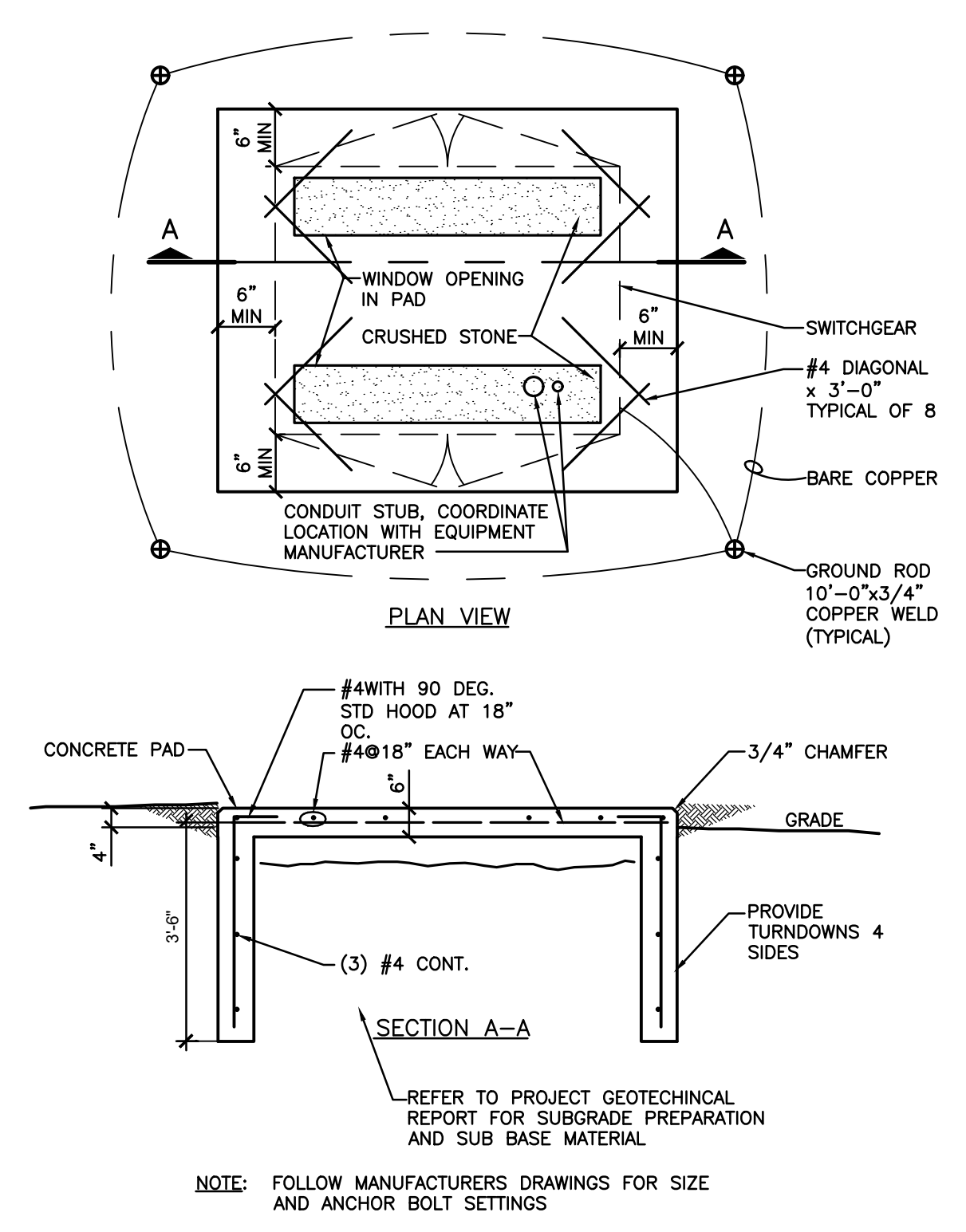
C1 UTILITY TRENCH
NTS



A1 RAISED CONCRETE LIGHTING BASE DETAIL
NTS



A2 RAISED CONCRETE LIGHTING BASE DETAIL
NTS

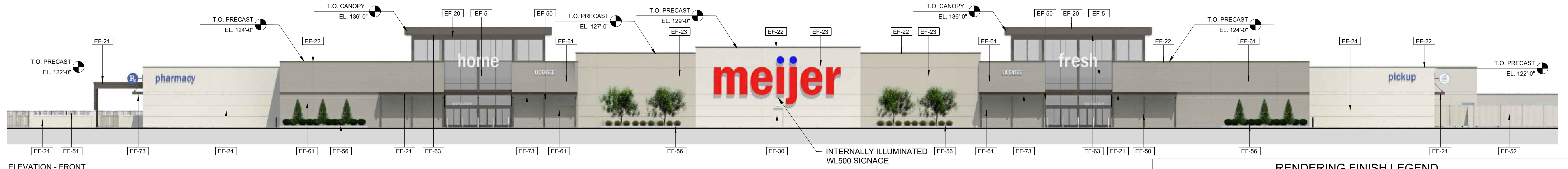


A3 TRANSFORMER VAULT DETAIL
NTS

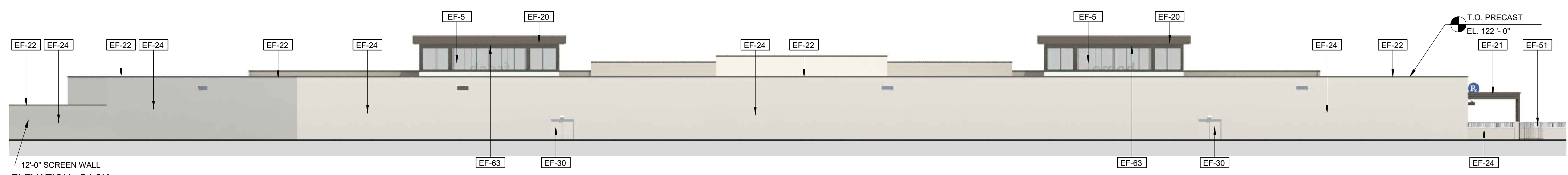
- LEGEND**
- UE — UNDERGROUND ELECTRICAL
 - UCP — UNDERGROUND COMMUNICATIONS PRIMARY
 - UCS — UNDERGROUND COMMUNICATIONS SECONDARY
 - UCT — UNDERGROUND COMMUNICATIONS TETHER FROM MS TO CS
 - E — UNDERGROUND (AS NOTED)
 - UL — UNDERGROUND LIGHTING
