



# BOARDS & COMMISSIONS APPLICATION

132 North Elmwood Avenue  
330-722-9038  
www.medinaoh.org

Application Number P23-13

<b>GENERAL</b>	Date of Application <u>5-31-23</u> Property Location <del>1170 W. Smith Rd.</del> <u>1170 W. Smith Rd.</u> Description of Project <u>Commercial Building (3) suite for Becco, Inc.</u>
<b>CONTACT INFORMATION</b>	<b>Applicant</b> Name <u>Ron Bengough Jr.</u> Address <u>5991 Wolff Rd.</u> City <u>Medina</u> State <u>OH</u> Zip <u>44256</u> Phone <u>216-470-3901</u> Email <u>info@beccoexcavating.com</u> <b>Property Owner</b> Name <u>1170 W. Smith Rd. LLC</u> Address <u>P.O. Box 457</u> City <u>Hackley</u> State <u>OH</u> Zip <u>44237</u> Phone <u>216-470-3901</u> Email <u>info@beccoexcavating.com</u>
<b>APPLICATION TYPE</b>	Planning Commission Site Plan <input checked="" type="checkbox"/> Conditional Zoning Certificate <input type="checkbox"/> Code or Map Amendment <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Conditional Sign (EMC/Shopping Ctr) <input type="checkbox"/> Cert. of Appr. (TCOV) <input type="checkbox"/> Other <input type="checkbox"/> Historic Preservation Board Certificate of Appropriateness <input type="checkbox"/> Conditional Sign <input type="checkbox"/> Board of Zoning Appeals Variance <input type="checkbox"/> Appeal <input type="checkbox"/>
<b>APPLICANT SIGNATURE</b>	By signing this application, I hereby certify that: 1) The information contained in this application is true and accurate to the best of my knowledge; 2) I am authorized to make this application as the property owner of record or I have been authorized to make this application by the property owner of record; 3) I assume sole responsibility for correspondence regarding this application; and 4) I am aware that all application requirements must be submitted prior to the formal acceptance of my application.  Signature <u>[Signature]</u> Date <u>5-31-23</u>
<b>OFFICIAL USE</b>	Zoning District <u>I-1</u> Fee (See Fee Sheet) \$ _____ Meeting Date <u>7-13-23</u> Check Box when Fee Paid <input type="checkbox"/>

**P23-13**  
**Becco Excavating**

Property Owner: 1170 W Smith Road LLC  
Applicant: Ron Bengough Jr.  
Location: 1170 West Smith Road  
Zoning: I-1 (Industrial)  
Request: Site Plan approval for a multi-tenant industrial and office building

**LOCATION AND SURROUNDING USES**

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The subject site is composed of 7.6 acres located on the south side of West Smith Road. Adjacent properties contain the following uses and zoning:

- **North** – Single-Family Residential (I-1)
- **South** – Industrial (I-1)
- **East** – Industrial (I-1)
- **West** – Single-Family Residential and Agriculture (Unincorporated)



**BACKGROUND & PROPOSED APPLICATION**

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The applicant is proposing the construction of a 17,728 sq. ft. office and warehouse building to be initially occupied by Becco Excavating. The building has the ability to accommodate three total units.

**DEVELOPMENT STANDARDS**

The proposed building is located in the I-1 zoning district. The following table indicates general development standard requirements in the zoning district:

	<b>Required</b>	<b>Proposed</b>
Minimum Lot Frontage	100 ft.	232 ft.
Minimum Front Setback	25 ft.	100 ft.
Minimum Side Setback (Residential)	50 ft.	77 ft.
Minimum Side Setback (Nonresidential)	25 ft.	49 ft.
Maximum Building Height	40 ft.	24 ft.

The project meets the applicable development standards.

**PARKING, ACCESS, AND CIRCULATION**

Access and Circulation – The site has two access points off of West Smith Road that accommodate two way traffic. Access drives and aprons meet minimum and maximum width requirements. Traffic on the side and the rear of the building is one way counterclockwise.

Required Off-Street Spaces – Offices uses require a minimum of 1 parking space for every 400 sq. ft. The 4,000 sq. ft. of office space in the building requires 10 spaces. Warehouse uses required “enough to satisfy all the parking needs of the proposed use”.

The site incorporates 20 parking spaces in front of the building, which would appear to be adequate for the proposed office and warehouse uses.

Parking Dimensions – Ninety-degree parking spaces must be 9 ft. in width and 19 ft. in length with a 24 ft. wide drive aisle. The proposed site meets this standard.

Loading Zones – A compliant loading space is shown on the south side of the parking area, to the rear of the building. In addition, four overhead doors are located at the rear of the building, which provide for deliveries.

Sidewalk – A public sidewalk is not proposed and a public sidewalk does not exist on West Smith Road in the area. The Planning Commission may waive the requirement to install a public sidewalk in the I-1 zoning district.

**LANDSCAPING, SCREENING, AND BUFFERING**

Parking Lot Landscaping – Landscape features or other visual barriers are required between parking and the right-of-way. Plans show landscaping between parking and the right-of-way.

Interior parking lot landscaping is provided at the required 5 sq. ft. per 100 sq. ft. of parking area.

Buffering and Screening – Landscape features or other visual barriers are required between the site and residential properties to the west. A row of White Pine trees is located on the west side of the property to provide a buffer, which is partially on a small mound.

Trash Enclosure – A trash enclosure is shown on the west side of the site which is compliant with setback requirements. An enclosure is noted, but the height and material are not indicated.

### **ENGINEERING AND FIRE DEPARTMENT COMMENTS**

At this time, the Engineering and Fire Departments have not provided comments regarding the project.

### **UTILITIES AND STORMWATER**

The site has access to public water and sanitary sewer service. A stormwater detention basin is indicated to the southwest of the building.

### **BUILDING ELEVATIONS AND LIGHTING**

Architectural plans illustrate an attractive industrial building predominantly composed of dark vertical metal siding and brick veneer accents. Office areas in the front of the building incorporate windows, glass door areas, and brick veneer columns.

A lighting plan has not been submitted at this time. Lighting must comply with Section 1145.09(c) including a photometric plan, full cut-off fixtures, and a maximum lighting height of 25 ft.

### **SITE PLAN REVIEW STANDARDS**

The Planning Commission's review and action shall be based on the following Standards per Section 1109.02(c):

- (1) The site plan shows that a proper relationship does exist between thoroughfares, service roads, driveways and parking areas to encourage pedestrian and vehicular traffic safety.
- (2) All the development features including the principal buildings, open spaces, service roads, driveways and parking areas are so located and related as to minimize the possibility of any adverse effects upon adjacent development.
- (3) The site plan includes adequate provision for the screening of parking areas, service areas and active recreation areas from surrounding properties by landscaping and/or ornamental walls or fences. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (4) Grading and surface drainage provisions are reviewed and approved by the City Engineer.
- (5) The design and construction standards of all private streets, driveways and parking areas are to be built following approval of plans by the City Engineer according to construction standards specified in the Codified Ordinances.
- (6) Maximum possible privacy for multi-family dwellings and surrounding residential properties shall be provided through good design and use of proper building materials and landscaping. Visual privacy should be provided through structural screening and landscaping treatment. Auditory privacy in multi-family dwellings should be provided through soundproofing. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (7) The architectural design of buildings should be developed with consideration given to the relationship of adjacent development in terms of building height, mass, texture, materials, line and pattern and character.
- (8) Building location and placement should be developed with consideration given to minimizing removal of trees and change of topography. Any trees to be removed which are planted in a public right-of-way or on municipal property shall be reviewed by the Shade Tree Commission.
- (9) In multi-family developments, television and other antennas shall be centralized.
- (10) On-site circulation shall be designed to make possible adequate fire and police protection.

- (11) Off-street parking facilities shall be provided in accordance with Chapter 1145. In large parking areas, visual relief shall be provided through the use of tree planted and landscaped dividers, islands and walkways. In multi-family developments no parking or service areas shall be permitted between any street and the main building. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (12) Signs shall be provided in accordance with these Codified Ordinances.
- (13) Any trees planted on site shall be on approved list of Shade Tree Commission and planted in accordance with Commission standards.

**COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION**

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Staff recommends **approval** of application P23-13 for Site Plan approval as submitted, with the following conditions:

- (1) A detail shall be provided for the trash enclosure indicating screening complying with Section 1155.05.
- (2) Exterior lighting information shall be provided complying with Section 1145.09(c) including a photometric plan, full cut-off fixtures, and a maximum lighting height of 25 ft.



# STATE OF OHIO MEDINA COUNTY

## 1170 WEST SMITH ROAD



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05	GRADING & DRAINAGE PLAN
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07	UTILITY PLAN
08	SECTION DETAILS
09	WATER DETAILS
10	SEWER DETAILS
11	SITE DETAILS 1
12	SITE DETAILS 2
13	DRAINAGE DETAILS
14	SWPPP DETAILS 1
15	SWPPP DETAILS 2
LA1	LANDSCAPE PLAN 1
LA2	LANDSCAPE PLAN 2

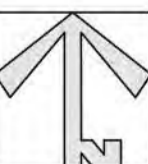
**NOTES**

1. THESE PLANS WERE PREPARED BASED UPON THE FIELD SURVEY COMPLETED BY AZTECN ENGINEERING AND SURVEYING ON THE 7<sup>TH</sup> DAY OF MARCH 2022 AND SEALED BY STAN R LOCH ON THE 15<sup>TH</sup> OF MARCH 2022.
2. THE VERTICAL CONTOURS ARE 1FT
3. OASIS DESIGN HAS UTILIZED THIS SURVEY AND ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED THEREIN.
4. THE SURVEY PROVIDED WAS NOT IN OHIO STATE PLANE COORDINATES AND THEREFORE WAS ROTATED INTO THE COUNTY PROVIDED GIS.
5. PRIOR TO CONSTRUCTION, FIELD VERIFICATION OF EXISTING PROPERTY CORNERS AND MEASUREMENTS TO PROPOSED STRUCTURES SHALL BE VERIFIED BY THE CONTRACTOR.
6. THE STANDARD SPECIFICATIONS OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION, INCLUDING CHANGES AND SUPPLEMENTAL SPECIFICATIONS SHALL GOVERN THIS PROJECT UNLESS OTHERWISE SPECIFIED. WHEN IN CONFLICT THE MEDIAN COUNTY OR CITY OF MEDINA REQUIREMENTS WILL GOVERN.



PO BOX 479  
WADSWORTH, OHIO  
330.419.9777  
WWW.OASISDESIGNSINC.COM  
FIRM AUTHORIZATION NUMBER #17313767

Scale: NTS



**COVER SHEET**

1170 W. SMITH ROAD, MEDINA, OHIO 44256  
DATE: 05-12-20  
PREPARED FOR: 1170 W. SMITH ROAD LLC  
PROJECT # 011-20  
REVISION DATE: 05-18-20, 06-05-20

THIS DOCUMENTS IS FOR INTERIM REVIEW PURPOSES ONLY AND NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.

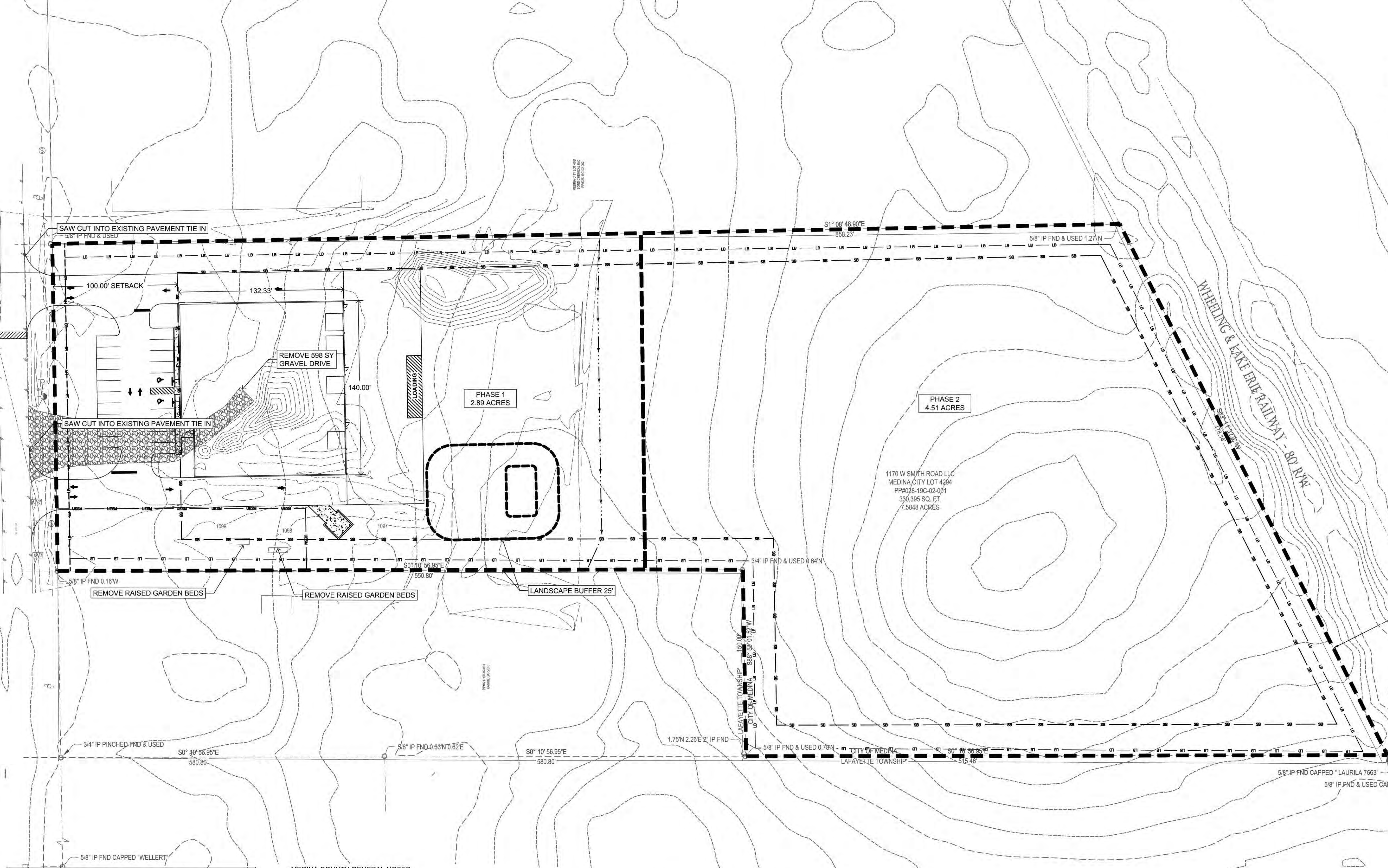
PROJECT MANAGER: JOHN VANNI, P. E.

