



BOARDS & COMMISSIONS APPLICATION

132 North Elmwood Avenue
330-722-9038
www.medinaoh.org

Application Number P23-12

GENERAL	Date of Application <u>5-18-23</u> Property Location <u>310 E. Smith Rd. Medina Ohio</u> Description of Project <u>I would like to demolish this house for future parking + expansion of Jodway HVAC. The house needs many updates like a new foundation, roof, wiring, and drywall to replace plaster. We need space more than this house</u>
CONTACT INFORMATION	Applicant Name <u>Mike Jodway</u> Address <u>1113 Merimack Circle</u> City <u>Medina</u> State <u>OH</u> Zip <u>44256</u> Phone <u>330 441 2507</u> Email <u>mjodway@gmail.com</u> Property Owner Name <u>Same</u> Address _____ City _____ State _____ Zip _____ Phone _____ Email _____
APPLICATION TYPE	Planning Commission Site Plan <input type="checkbox"/> Conditional Zoning Certificate <input type="checkbox"/> Code or Map Amendment <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Conditional Sign (EMC/Shopping Ctr) <input type="checkbox"/> Cert. of Appr. (TCOV) <input checked="" type="checkbox"/> Other <input type="checkbox"/> Historic Preservation Board Certificate of Appropriateness <input type="checkbox"/> Conditional Sign <input type="checkbox"/> Board of Zoning Appeals Variance <input type="checkbox"/> Appeal <input type="checkbox"/>
APPLICANT SIGNATURE	By signing this application, I hereby certify that: 1) The information contained in this application is true and accurate to the best of my knowledge; 2) I am authorized to make this application as the property owner of record or I have been authorized to make this application by the property owner of record; 3) I assume sole responsibility for correspondence regarding this application; and 4) I am aware that all application requirements must be submitted prior to the formal acceptance of my application. Signature <u>Mike Jodway</u> Date <u>5-18-23</u>
OFFICIAL USE	Zoning District <u>M-U</u> Fee (See Fee Sheet) \$ <u>50</u> Meeting Date <u>6/8/23</u> Check Box when Fee Paid <input checked="" type="checkbox"/>

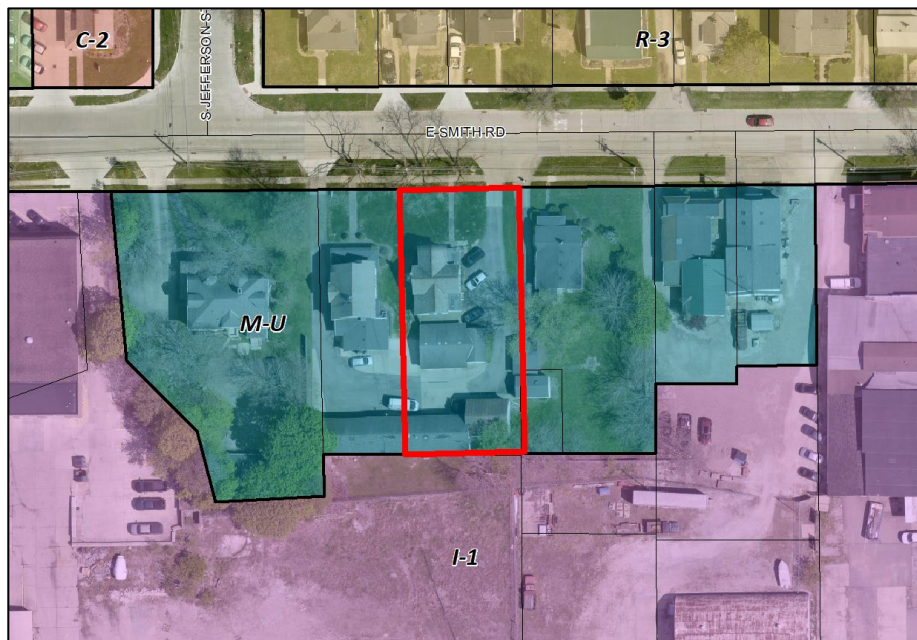
P23-12 Jodway TC-OV Building Demolition

Property Owner: Mike and Kolleen Jodway
Applicant: Mike Jodway
Location: 310 East Smith Road
Zoning: M-U Multi-Use
Request: Certificate of Appropriateness approval for the demolition of two buildings in the Transitional Corridor Overlay District