 - UF — UNDERGROUND 6 STRAND SINGLE MODE FIBER
 - UP — UNDERGROUND POWER FOR NETWORK SWITCH

Images: rs3-led-dbd4d_005.jpg; WM3-WM4 - Ito-xspw-security-011414-007_ofw=546h=546.jpg; WM4 - 1023186.jpg; Meijer MED - Additional Survey.jpg; Topo Aerial.jpg; . Xrefs: 10017851-x.dwg; 10017851-tblk.dwg; 10017851-p.dwg; 10017851-photometric.dwg
 User: C:\Users\jrichardson\OneDrive\Documents\C-802 SITE ELECTRICAL DETAILS
 Last Saved By: jrichardson; 5/18/2023 12:20:33 PM
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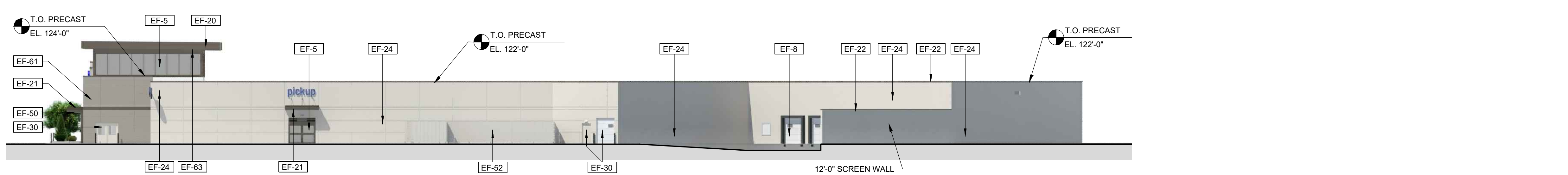