OHIO LICENSE NUMBER: #1701414

DATE: 07-09-2022

A LANDSCAPE ARCHITECTURE FIRM  
CERTIFICATION #1701414

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**LEGEND**

	CONCRETE PAVEMENT
	CONCRETE RIPRAP
	BOUNDARY LINE
	PROPERTY LINES
	EASEMENTS
	OVERHEAD ELECTRIC
	EDGE OF EXISTING ASPHALT
	TREE TO REMAIN
	TREE TO REMOVE
	IRON ROD FOUND (SIZE NOTED)
	IRON PIPE FOUND (SIZE NOTED)
	BENCHMARK FOUND
	NAIL FOUND
	MONUMENT FOUND
	CLEAN OUT
	ELECTRIC METER
	FIRE HYDRANT
	GATE VALVE
	HANDICAP PARKING
	LIGHT POLE
	VALVE
	WATER VALVE
	WATER METER
	STORM SEWER MANHOLE
	WASTEWATER MANHOLE
	WATER MANHOLE
	SIGN (AS NOTED)
	POWER POLE
	DOWN GUY

John Vanni, PE  
Ohio License E-77145

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**BECCO FLEX BUILDING**  
1170 WEST SMITH ROAD  
Project Number: 011-20  
Prepared for: 1170 W SMITH RD LLC

**OVERALL SITE PLAN**

Date Issued: 06-03-2022  
Revisions: 00-00-00

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PROJECT MANAGER: JOHN VANNI, P.E.  
OHIO SERIAL NUMBER: #1701414  
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**03**

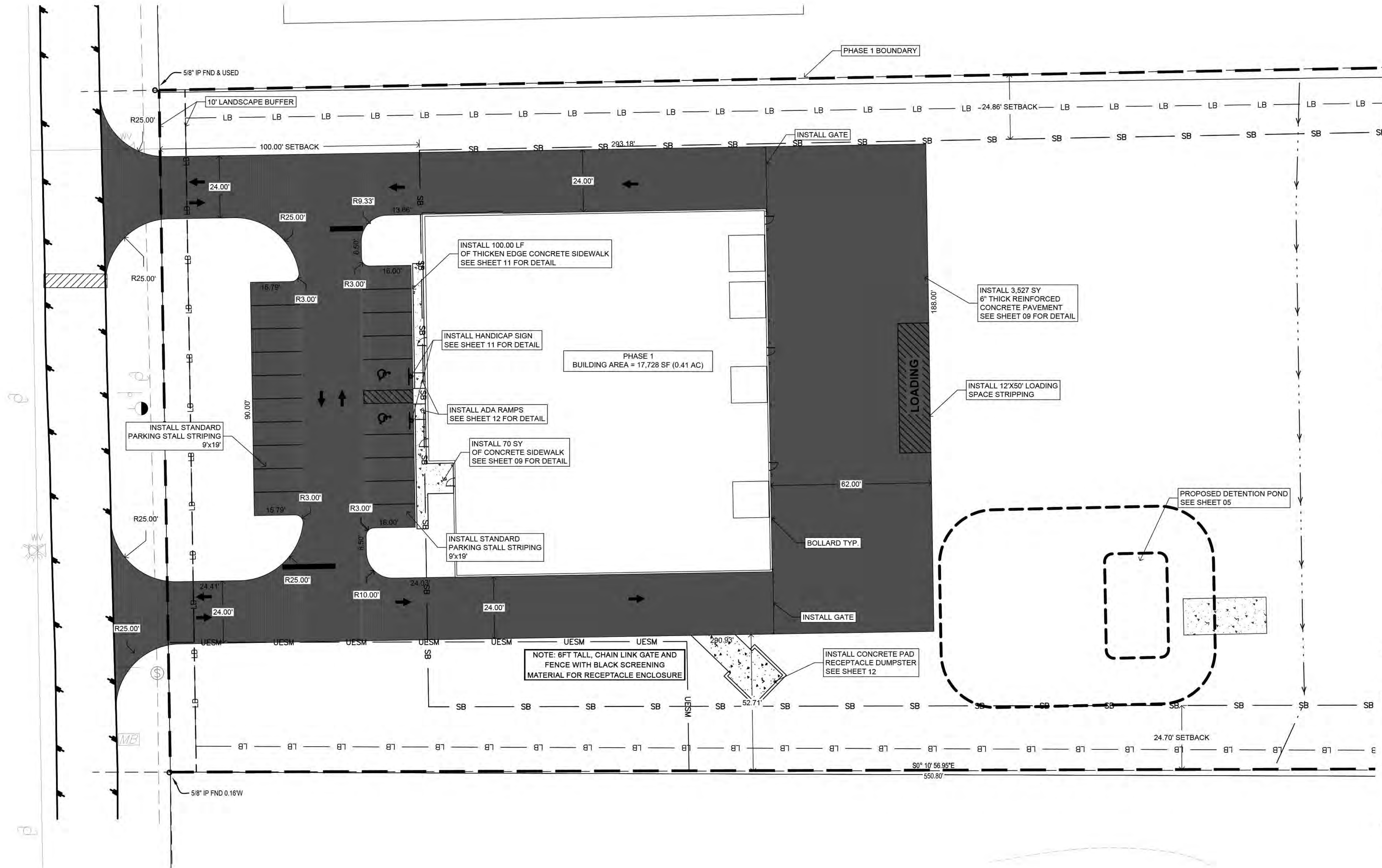
**CAUTION UTILITY NOTE**  
EXISTING UNDERGROUND & OVERHEAD UTILITIES IN VICINITY. CONTRACTOR TO CONTACT UTILITY COMPANIES PRIOR TO CONSTRUCTION. CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS & DEPTH PRIOR TO BEGINNING CONSTRUCTION.

CONTRACTOR SHALL CONSIDER PROPOSED UTILITY IMPROVEMENTS AND PROVIDE ADEQUATE HORIZONTAL AND VERTICAL CLEARANCE DURING INSTALLATION OF ALL UTILITY INFRASTRUCTURE.

- MEDINA COUNTY GENERAL NOTES
1. ALL CONTRACTORS PERFORMING WORK WITHIN THE CITY OF MEDINA MUST BE REGISTERED WITH THE CITY. CONTACT THE CITY OFF MEDINA BUILDING DEPARTMENT (330) 722-9030 FOR REGISTRATION.
  2. THE CONTRACTOR SHALL PROVIDE THE CITY OF MEDINA ENGINEER 48 HOURS NOTICE PRIOR TO IMPLEMENTING ANY CONSTRUCTION ACTIVITIES THAT MAY IMPACT TRAFFIC FLOW ON WEST SMITH ROAD.
  3. ALL CONSTRUCTION WORK WITHIN THE PUBLIC ROAD RIGHT OF WAY MUST BE INSPECTED AT THE TIME OF CONSTRUCTION BY THE CITY OF MEDINA ENGINEERING DEPARTMENT (330) 722-9084

**OVERALL SITE PLAN**  
SCALE: 1" = 40'





**LEGEND**

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- GENERAL NOTES**
- ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
  - NO PERSON SHALL CONSTRUCT, RECONSTRUCT, ALTER, REPAIR, REMOVE, REPLACE, PAVE, REPAVE, SURFACE OR RESURFACE ANY WALK, DRIVE, CURB, GUTTER, PAVED AREA OR APPURTENANCE ON PUBLIC PROPERTY IN THE CITY WITHOUT FIRST OBTAINING FROM THE BUILDING INSPECTOR A PERMIT SO TO DO.
  - NO TRAFFIC LANE OR SIDEWALK ALONG ANY PUBLIC STREET OR ALLEY IS TO BE CLOSED WITHOUT FIRST OBTAINING THE APPROPRIATE PERMIT(S) FROM THE CITY OF MEDINA. LANE CLOSURE OF ANY TRAFFIC LANE MUST BE RESTRICTED TO THE HOURS OF 9:00 A.M. TO 3:30 P.M. WORKDAYS.
  - PRIOR TO ANY GRADING OR FILLING OPERATIONS IN OR WITHIN 10 FEET OF THE 100 YEAR FLOODPLAIN OR A DRAINAGE EASEMENT CONTAINING A CREEK OR OPEN CHANNEL, THE EASEMENT AREA AND 100 YEAR FLOODPLAIN SHALL BE STAKED ONSITE BY A OHIO REGISTERED PROFESSIONAL LAND SURVEYOR (RPLS).
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  - BY THE ACT OF SUBMITTING A BID FOR THE PROPOSED CONTRACT, THE BIDDER WARRANTS THAT THE BIDDER, AND ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS HE INTENDS TO USE HAVE CAREFULLY AND THOROUGHLY REVIEWED THE DRAWINGS AND SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS AND HAVE FOUND THEM COMPLETE AND FREE FROM ANY AMBIGUITIES AND SUFFICIENT FOR THE PURPOSE INTENDED. THE BIDDER FURTHER WARRANTS THAT TO THE BEST OF HIS OR HIS SUBCONTRACTORS AND MATERIAL SUPPLIERS KNOWLEDGE ALL MATERIALS AND PRODUCTS SPECIFIED OR INDICATED HEREIN ARE ACCEPTABLE FOR ALL APPLICABLE CODES AND AUTHORITIES.
  - HORIZONTAL DATUM: OHIO STATE PLANE COORDINATE SYSTEM, OHIO NORTH NAD83(93) 3401

John Vanni, PE  
Ohio License E-77145

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**BECCO FLEX BUILDING**  
1170 WEST SMITH ROAD  
Project Number: 011-20  
Prepared for: 1170 W SMITH RD LLC

Date issued: 06-03-2022  
Revisions: 00-00-00

**04**

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SITE PLAN TABLE	
DESCRIPTION	CONDITION
LOT AREA	330,185 SF (7.58 AC)
PHASE 1 AREA	125,888 SF (2.89 AC)
IMPERVIOUS	52,352 SF (1.21 AC)
FRONTAGE	232 FT
LOT DEPTH	382 / 475 FT
FRONT SETBACK	100 Ft
REAR SETBACK	25Ft
SIDE SETBACK	25 Ft
LAND USE (PROP.)	LIGHT MANUFACTURING
ZONING	INDUSTRIAL

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PROJECT MANAGER: JOHN VANNI, P.E.  
OHIO LICENSE NUMBER: #1701414  
DATE: 07-09-2022

**SITE PLAN**

SCALE: 1" = 20'





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**05**

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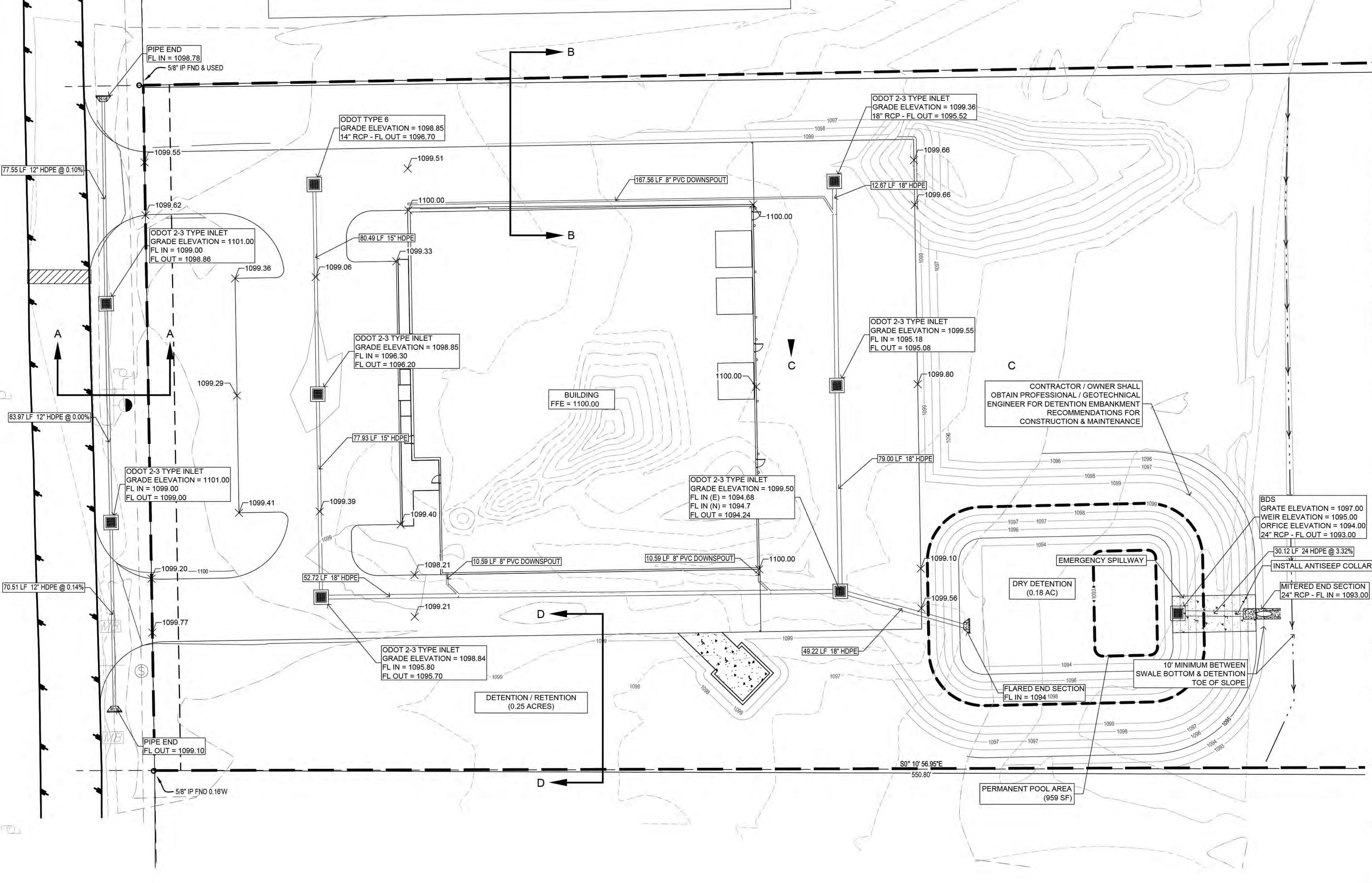
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PROJECT MANAGER: JOHN VANNI, P.E.  
OHIO LICENSE NUMBER: #1701414  
DATE: 07-09-2022