LOCATION AND SURROUNDING USES

The subject site is composed of 0.20 acres on the south side of East Smith Road. Adjacent properties include the following uses and zoning:

- North – Single-Family Residential (R-3)
- East – Single-Family Residential (M-U)
- South – Vacant (I-1)
- West – Jodway Heating & Cooling (M-U)



BACKGROUND & PROPOSED APPLICATION

The subject property contains a single-family home and multiple outbuildings associated with Jodway Heating and Cooling. The application is proposing the demolition of the single family home and small rear garage:

- The two-story single-family home was built in 1900 and has vinyl siding and a partial slate roof.
- The home is 1,332 sq. ft. and has a full basement.
- The rear single-car garage is approximately 240 sq. ft. in area and has wood siding and an asphalt shingle roof.

The applicant has indicated that the buildings will be demolished for future business growth. However, no plans have been submitted at this time and the footprints of the building will need to be returned to lawn.

The applicant has also stated that the single-family home's windows need to be replaced, the foundation leaks affecting the usability of the basement, and the rear garage restricts vehicle maneuverability.

BUILDING OFFICIAL REVIEW

Dan Gladish, the City of Medina Chief Building Official, inspected the single-family home and provided the attached comments. In general, he indicated the home is mostly in good to fair condition, though there are issues regarding the basement, stair railing, and lack of yard space.

TC-OV REQUIREMENTS OVERLAY DEVELOPMENT GUIDELINES

The criteria contained in the Overlay District Development Guidelines shall be used by the Planning Commission to guide their decision. However, there are no sections of the Overlay District Development Guidelines that specifically address the demolition of buildings.

TCOV.4(b) may be applicable to the demolition of the single car garage and states "provide for the safe and functional movement of vehicles and pedestrians both on and off-site".

COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION

Staff recommends approval of application P23-12 concerning the demolition of the small detached garage. However, staff recommends the demolition of the single-family home not be approved at this time and revisited when plans are available for redevelopment of the site or if the applicant can provide additional information to demonstrate substantial concerns regarding the condition of the structure

Andrew Dutton

From: Andrew Dutton
Sent: Thursday, May 18, 2023 3:10 PM
To: 'mjodway@gmail.com'
Subject: Demolition Application

Mike,

Thanks for dropping off the demolition request application to be heard by the Planning Commission on 6/8.

I would recommend providing additional information regarding the application such as more specific details on why the house needs updates, the proposed use of the space in short term (grass) and long term plans, or anything else that may be helpful.

I just want the Commission to have as much information as possible so they are comfortable making a decision on 6/8.

If you could send that to me by the end of next week, either a hard copy or email, I can get it in their packets. Thanks

Andrew Dutton

Community Development Director

City of Medina

adutton@medinaoh.org

330-722-9023



5-18-23

To the planning Commission

The main reason for demolishing this house is for the future growth of Jodway Heating & Cooling. My son Ryan took over last year and has already added two tracks and four employees.

The house is approximately 110 years old with the original Slate roof

The wooden windows are original and need to be replaced.

The foundation is brick and leaks when it rains making the basement unusable.

At the very least I need to demolish the white single car garage for our tracks and delivery trucks to have easier access in and out

Thank you,
Mike Jodway

E SMITH RD

Building
to
Demo

Garage
to
Demo



0 10 20 30 40 Feet



[Tax Bill](#) [Aerial Imagery](#) [Parcel Viewer](#) [Transfers](#) [Tax Distribution](#) [Tax Map](#)

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Parcel Information

Parcel Number	028-19D-02-008
Owner Name	JODWAY KOLLEEN E & MICHAEL A
Location	310 E SMITH RD 028 - Medina City (Medina City SD)
Property Class	499 Property Class Codes
Acreage	0.189400
Legal Description	LOT 1061 N E COR .000A
Tax Mailing Address	JODWAY KOLLEEN E & MICHAEL A 1113 MERIMACK CIRCLE MEDINA, OH 44256 USA

Value

Land Value	66,820
CAUV Value	0
Building Value	59,970
Total Value	126,790

Taxable Value

Taxable Land Value	23,390
Taxable CAUV Value	0
Taxable Building Value	20,990
Taxable Total Value	44,380

Dwelling Information

Card Number	001
Year Built	1900
Story Height	2.00
Extension Walls	Siding-Wide
Fireplace Openings	0
Heating	Central Warm Air
Central Air	Yes
Full Baths	1
Half Baths	0
Bedrooms	4