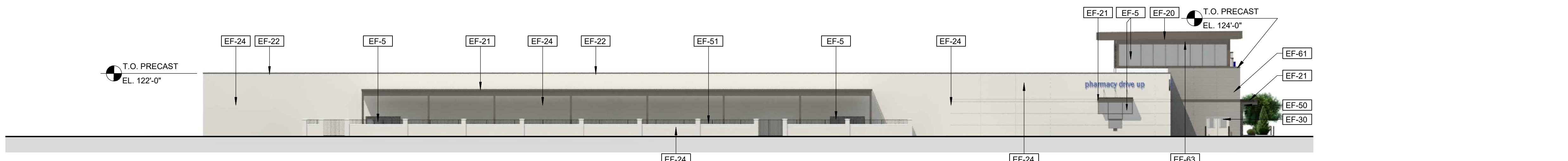
ELEVATION - FRONT



ELEVATION - BACK

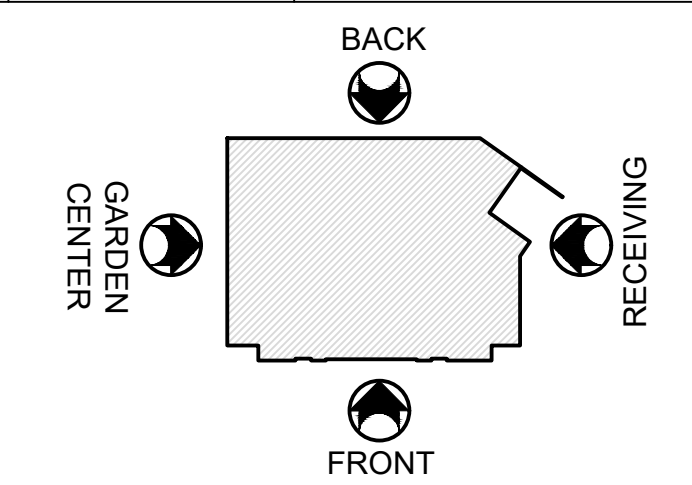


ELEVATION - RECEIVING



ELEVATION-GARDEN CENTER

RENDERING FINISH LEGEND			
CODE	FINISH	PRODUCT	COLOR
EF-5	ENTRANCE AND STOREFRONT FRAMES - 1" INSULATED GUARDIAN GLASS - CRYSTAL GRAY SN68	--	DARK BRONZE ANODIZED ALUMINUM
EF-5A	1" INSULATED SPANDREL PANEL WITH CRYSTAL GRAY SN68 AND WARM GRAY SPANDREL PANEL	--	WARM GRAY
EF-8	SECTIONAL OVERHEAD DOORS	--	WHITE
EF-20	CANOPY FASCIA PANEL AND SOFFIT	PAC-CLAD	DARK BRONZE
EF-21	SHEET METAL FLASHING AND TRIM - EDGE FLASHING AT CANOPY	PAC-CLAD	DARK BRONZE
EF-22	SHEET METAL FLASHING AND TRIM - EDGE FLASHING AT PARAPET	PAC-CLAD	DARK BRONZE
EF-23	INSULATED PRECAST CONCRETE WALL W/ TEXTURED CONCRETE FINISH	AP	SW 7017 DORIAN GRAY
EF-24	INSULATED PRECAST CONCRETE WALL W/ TEXTURED CONCRETE FINISH	AP	SW 7015 REPOSE GRAY
EF-30	FIELD PAINTED STEEL - HOLLOW METAL DOORS & FRAMES	SHERWIN WILLIAMS	SW 7015 REPOSE GRAY
EF-50	STEEL SUPPORT	--	DARK BRONZE STEEL BEAM
EF-51	DECORATIVE ALUMINUM FENCE	--	BLACK
EF-52	GALVANIZED STEEL FENCE W/ VINYL SLATS	--	--
EF-56	CONCRETE PLANTER	--	CAST IN PLACE CONCRETE PLANTER
EF-61	CONCRETE FORMLINER 2/82 COLORADO	RECKLI	SW 7018 DOVETAIL GRAY
EF-63	VENTED SOFFIT PANEL - UNA CLAD UC-500	FIRESTONE	DARK BRONZE
EF-73	FIELD PAINTED STEEL - METAL DECKING	SHERWIN WILLIAMS	DARK BRONZE



MEDINA, OHIO
NORTH COURT STREET

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. BECAUSE OF INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OF THE MATERIAL SAMPLES PROVIDED.