**GRADING & DRAINAGE PLAN**

SCALE: 1" = 20'



**MEDINA COUNTY GENERAL NOTES**

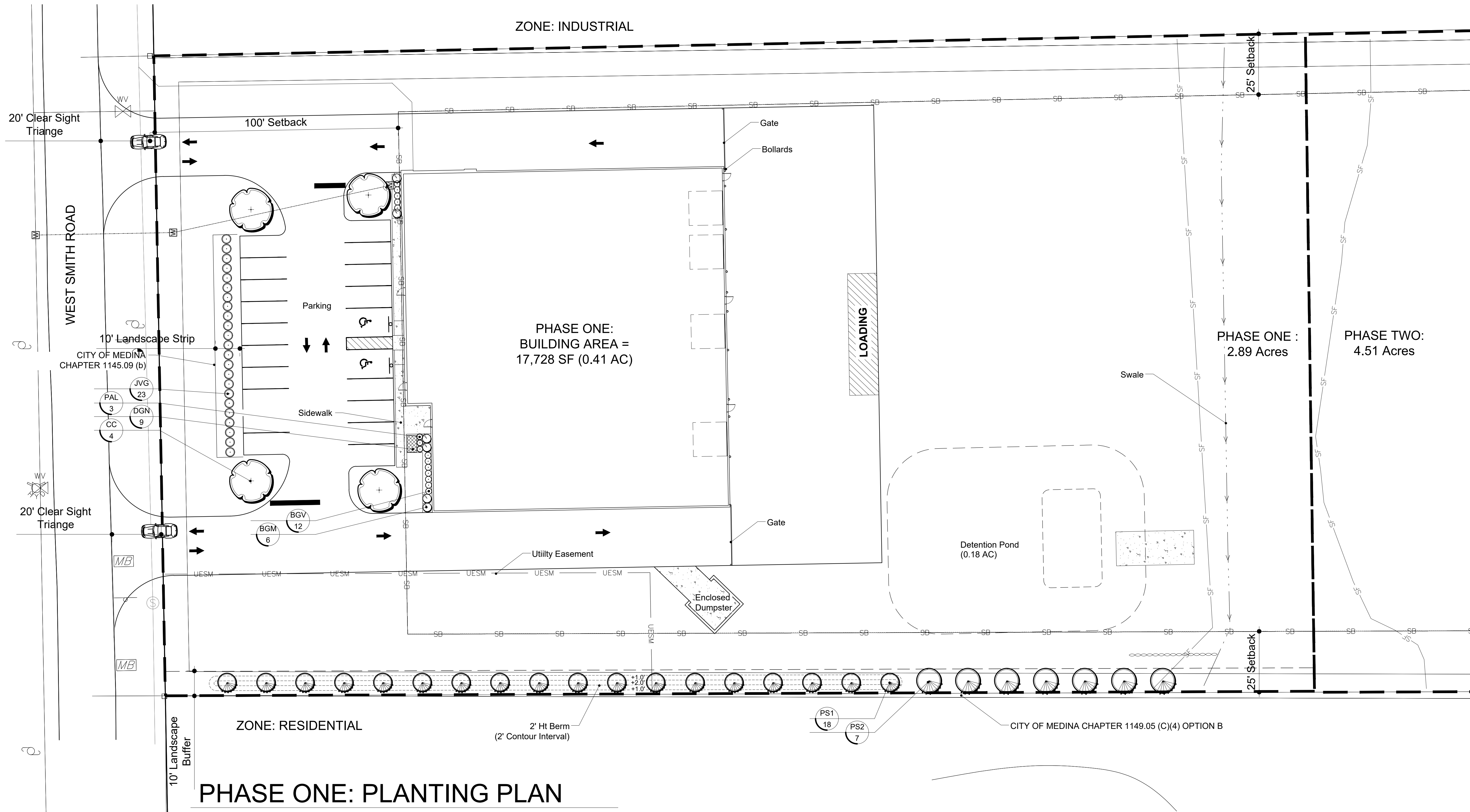
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GRADING & DRAINAGE PLAN



# PHASE ONE: PLANTING PLAN

SCALE: 1" = 20'-0"

## Phase One: Plant List

Date: 5/1/2023

TREES					
Qty	Sym	Botanical Name	Common Name	Specification	Spacing USDA Zone
4	CC	Cercis canadensis 'NC2016-2'	Flame Thrower Redbud	6'-7' Ht Min., 15Gal. or B&B	As Shown 5-9
****18	PS1	Pinus strobus	Eastern White Pine	4' Ht, B&B - Centered on Top of 2' Berm	16" oc 3-8
****7	PS2	Pinus strobus	Eastern White Pine	6' Ht, B&B	16" oc 3-8
ACCENTS					
Qty	Sym	Botanical Name	Common Name	Specification	Spacing USDA Zone
3	PAL	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	2 Gal.	24" oc 5-9
SHRUBS					
Qty	Sym	Botanical Name	Common Name	Specification	Spacing USDA Zone
12	BGV	Buxus x 'Green Velvet'	Green Velvet Boxwood	3 gallon or B&B, 18" oa ht	30" oc 5-8
6	BGM	Buxus x 'Green Mountain'	Green Mountain Boxwood	B&B, 36" oa ht, Pyramidal Form - Matching	48" oc 4-8
23	JVG	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	B&B, 15"-18" ht,	48" oc 4-9
GROUND COVERS					
Qty	Sym	Botanical Name	Common Name	Specification	Spacing USDA Zone
9	DGN	Deutzia gracilis 'Nikko'	Dwarf Nikko Deutzia	3 gallon 15" Ht, Full	18" oc 5-8

\*\*\*\*Owner to provide White Pine Bud Caps from fall to spring for each pine tree every year until the tree height reaches a minimum bud height so as to prevent deer foraging and damage.

## NOTES:

- Contractor to verify all existing field conditions prior to ordering, manufacturing, and construction.
- Per Chapter 1149.05 - All unhealthy or dead plant material shall be replaced within one (1) year, or by the next planting period, whichever comes first.
- 1149.05 (C)(4)(Option B) - Buffer strip of open space along the property line at least ten (10) feet in width should be established. Such greenbelt shall be planted and maintained with sight blocking plant material such as evergreens or hedge at least six (6) feet in height, tightly situated so as to provide an effective and permanent visual buffer. The portion of the landscaped area not covered by plantings shall be kept in a neat and orderly appearance.



Know what's below. Call before you dig.

- KEY**
- CC - FlameThrower Redbud
  - PS1 - Eastern White Pine 6' Ht
  - PS2 - Eastern White Pine 4' Ht with 2' Berm
  - BGM - Green Mountain Boxwood
  - BGV - Green Velvet Boxwood
  - JVG - Grey Owl Juniper
  - PAL - Little Spire Russian Sage
  - DGN - Dwarf Nikko Deutzia

Jennifer Vanni, MLA  
Ohio RLA#1701414

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**OASIS**  
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A Landscape Architecture Firm, Cert. #17313767

**PLANTING PLAN**  
BECCO FLEX BUILDING  
1170 WEST SMITH ROAD  
Project: 0111-20  
Prepared for: 1170 W SMITH RD LLC

Date Issued: 03-23-23  
Revisions: 05-01-23

**LA1**

# City of Medina Planning and Zoning Code

## CHAPTER 1149 Screening and Landscaping

- 1149.01 Purpose.
- 1149.02 Applicability.
- 1149.03 General requirement for submission.
- 1149.04 Approval.
- 1149.05 Landscaping and screening standards.
- 1149.06 Screening and landscaping for off-street parking areas.
- 1149.07 Screening for dumpsters and trash handling areas.
- 1149.08 Easements, right-of-way, and setbacks.
- 1149.09 Modifications.

## CROSS REFERENCES Definitions - see P. & Z. Ch. 1105

### 1149.01 PURPOSE.

The purpose of this Chapter is to provide minimum standards involving the development of land to:

- (a) Provide attractive views from roads and adjacent properties;
- (b) Screen from view visually undesirable uses;
- (c) Require screening between incompatible land uses;
- (d) Protect the health, safety and welfare of the community through the reduction of noise, air and visual pollution, and headlight glare.

### 1149.02 APPLICABILITY.

This Chapter shall apply to any property subject to the site plan review process.

### 1149.03 GENERAL REQUIREMENT FOR SUBMISSION.

Any property to which this Chapter applies shall submit information regarding screening or landscaping to the Planning Director and Urban Forester as required by the site plan review process. Such information shall be provided by a nursery or by a design professional practicing within their areas of competence. Typical details shall be shown for the planting of the types of trees, shrubs and ground cover within the screening or landscaped area.

### 1149.04 APPROVAL.

- (a) Review and approval of the site plan shall constitute approval of the screening and landscape submission.
- (b) The Planning Director may request the review and approval of the Planning Commission at any time during the review and approval process.

### 1149.05 LANDSCAPING AND SCREENING STANDARDS.

- (a) **Maintenance of Screening and Landscaped Areas.** All screening and landscaping materials shall be installed and maintained according to accepted nursery industry procedures. The owner of the property shall be responsible for the continued proper maintenance of all landscaping materials, and shall keep them in a proper, neat and orderly appearance, free from refuse and debris at all times and shall remove all noxious, invasive, or poison type plants as may be identified by the Urban Forester. All unhealthy or dead plant material shall be replaced within one (1) year, or by the next planting period, whichever comes first. Violation of these installation and maintenance provisions may be grounds for the Planning Director to:

- (1) Find the owner of the property in violation of the conditions of the Zoning Permit;
  - (2) Require replacement of the landscape material; or
  - (3) Institute legal proceedings to enforce the provisions of this Code.
- (b) **Screening and Landscape Establishment.** Once a screened or landscaped area has been approved by the Planning Director and established by the owner, it may not be used, disturbed or altered in any way that would decrease its landscape or screening effectiveness unless approved by the Planning Director.
- (c) **Screening Requirement.** In order to provide protective screening and buffers for residentially zoned areas that are adjacent to nonresidential areas, the Planning Director may require a wall, fence or planted open space to be provided by any newly developed or substantially expanded nonresidential property if the nonresidential property is not already sufficiently screened.

Screening shall be in accordance with the following:

- (1) Screening areas shall be provided for the purpose of minimizing the visual and noise impact between incompatible land uses by improving the aesthetic and functional quality of new development.
- (2) Where vegetative and/or topographic conditions already provide a natural screen and buffer prior to development of properties in question, every effort shall be made to retain such conditions in good maintenance. In such cases, additional screening may not be required by the Planning Director, provided that provision is made for maintenance of such areas.
- (3) The Planning Director may waive the requirement for a wall, fence or greenbelt if equivalent screening is provided by existing or planned parks, parkways, recreation areas or by topography or other natural conditions found on the subject property.
- (4) Screening Standards.

WHEN...	IS PROPOSED TO ABUT...	A MINIMUM SCREENING OF...
Any commercial or office land use	Any Single Family or Two Family Residential District	A. If proposed; a wall or fence should be five to six feet in height and placed near the nonresidential property line. The area between such wall or fence and the property line shall be treated with plantings to form a permanent landscaped area.
Any industrial land use	Any Residential or Commercial District	
Any multi-family land use	Any Single Family or Two Family Residential District	
	or	
Any institutional land use (including assisted living facilities, educational institutions and religious places of worship)	Any Single Family or Two Family Residential District	B. If proposed; a strip of open space along the property line at least ten (10) feet in width should be established. Such greenbelt shall be planted and maintained with sight blocking plant material such as evergreens or hedge at least six (6) feet in height, tightly situated so as to provide an effective and permanent visual buffer. The portion of the landscaped area not covered by plantings shall be kept in a neat and orderly appearance.