Dwelling Information

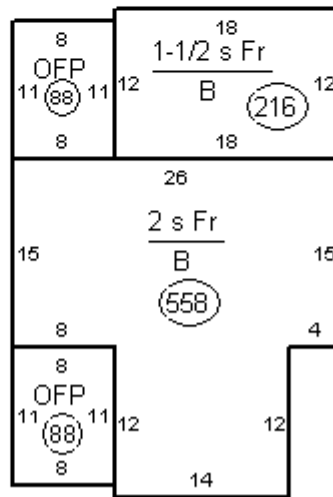
Attic	None
Attic Area	0
Second Floor Area	558
Upper Floor Area	108
First Floor Area	774
Basement	Full Basement
Basement Area	774
Open Frame Porch Area	88
Open Frame Porch Area	88

Dwelling Sketch - Card Number 001

6

4

5



Sketch Codes Key

Other Improvements

Card Number	Key	Improvement	Width	Length	Area	Year Built
001	04	Residential Detached Garage	12	20	240	1900
001	05	Pole Garage	24	26	624	1988
001	06	Residential Detached Garage	20	24	480	1900



North and West Sides of the Building



East Side of the Building



East and South Sides of the Building











Dennis Hanwell, Mayor

132 North Elmwood Ave.
P.O. Box 703
Medina, Ohio 44258-0703
Phone: 330-725-8861
Fax: 330-722-9045
www.medinaoh.org

May 26, 2023

Re: Vacant Single-Family Rental Home located at 310 East Smith Road

I was asked to check the condition of the house and provide a brief description. Property owner gave permission to go inside and walk around the exterior.

See photos dated May 19, 2023.

House is a single family two story with low ceiling basement.

First floor – living room, dining room, kitchen, 1- ½ bath and laundry room.

Overall condition is good. There is some sagging and unlevel floors in the bathroom and dining room.

Second floor – three bedrooms or two bedrooms and play room.

Overall condition is good. The stairs are somewhat steep and the stair railings are low.

Basement – full basement, consisting of two rooms.

Foundation wall are constructed with red bricks which makes it difficult to damp or water proof.

Basement is very wet damp and moldy with strong odor of mold and mildew.

Exterior – vinyl siding, original single pane windows, slate roof on main part of house, asphalt shingles on porch roofs.

Overall condition is good. Porch roofs are in need repairs. Windows are single pane with storm windows. The rear yard is limited for residential use, backs up to a commercial business and parking lot.

Mechanicals - updated furnace, air conditioning, water heater, some plumbing and electrical.

All appears to be in working order.

Concerns would be the basement, second floor stair railing and no residential use of the rear yard, especially with children.