### (a) Materials for Screening and Landscaping.

- (1) **Walls and Fences.** When walls or fences are used to fulfill screening requirements, they shall be detailed on the plan. They are to be of weather-proof materials. This includes pressure treating or painting of lumber if it is not redwood or cedar and using aluminum or galvanized hardware. Chain link fences with or without wooded or synthetic slat material shall not be permitted when used to satisfy screening requirements.
- (2) **Plants.** All plants are to be healthy upon planting. Plant materials used in conformance with the provision of this Chapter shall be salt tolerant as necessary and shall conform to the standards of the American Association of Nurserymen and shall have passed any inspection required under State regulations. Trees and plant materials should be species indigenous to Zone 5 of the United States Department of Agriculture Plant Hardiness Zone Map. Trees shall be balled and burlapped or in containers. Shrubs, vines and ground covers can be planted as bare root as well as balled and burlapped or containers.
  - A. **Deciduous Trees.** Deciduous trees shall have a minimum caliper of at least two one and one half (1½) inches conforming to acceptable nursery industry procedures at the time of planting. If deciduous trees are to be used for screening purposes, additional materials listed in this Chapter must be used to create a dense buffer.
  - B. **Evergreen Trees.** Evergreen trees shall be a minimum of six (6) feet in height at the time of planting when used for screening purposes when adjacent to a Single Family or Two Family Residential District. Evergreen plantings used for screening shall be planted so as to provide an effective, dense screen upon the time of planting. The height at installation of the planting shall be measured from the level of the planting surface of the evergreen base.
  - C. **Shrubs and Hedges.** Shrubs and hedges shall be at least five (5) feet in height at the time of planting. All shrubs and hedges shall be designed to provide an effective, dense screen and mature height of at least six (6) feet within two (2) years after the date of the final approval of each planting. The height at installation of the planting shall be measured from the level of the surface of the plant base at the edge closest to the screening.

### 1149.06 SCREENING AND LANDSCAPING FOR OFF-STREET PARKING AREAS.

Screening and landscaping for off-street parking areas shall be as established in Section 1145.09(b), Parking Area Design, Landscaping.

### 1149.07 SCREENING FOR DUMPSTERS AND TRASH HANDLING AREAS.

Screening for dumpsters and trash handling areas shall be as established in Section 1155.05, Dumpsters, Recycling and Donation Boxes.

### 1149.08 EASEMENTS, RIGHT-OF-WAY, AND SETBACKS.

- (a) Required screening and landscaping may be placed wholly or partially in utility or other easements providing all requirements of this Chapter can be fulfilled and approval is granted by the holder of the easements, in writing.

- (b) In no case, however, shall screening or landscaping be established so as to block the sight distance at street or drive intersections. Ground cover and trees with at least six (6) feet of limbless trunk may be permitted within the sight distance triangle. In the case of a street intersection, the sight triangle shall consist of the area between points twenty (20) feet along both intersecting streets from their respective edge of pavements.

### 1149.09 MODIFICATIONS.

The Planning Commission shall have the authority to modify or waive any of the aforementioned requirements in this Chapter in considering an individual site with respect to changes in elevation, environmental impact, durability of plant material, aesthetic appeal, and any other factor that will provide a compatible screen or buffer with the surrounding property or neighborhood at the time of application.

# Landscape Specifications

## PART I – GENERAL

- .00 GENERAL NOTES
  - A. PLANT SPECS: All plant material must be Florida No. 1 or better as given in GRADES AND STANDARDS FOR NURSERY PLANTS Parts I and II, latest edition published by the Florida Department of Agriculture and Consumer Services.
  - B. MULCH: Apply mulch around newly planted trees and shrubs. This practice will reduce the soil temperature fluctuations, prevent crusting of the soil, prevent water runoff, and help to control weeds. Some common organic mulching materials include leaves, pine needles, pine or cypress bark and wood chips. Use the mulch as specified on the Planting Plan.
  - C. FUNGUS: Keep organic mulches from piling up against the base of tree trunks and shrubs. If these mulches touch the base of the trunk, they can cause plants to be attacked by the fungi that breaks down the mulching materials and can kill the plants.
  - D. PRUNING: Woody shrubs, trees and vines shall be pruned to shape when they are most dormant, which occurs from November through March.
  - E. RESEARCH: It is the Contractor's responsibility to research plants and appropriate agencies to determine the present location of utilities and obstructions before commencing work. Contractor shall obtain or ensure that necessary permits have been granted to the Owner for work in any easements on the Owners properties prior to commencement of work.
  - F. AGENCY REQUIREMENTS: All work in right-of-way, easements, etc. shall conform to the standards and specifications of the local governing agency with jurisdiction. Contractor is responsible for determining the agency requirements.
  - G. VISIBILITY: Coordinate the installation of trees and plants so as to not obscure the site visibility triangle at intersections and the visibility of directional signs or lights. Field adjust tree and palm locations as required to avoid conflict with light poles, etc. The owner shall properly maintain trees and plant materials after final acceptance in order to maintain unobstructed visibility for pedestrians and vehicles.
  - H. UTILITIES: The landscape contractor shall verify all utility locations (existing and proposed), related paving, elevations, water and electrical supply, etc. Prior to start of work. Notify the general contractor and the architect/owner's agent in writing of unsatisfactory conditions prior to start of work. Start of work will indicate acceptance of conditions and full responsibility for completed work. Verify all underground and above-ground utility locations prior to any excavation. If underground construction, utilities or obstructions are encountered during the excavation of planting areas or pits, immediately inform the owner's construction representative. Alternate locations for the contractor shall bear sole responsibility for any and all damages that result from his activities due to improper verification of utilities and/or operator error during excavations. See related civil plans for additional information and coordinate on-site with the general contractor and other trades prior to start of work.

## 1.01 RELATED DOCUMENTS:

- A. GENERAL: The specifications are an important part of the Contract and are the basis for which the Contractor's work shall be judged. If a Contractor does not adhere to the specifications, then the Owner can reject the work and renegotiate the Contract price.
- B. DRAWINGS: Drawings are a part of this contract. Any discrepancies between plans and contract documents shall be reported immediately to the Owner.
- C. GENERAL PROVISIONS: General Provisions of the Contract, including General and Special Conditions, apply to the work of this section.

## 1.02 DESCRIPTION OF WORK:

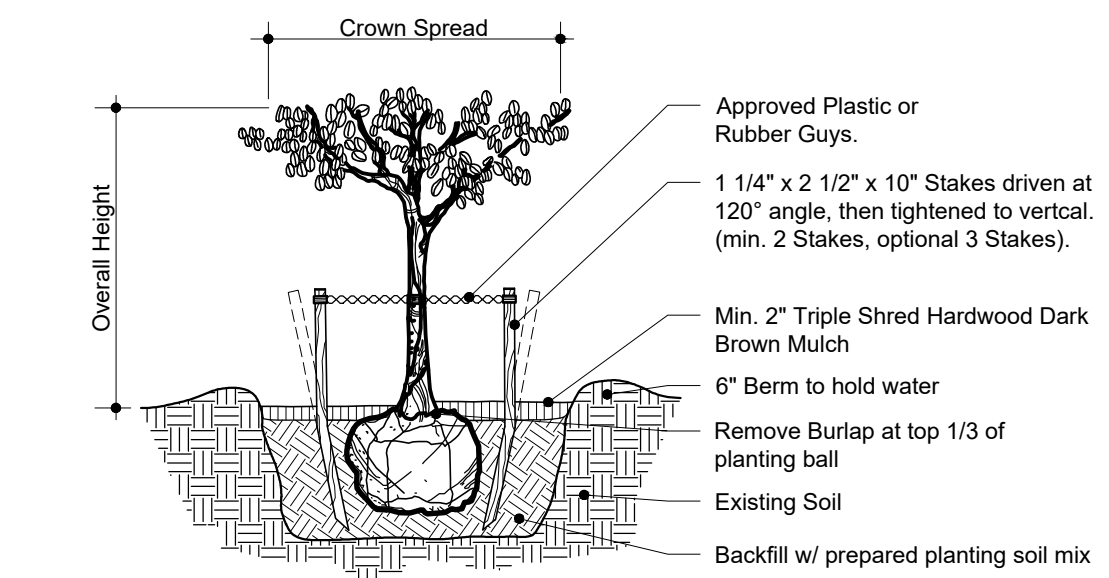
- A. GENERAL: Under this Contract, the work consists of furnishing all labor, material, equipment, transportation, etc., to complete all landscaping work as shown on the Drawings, as included in the Plant List and as herein specified. Work shall include all construction and maintenance/watering of all planting areas of this Contract until accepted by the Owner.
- B. SITE INSPECTION: The Contractor shall personally examine the project site and fully acquaint himself with all of the existing conditions in order that no misunderstanding may afterwards arise as to the extent of the work to be done, and likewise, in order to advise and acquaint himself with all precautions to be taken in order to avoid injury to persons or property of another. The Contractor's bid shall reflect this full acquaintance with the project site. No additional compensation will be granted, after the bid is awarded, due to any unusual difficulties which may be encountered in the execution or maintenance of any portion of the work. Any discrepancies, omissions or doubts as to meaning shall be communicated to the Owner, who will make any interpretations he deems necessary.
- 1.03 QUALITY ASSURANCE:
  - A. CODES & STANDARDS: The Contractor is responsible for being knowledgeable with all applicable codes, ordinances and laws, and planning the landscape in complete accordance with such guidelines in mind. Any modification made to conform with said codes, laws and ordinances, after the bid is awarded, shall be completed at the Contractor's expense at no additional cost to the Client.
  - B. CONTRACTOR'S CREWS: THE CONTRACTOR shall have his labor crews controlled and directed by an experienced foreman well versed in standard planting procedures, reading blueprints and coordination with others performing services in the job areas in order to execute installation rapidly and correctly.
  - C. SUPERINTENDENT: The Landscape Contractor shall provide a competent English-Speaking Superintendent on the work site at all times. This Supervisor shall be fully authorized as the Contractor's agent on the work.
  - D. CONTRACTOR'S RESPONSIBILITY:
    - 1. The Contractor shall be responsible for the work until final acceptance by the Owner.
    - 2. The Landscape Contractor is responsible for protecting all materials and work against injury from any cause and shall provide and maintain all necessary guards for the protection of the public. The Contractor shall be held responsible for his negligence in the prosecution of the work.

## 1.04 PROJECT CONDITIONS:

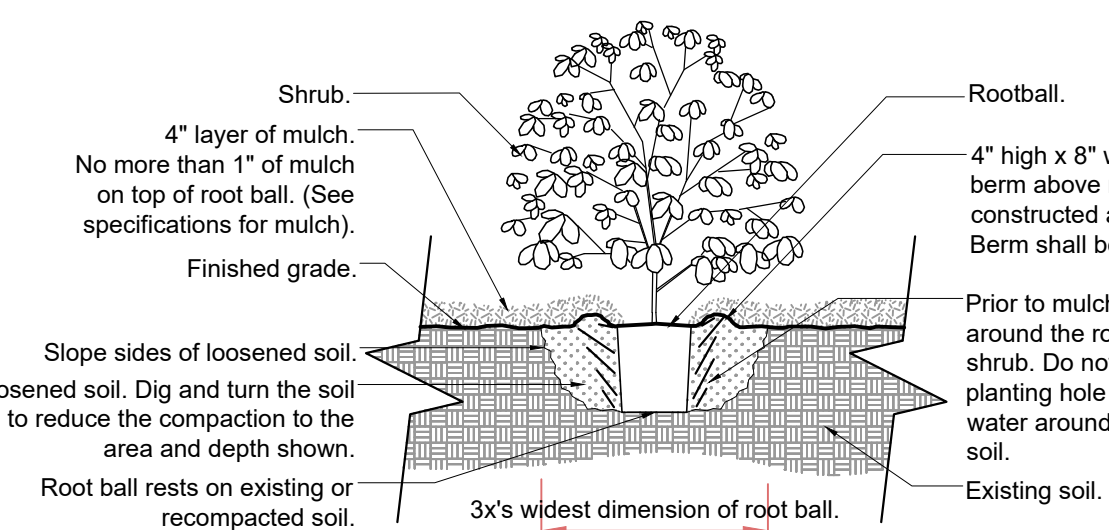
- A. PROTECTION OF EXISTING STRUCTURES: Protect all existing buildings, walks, walls, paving, piping, utilities (and other items of construction) and plantings (trees, shrubs, ground covers, etc.) already completed or established from damage by the Contractor. All damage resulting from negligence shall be repaired or replaced to the Owners satisfaction at the Contractor's expense.
- B. PROTECTION OF EXISTING PLANT MATERIALS: The Contractor is accountable for all unauthorized cutting or damage to existing trees, shrubs, and ground covers caused by operation of equipment, stockpiling of materials, careless labor, etc. This shall include compacting by driving or parking inside the drip-line of trees or the spilling of oil, gasoline, or other deleterious materials within the drip-line of trees. The Contractor shall install barricades to protect existing plant materials.
  - 1. No waste material shall be burned with in the project limits. All spoils and waste material shall be hauled away at the Contractor's expense. Trees burned or damaged (so that they are misshapen and /or unsightly shall be replaced at cost to the Contractor of One Hundred Dollars (\$100) per caliper inch on an escalating scale which adds an additional twenty (20) per cent per inch over four (4) inches in caliper, as fixed and agreed liquidated damages.
- 1.05 SUBMITTALS
  - A. SAMPLES: Samples of any landscape materials may be required for approval on the site or as otherwise determined by the Owner. Delivery of material may begin after the Owner's approval of samples (i.e. mulch, planting soil, plant varieties, etc.) Approved samples shall be stored on the site and protected until furnishing of materials is completed. Plant samples may be planted in permanent positions, but labeled as samples.