Sincerely

Dan Gladish

City of Medina Building Department

Map

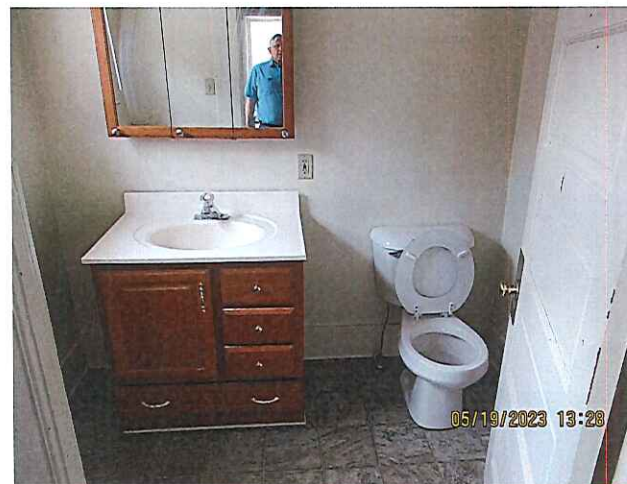
310 EAST SMITH ROAD



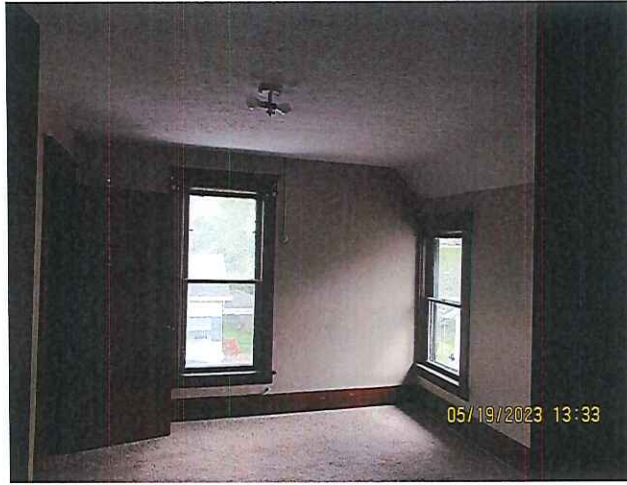


310 EAST SMITH ROAD

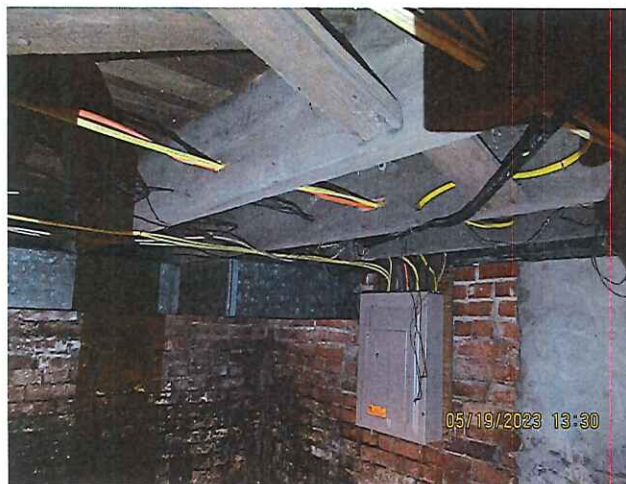
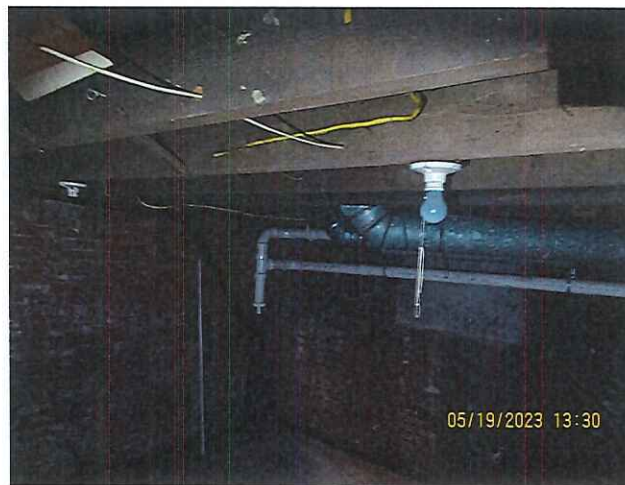
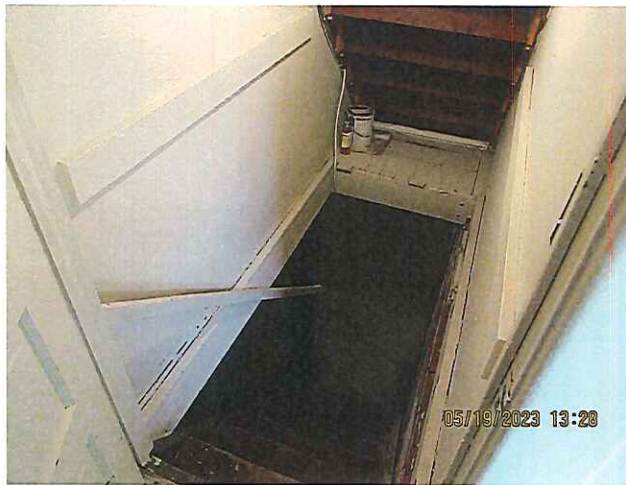
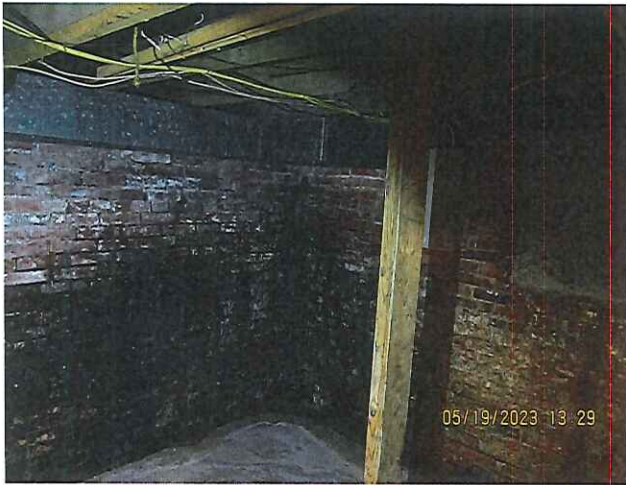