## 1.06 DELIVERY, STORAGE AND HANDLING:

- A. PROTECTION OF ROOTS: Protect roots or balls of plants at all times from sun and drying winds, excess water and freezing and mishandling by personnel needed until planting.
- B. PROTECTION OF ROOT BALLS: Balled and burlapped plants (BAB) shall be dug with firm, natural balls of soil of sufficient size to encompass the fibrous and feeding roots of the plants. No plants moved with a ball shall be planted if the ball is crossed or broken.
- D. PACKAGED MATERIALS: Deliver packaged materials in containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery, and while stored at site. Materials delivered to the site shall be left in their original boxes, wrappings or containers until such time as they are employed in the project construction. This provision does not include unpacking for inspections purposes.
- E. SOD: Time delivery so that sod will be placed within 24 hours after stripping.
- F. TREES AND SHRUBS: Provide freshly dug trees and shrubs. Do not prune prior to delivery unless otherwise approved by the owner. Do not bend or bind-tie trees or shrubs in such manner as to damage bark, break branches or destroy natural shape. Provide protective covering during delivery. Do not drop balled and burlapped stock during delivery.
- G. PLANT DELIVERY: Once preparations for planting has been completed, deliver trees and shrubs and plant immediately. If planting is delayed more than 6 hours after delivery, set trees and shrubs in shade, protect from weather and mechanical damage, and keep roots moist by covering with mulch, burlap or other acceptable means of retaining moisture.
- H. CONTAINER PLANTS: Do not remove container grown stock from containers until planting time.
- I. STORAGE: The Contractor shall store and protect the materials to be used in his portion of the project work until final acceptance of the project by the Owner. Contractor also shall be solely responsible for his tools and equipment left on the job site.
- J. SUBSTITUTIONS: Any substitutions made for reasons of unavailability of materials or other reasons must be approved by the Owner.
- K. MATERIALS: All material and manufacturer warranties and guarantees shall be given to the Owner at the final acceptance of the project.



**SMALL TREE TYPICAL PLANTING DETAIL**  
SCALE: NOT TO SCALE



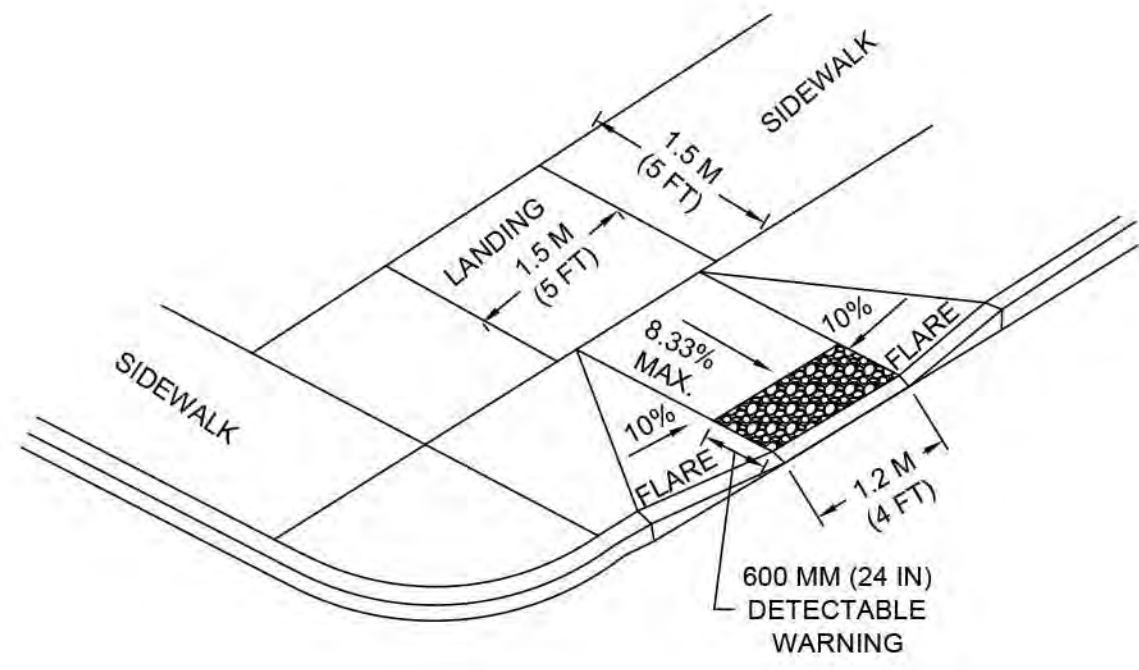
**SHRUB TYPICAL PLANTING DETAIL**  
SCALE: NOT TO SCALE

Jennifer Vanni, MLA  
Ohio RLA#1701414

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**PLANTING NOTES AND SPECS**  
**BECCO FLEX BUILDING**  
1170 WEST SMITH ROAD  
Project: 011-20  
Prepared for: 1170 W SMITH RD LLC  
Date Issued: 03-23-23  
Revisions: 00-00-00  
**LA2**



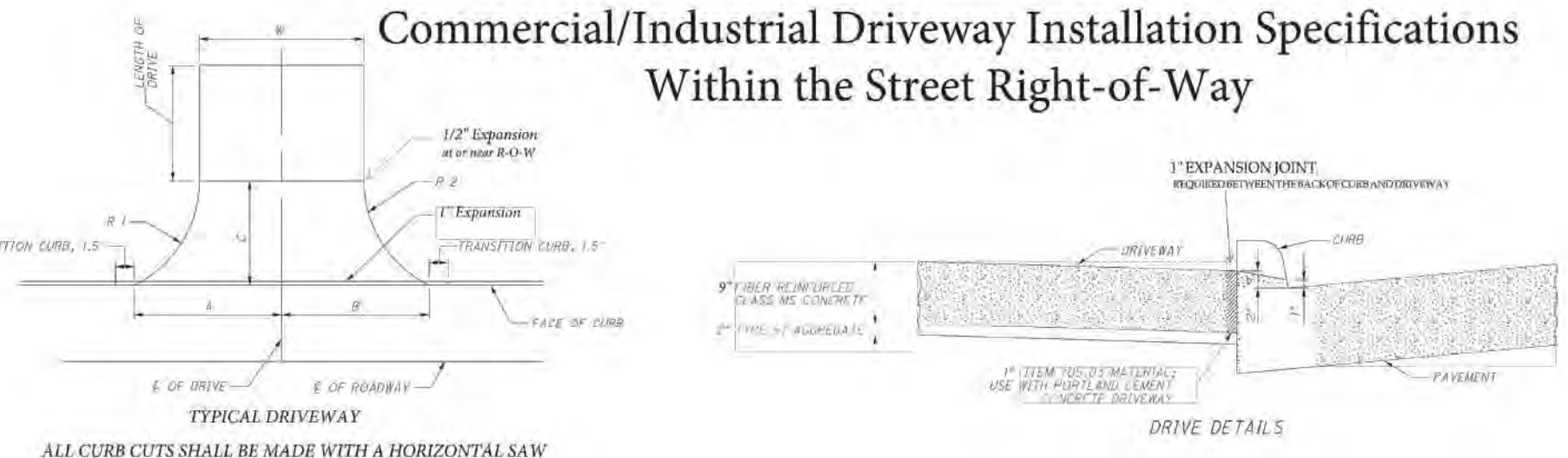
009 ADA RAMP  
NTS

John Vanni, PE  
Ohio License E-77145

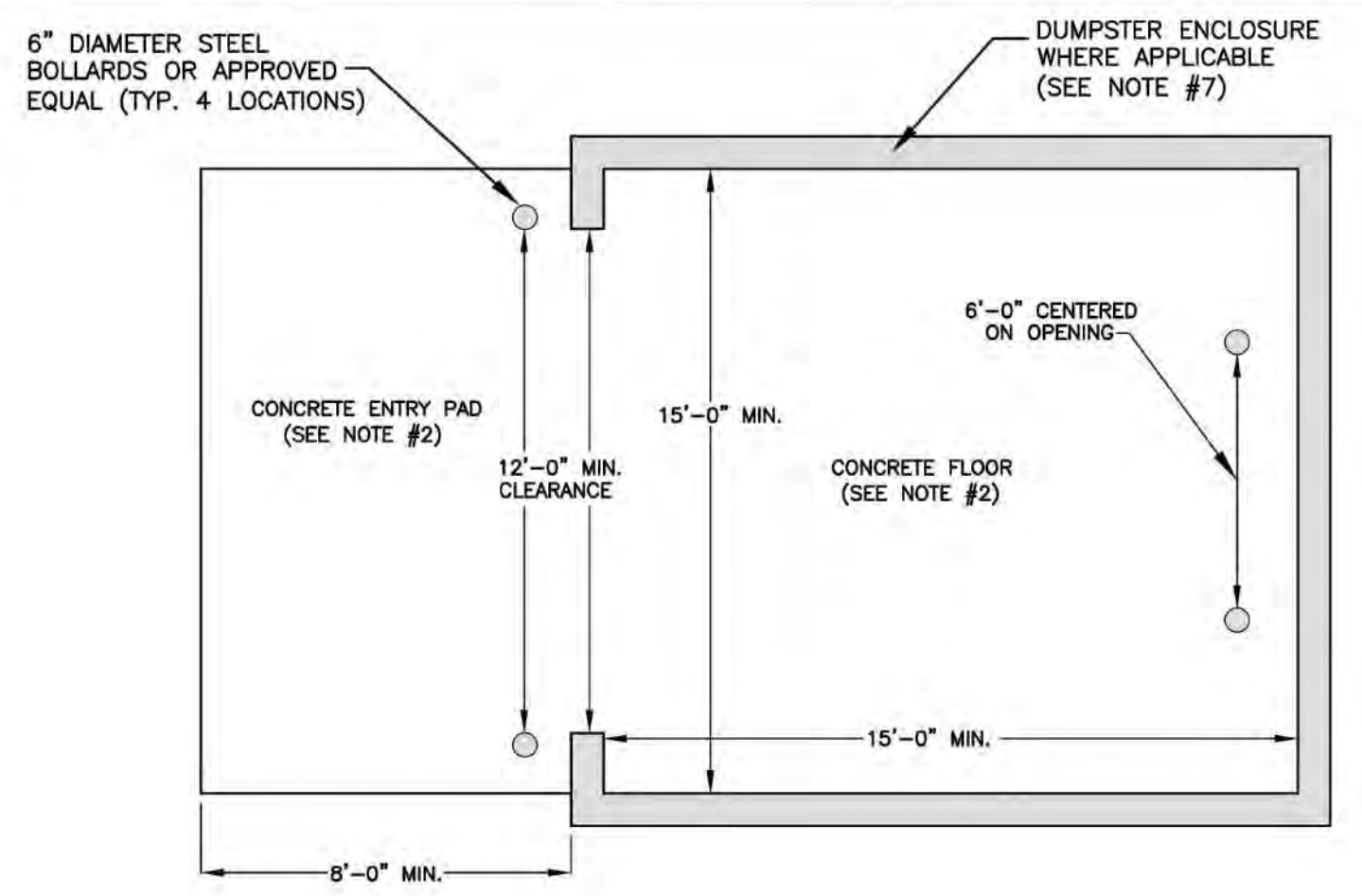
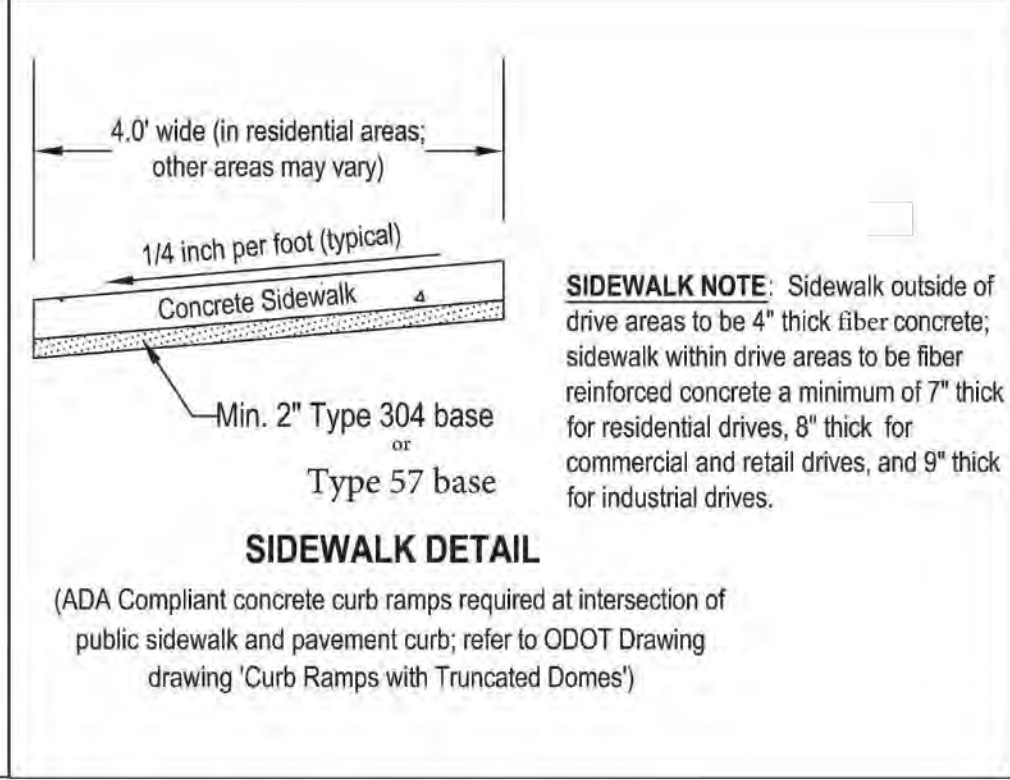
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**CITY OF MEDINA**  
Commercial/Industrial Driveway Installation Specifications  
Within the Street Right-of-Way



**CITY OF MEDINA ENGINEERING DEPT. (330) 722-9084**  
Subgrade soil shall be firm and unyielding with no standing water  
One inch (1") expansion joint is required between back of curb and driveway apron  
One Half (1/2") expansion joints required between back of sidewalk and driveway, and between sidewalk in apron and continuation of sidewalk in both directions.  
Required thickness of concrete within the Right-Of-Way, including sidewalk, is to be a **MINIMUM** of:  
7" - RESIDENTIAL  
8" - COMMERCIAL  
9" - INDUSTRIAL  
Fiber mesh required in the apron and sidewalk  
A minimum of 2" compacted stone base is required, Type 57 or 304 limestone  
Maximum width of driveway at curb is:  
WIDTH OF DRIVEWAYS (Ord. 1148.10)  
Maximum Width at Curb Line (feet, A+B)    Width at R.O.W. Line (feet, W)  
Minimum    Maximum  
Residential    22    10    20  
Commercial or Public Facility    38    12    24  
Industrial    120    24    60  
Inspection is required prior to cutting curb, must be marked prior to scheduling inspection.  
Inspection is required after forms are in place and prior to placement of concrete.  
**ALL CURB CUTS SHALL BE MADE WITH A HORIZONTAL SAW**



- NOTES:**
1. This detail applies to all new commercial construction that the City of Medina Sanitation Department will be servicing utilizing a dumpster style trash receptacle.
  2. Concrete floor and concrete pad shall be a minimum of eight (8) inch thick reinforced concrete. Wire mesh or fiber mesh may be used as reinforcement. Proper jointing will be required.
  3. Where applicable a full depth expansion joint (1/2") will be required between the proposed concrete floor and any adjacent footings for the enclosure walls.
  4. Minimum enclosure opening of 12'-0" shall be strictly adhered to.
  5. This detail applies to single trash container applications only. Multiple container configurations may be permitted. Contact the City Planning Department for approval.
  6. Property owner must submit to the City Engineering Department for review and approval enclosure /pad details for multiple container configurations.
  7. Please contact the City of Medina Planning Department for information regarding requirements for dumpster enclosures.

1	2	3	4	5	6	7	8	9	10
Date:	Scale:	Title:	CITY OF MEDINA						
JUNE, 2015	N.T.S.	STANDARD SINGLE DUMPSTER PAD							
CITY JOB STND DRWG									
Dwg. File #: Standard Drawings \Dumpster.dwg									

**BECCO FLEX BUILDING**  
1170 WEST SMITH ROAD  
Project Number: 011-20  
Prepared for: 1170 W SMITH RD LLC

Date Issued: 06-03-2022  
Revisions: 00-00-00

SITE DETAILS 2  
12

THIS DOCUMENTS IS FOR INTERIM REVIEW PURPOSES ONLY AND NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.  
PROJECT MANAGER: JOHN VANNI, P.E.  
OHIO SERIAL NUMBER: #1701414  
DATE: 07-09-2022

SITE DETAILS 2  
SCALE: N/A

# BECCO FLEX BUILDING

1170 W. SMITH ROAD  
HINCKLEY, OH 44256  
P.P.N. 02819C02001

OWNER:  
BECCO INC.  
EXCAVATING & CONTRACTING COMPANY  
P.O. BOX 457 - HINCKLEY, OH 44233  
PHONE: 330.278.2258

ARCHITECT:  
AODK, INC.  
14394 DETROIT AVENUE  
LAKEWOOD, OHIO 44107  
PHONE: 216.771.1920



## GENERAL NOTES:

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REVIEW ALL DRAWINGS/SHEETS WITH ALL TRADES TO PROVIDE COMPLETE AND INCLUSIVE PROJECT WITH THE DESIGN INTENT. MISCELLANEOUS COORDINATION OF DRAWINGS/TRADES THAT WOULD BE CONSIDERED STANDARD CONSTRUCTION PRACTICES MUST BE INCLUDED.
- ALL WORK SHALL CONFORM TO THE CURRENT OBC AND OTHER APPLICABLE FEDERAL, STATE, AND LOCAL CODES
- NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH IN THIS DRAWING SET IMMEDIATELY. DO NOT PROCEED WITH WORK IN AREA IN QUESTION UNTIL DISCREPANCY IS RESOLVED
- CONTRACTOR IS TO VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO BEGINNING WORK & NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THIS DRAWING SET BEFORE WORK BEGINS.
- DIMENSIONS, SIZES, LOCATIONS, DISTANCES ETC. ARE NOT TO BE SCALED FROM DRAWINGS.
- MATERIALS EXPOSED TO RETURN AIR PLENUMS SHALL BE NON-COMBUSTIBLE OR SHALL HAVE A FLAME SPREAD INDEX OF 25 AND A SMOKE DEVELOPMENT INDEX OF NOT MORE THAN 50
- ALL INTERIOR FINISHES TO COMPLY WITH OBC SECTIONS 803, 804 AND 805. WALL AND CEILING FINISHES TO HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE DEVELOPMENT INDEX OF NOT MORE THAN 450.
- PROVIDE FIRE EXTINGUISHERS OF SIZE, TYPE, NUMBER AND LOCATION PER LOCAL FIRE DEPARTMENT RECOMMENDATIONS. PROVIDE ALLOWANCE FOR (4) NEW 10 LB EXTINGUISHERS IN SEMI-RECESSED CABINETS SIM. TO EXISTING PER LIFE SAFETY PLAN.
- ALL FURNITURE TO BE PROVIDED BY OWNER, UNLESS OTHERWISE NOTED.

## 2017 OBC CODE DATA:

<b>CONSTRUCTION TYPE:</b>	II-B
<b>FIRE SUPPRESSION:</b>	SEPARATED MIXED USE: 3 TENANT SPACES NO FIRE SUPPRESSION SYSTEM REQUIRED
<b>BUILDING AREA DESCRIPTION:</b>	O.B.C. CHAPTER 5 ALLOWABLE: 55'-0" HEIGHT / 3-STORIES / 23,000 SQ. FT. PROPOSED: 26'-9" HEIGHT / 1-STORIES / 17,722 SQ. FT.
<b>USE GROUP:</b>	TENANT 1: 'B' BUSINESS (6,537 SQ. FT.) TENANT 2: FUTURE TENANT (5,700 SQ. FT.) TENANT 3: FUTURE TENANT (5,284 SQ. FT.)
<b>O.B.C. OCCUPANCY (O.B.C. TABLE 1004.1.2):</b>	TENANT 1: BUSINESS AREAS 1,604 SQ. FT. / 100 = 16 OCCUPANTS WAREHOUSE AREAS 4,933 SQ. FT. / 500 = 10 OCCUPANTS TOTAL 26 OCCUPANTS
<b>ACTUAL POSTED OCCUPANCY:</b>	15 OCCUPANTS
<b>MINIMUM NUMBER OF EXITS:</b>	O.B.C. TABLE 1006.3.1 (MINIMUM NUMBER EXITS FOR OCC. LOAD) 2 EXITS REQUIRED / 2 EXITS PROVIDED
<b>TRAVEL DISTANCE:</b>	O.B.C. TABLE 1017.2 (MAXIMUM TRAVEL DISTANCE) 100'-0" REQUIRED / 130'-0" ACTUAL
<b>PLUMBING FIXTURES:</b>	TENANT 1 PROVIDED: (1) NEW ACCESSIBLE FACILITIES PROVIDED WITH 1 NEW WATER CLOSET & 1 NEW LAVATORY MISC. FIXTURES: 1 MOP SINK PROVIDED (WAREHOUSE 112) NOTE: SEPARATE FACILITIES NOT REQUIRED PER O.B.C. SECTION 2902.2 EXCEPTION 2