FIRST FLOOR



SECOND FLOOR

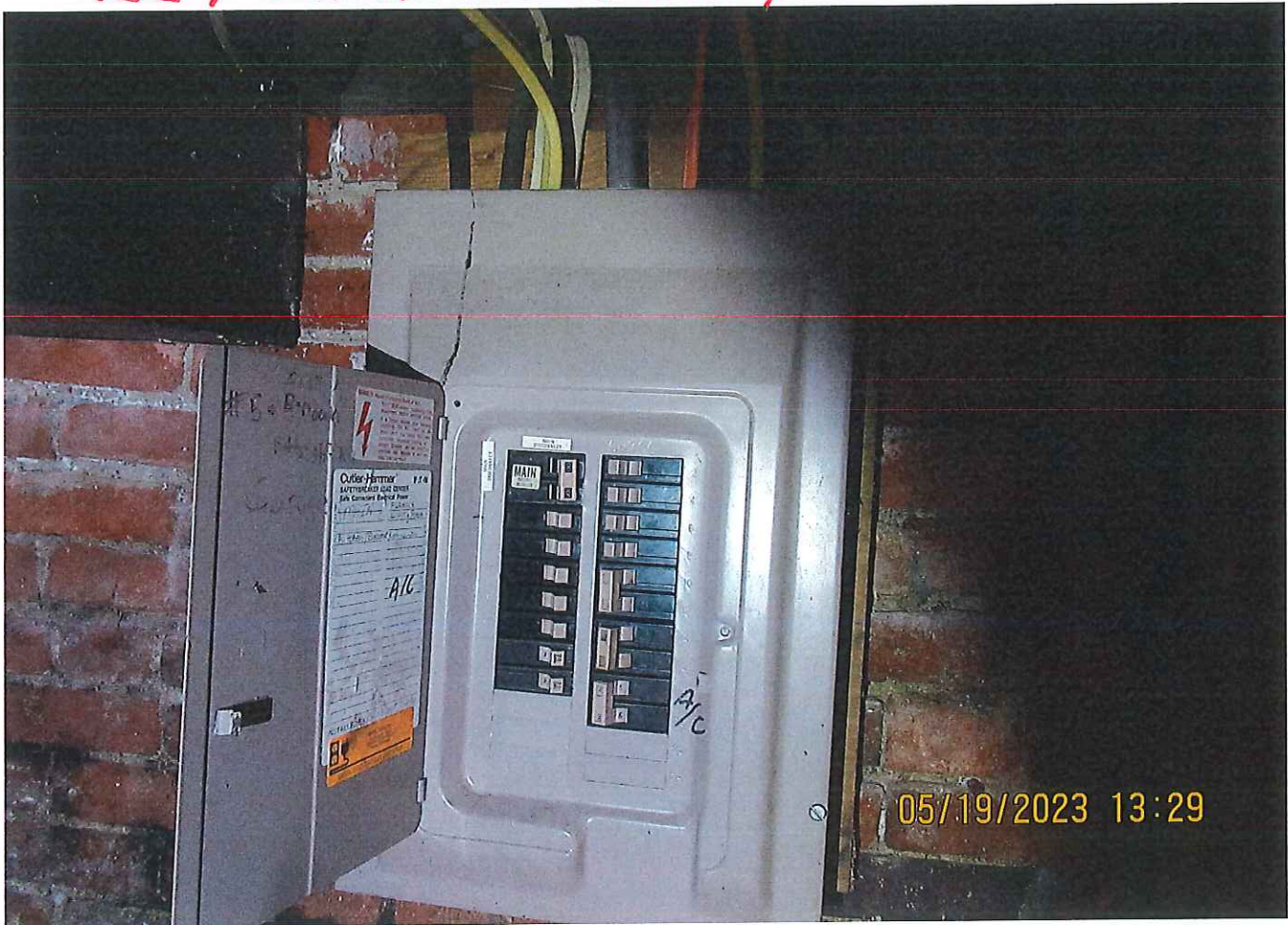


BASEMENT



05/19/2023 13:29

WET DAMP AND MOLDY



05/19/2023 13:29