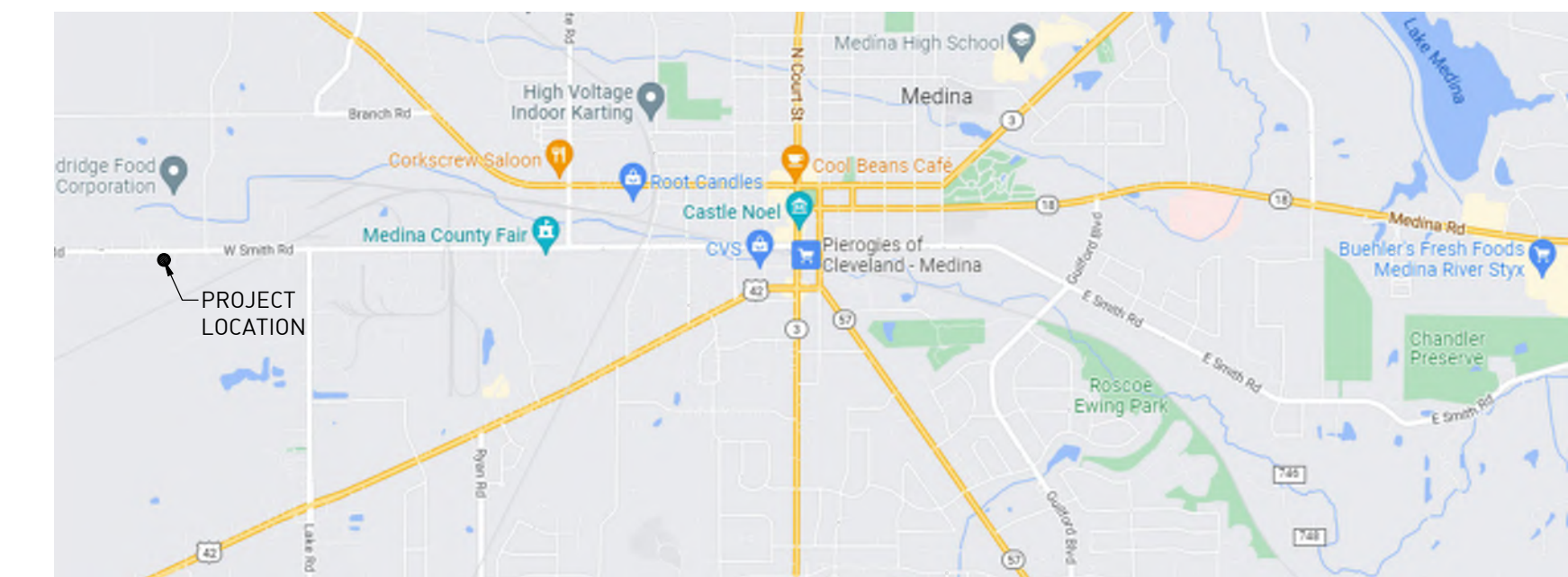
## GENERAL DRAWING INDEX

a0.0 COVER SHEET / CODE DATA

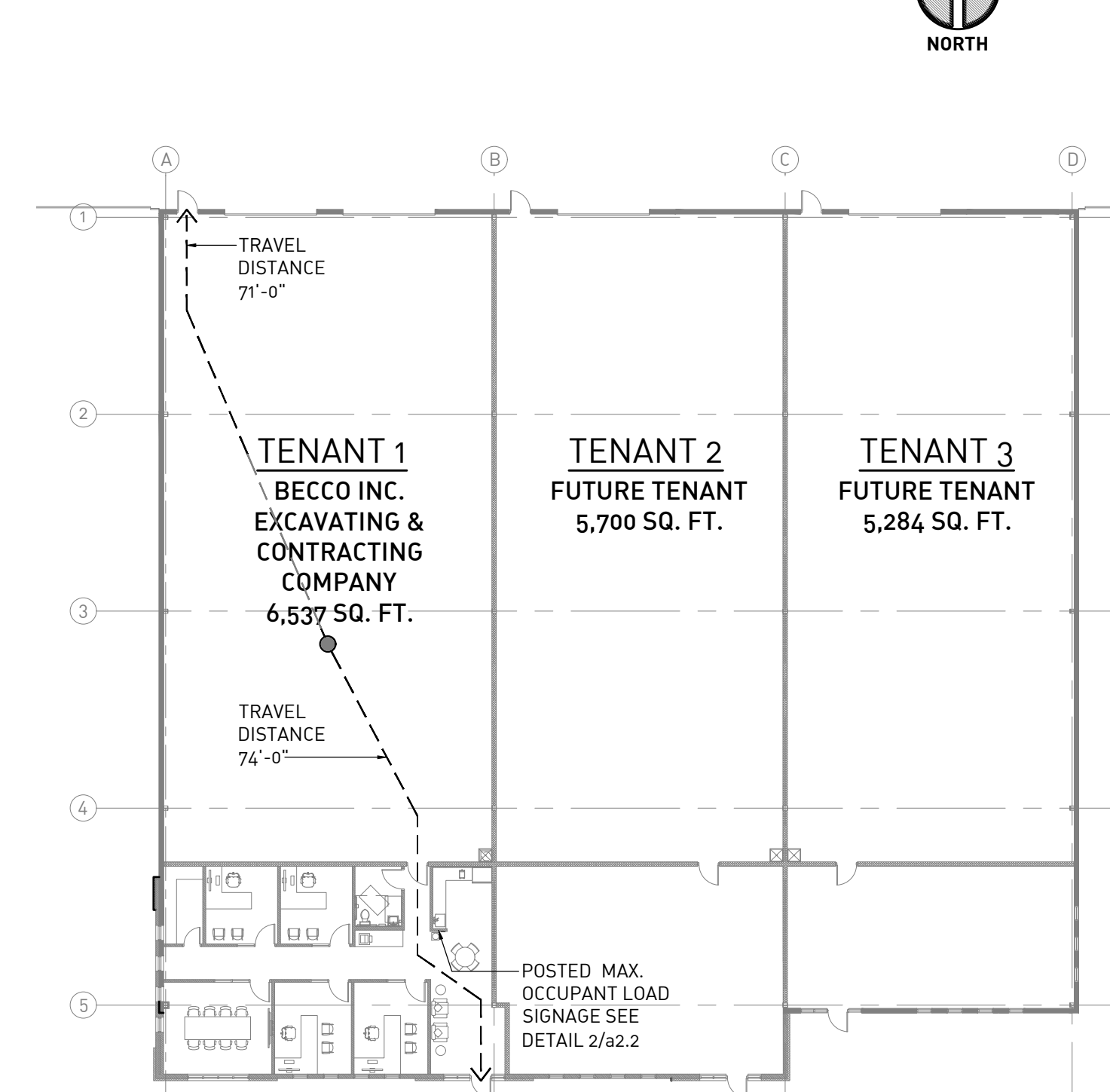
## SITE DRAWING INDEX

## ARCHITECTURAL DRAWING INDEX

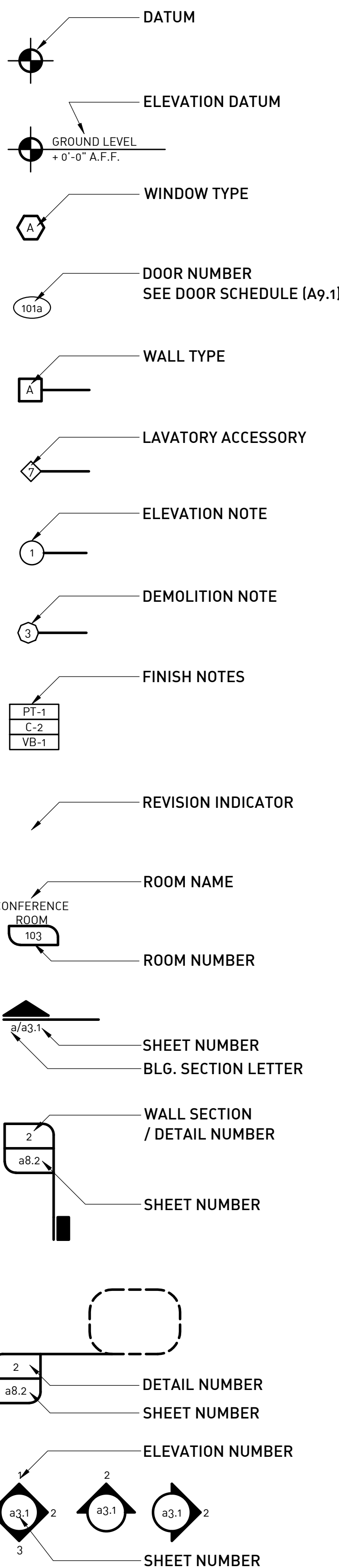
- a2.1 OVERALL FLOOR PLAN
- a2.2 ENLARGED UNIT 1 OFFICE PLAN
- a2.3 ROOF PLAN
- a3.1 BUILDING ELEVATIONS
- a3.2 BUILDING SECTIONS
- a4.1 OVERALL BUILDING REFLECTED CEILING PLAN
- a4.2 ENLARGED UNIT 1 REFLECTED CEILING PLAN
- a5.1 OVERALL FINISH PLAN & SCHEDULE
- a5.2 ENLARGED UNIT 1 FINISH PLAN



## OBC CODE DATA KEY PLAN:



## SYMBOL LEGEND:



## ABBREVIATION LEGEND:

A.F.F.	ABOVE FINISH FLOOR
A.C.T.	ACOUSTICAL CEILING TILE
ALUM.	ALUMINUM
APPROX.	APPROXIMATE
BD.	BOARD
B.O.	BOTTOM OF
BLK'G	BLOCKING
BM.	BEAM
C.T.	CERAMIC TILE
CLG.	CEILING
CL.	CENTER LINE
C.J.	CONTROL JOINT
CLR.	CLEAR DIMENSION
CMU	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CONTR.	CONTRACTOR
CPT.	CARPET
D.S.	DOWN SPOUT
DBL.	DOUBLE
DTL.	DETAIL
DN.	DOWN
DWG (S)	DRAWINGS
EA.	EACH
ELEC.	ELECTRICAL
ELEV.	ELEVATION
EQ.	EQUAL
EX.	EXISTING
EXP. JT.	EXPANSION JOINT
FIN.	FINISH
FLR.	FLOOR
G.B.	GLASS BLOCK
GL.	GLASS
GYP. BD.	GYP. BOARD
H.M.	HOLLOW METAL
H.P.	HIGH POINT
HT.	HEIGHT
HR.	HOUR
I.D.	INSIDE DIMENSION
INSUL.	INSULATION
JST. BRG.	JOINTS BEARING
L.P.	LOW POINT
M.O.	MASONRY OPENING
MAS.	MASONRY
MAT'L.	MATERIAL
MAX.	MAXIMUM
MECH.	MECHANICAL
MTL.	METAL
MIN.	MINIMUM
MLDG.	MOULDING
MTD.	MOUNTED
MFR.	MANUFACTURER
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
OA.	OVERALL
O.C.	ON CENTER
O.D.	OUTSIDE DIMENSION
OPN'G	OPENING
PLAS.	PLASTER
PLAM.	PLASTIC LAMINATE
PTD.	PAINTED
PLUMB.	PLUMBING
R.	RISER
R.D.	ROOF DRAIN
R.O.	ROUGH OPENING
REF.	REFER TO
REFL. CLG.	REFLECTED CEILING
REINF.	REINFORCED
R.G.	RETURN GRILLE
RFG.	ROOFING
SCHED.	SCHEDULE
SHT. NO.	SHEET NUMBER
SECT.	SECTION
STL. FR	STEEL FRAME
STRUCT.	STRUCTURAL
S.G.	SUPPLY GRILLE
SUSP. CLG.	SUSPENDED CEILING
SIM.	SIMILAR
T.	TREAD
T.O.	TOP OF
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
V.I.F.	VERIFY IN FIELD
VIN.	VINYL
VNR.	VENEER
V.B.	VAPOR BARRIER
W.W.F.	WELDED WIRE FABRIC
W/	WITH
WD.	WOOD
W.P.	WORK POINT
WIN.	WINDOW
WT.	WEIGHT

EXPERIENCE → TRANSFORM

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BECCO FLEX BUILDING

PROJECT: BECCO FLEX BUILDING  
1170 W. SMITH ROAD  
MEDINA, OHIO 44256  
progress 03.28.2023

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**GENERAL NOTES:**

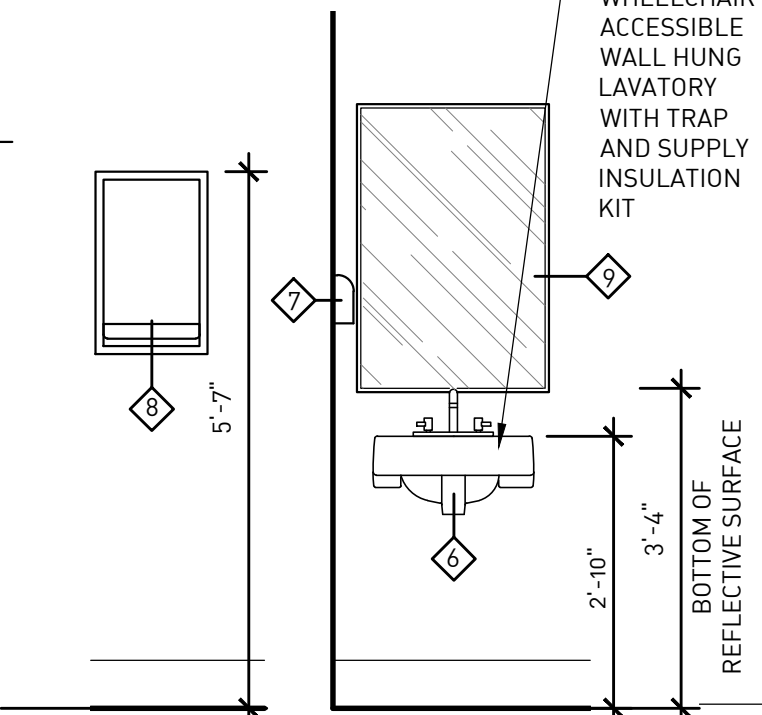
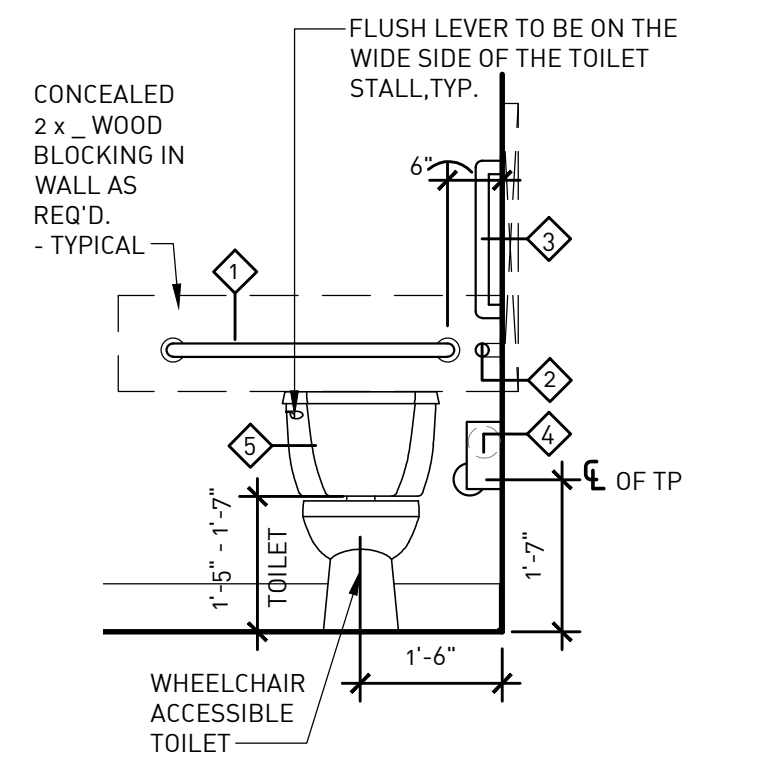
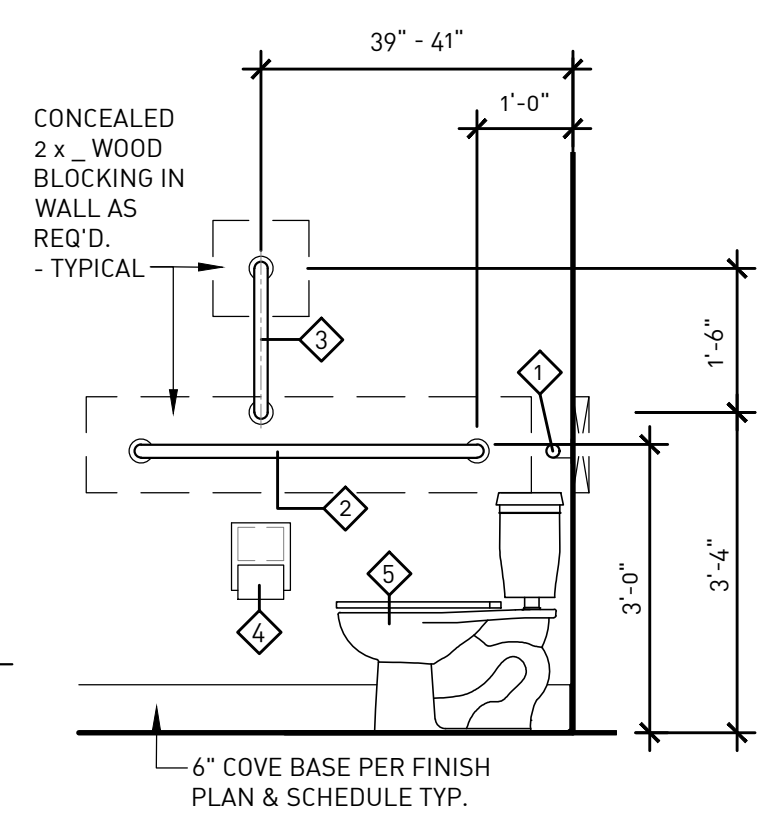
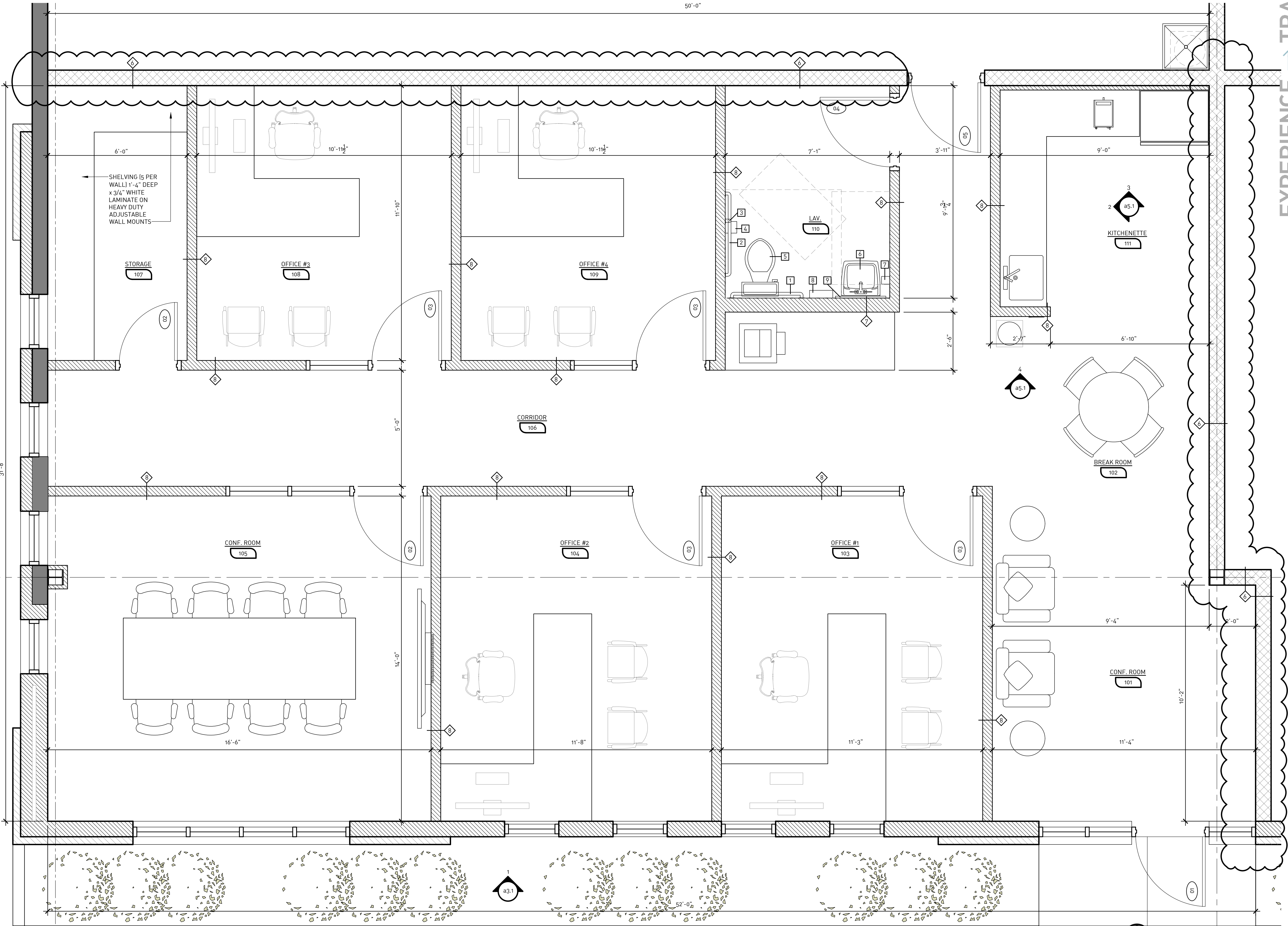
1. CLEAR ROOM DIMENSIONS, ROOM HEIGHTS, WALL FRAMING CONFIGURATIONS, AND BLOCKING LOCATIONS TO BE FIELD VERIFIED PRIOR TO THE PRODUCTION OF TOILET PARTITIONS AND CASEWORK SHOP DRAWINGS AND FABRICATION. ACTUAL FIELD CONDITIONS AND DIMENSIONS TO BE USED IN THE DESIGN AND FABRICATION OF TOILET PARTITIONS AND CASEWORK.
2. PROVIDE SHOP DRAWINGS DESCRIBING AND ILLUSTRATING THE CONFIGURATION OF TOILET PARTITIONS AND CASEWORK. ALSO PROVIDE COLOR SAMPLE SUBMITTAL FOR TOILET PARTITIONS, STAIN SAMPLES, AND LAMINATE. SHOP DRAWINGS ARE FOR G.C. AND DESIGN TEAM REVIEW AND APPROVAL.

3. CASEWORK AND TOILET PARTITION FABRICATION WORK PERFORMED PRIOR TO RECEIPT OF APPROVED SHOP DRAWINGS TO BE DONE AT FABRICATORS OWN RISK.
4. PROVIDE TOILET ACCESSORY SUBMITTAL DESCRIBING AND ILLUSTRATING PRODUCTS TO BE INSTALLED FOR G.C. AND DESIGN TEAM REVIEW AND APPROVAL.
5. ALL ACCESSORIES TO BE APPROVED BY OWNER.

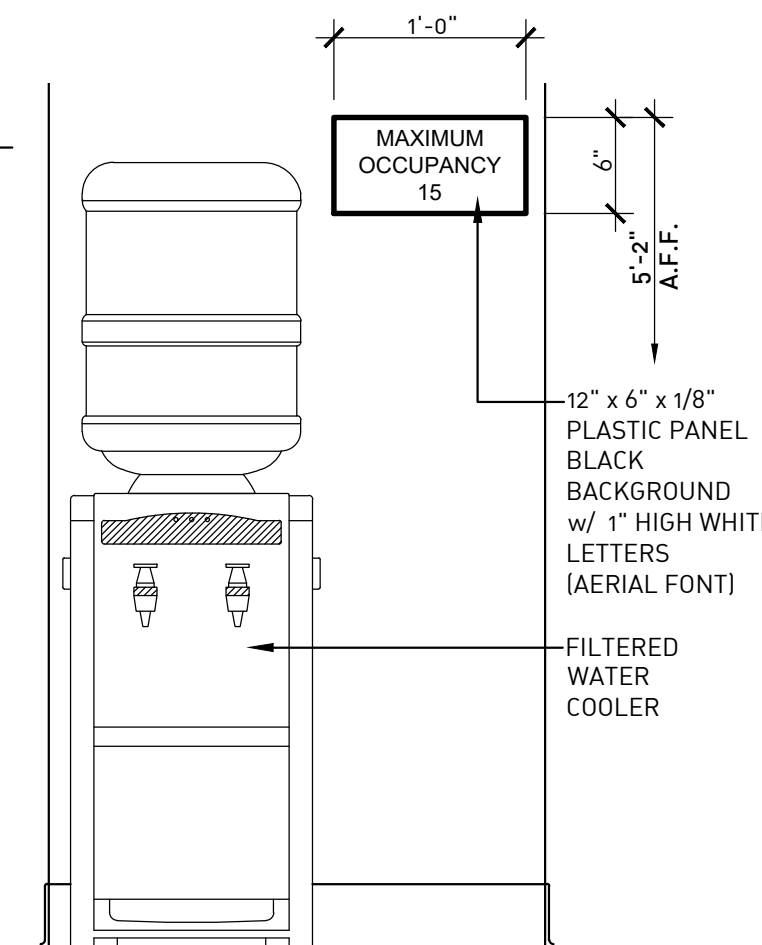
6. PROVIDE 6" COVE TILE BASE AT ALL RESTROOMS AND KITCHEN APPLICATIONS, TYP.
7. WATER SUPPLY TO LAVATORIES TO BE PROTECTED WITH ASME 1070 TEMPERING DEVICE. ONLY REQUIRED AT PUBLIC LAVATORIES.

**RESTROOM ACCESSORIES SCHEDULE:**

- NOTE: "B" INDICATES TOILET ACCESSORY AS MANUFACTURED BY BOBRICK OR EQUAL IN TYPE 304 STAINLESS STEEL FINISH.
- 1 #B-5806-36 - WALL MOUNTED 1 1/4" DIA. 36" L. GRAB BAR. MOUNT W/ CENTER 36" A.F.F. AND BACK END 6" FROM BACK WALL.
  - 2 #B-5806-42 - WALL MOUNTED 1 1/4" DIA. 42" L. GRAB BAR. MOUNT W/ CENTER 36" A.F.F. AND BACK END 12" FROM BACK WALL.
  - 3 #B-5806-18 - WALL MOUNTED 1 1/4" DIA. 18" VERTICAL GRAB BAR. MOUNT W/ BOTTOM @ 40" A.F.F. AND SIDE END 40" FROM BACK WALL.
  - 4 #B-2888 SURFACE MOUNTED DUAL TOILET TISSUE DISPENSER. MOUNT @ 27 1/2" A.F.F. TO CENTERLINE AND 30" FROM BACK WALL TO CENTERLINE.
  - 5 FLOOR MOUNT TANK TYPE WATER CLOSET. SEE PLUMBING DWGS.
  - 6 WALL MOUNT ADA LAVATORY w/ HANDS FREE FAUCET. SEE PLUMBING DWGS.
  - 7 SOAP DISPENSER BY OWNER.
  - 8 #B-2620 - SURFACE MOUNTED PAPER TOWEL DISPENSER.
  - 9 24" x 36" S.T.L. FRAME MIRROR, BY BOBRICK.



**TYP. RESTROOM ACCESSORIES MOUNTING HEIGHTS**



**MAX. OCCUPANCY SIGNAGE DETAIL**



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BECCO FLEX BUILDING

PROJECT: BECCO FLEX BUILDING  
170 W. SMITH ROAD  
MEDINA, OHIO 44256

progress 03.28.2023

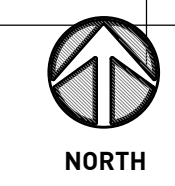
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ENLARGED UNIT 1 OFFICE PLAN

a2.2

**ENLARGED UNIT 1 OFFICE PLAN**



1019

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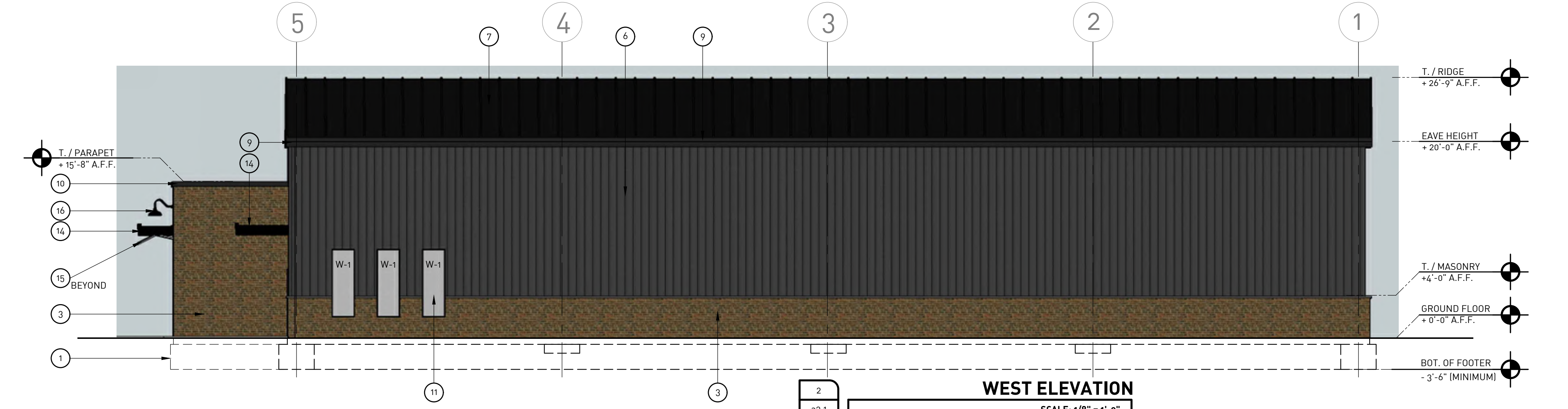
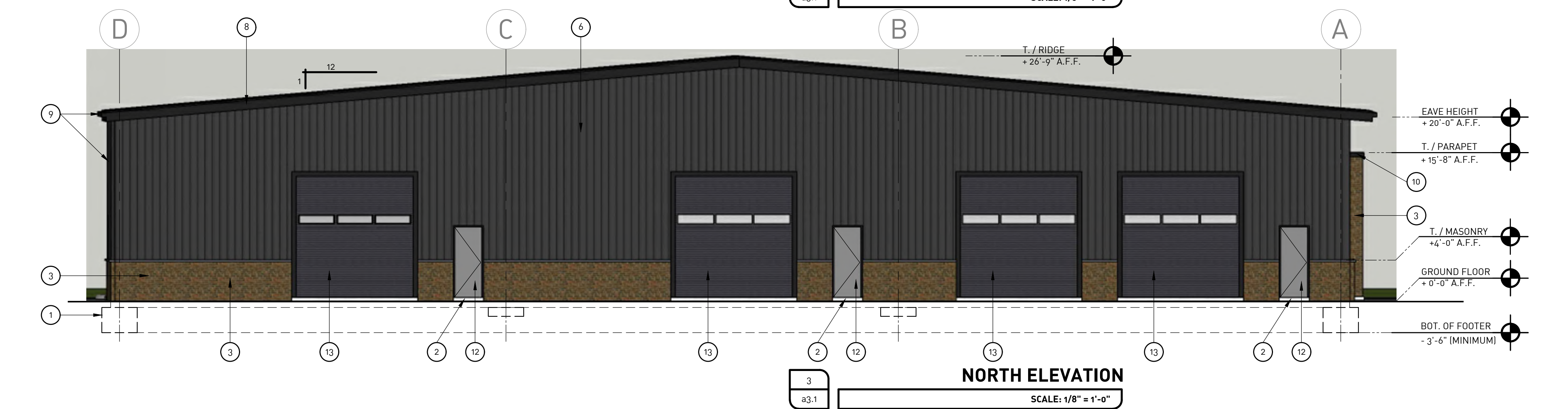
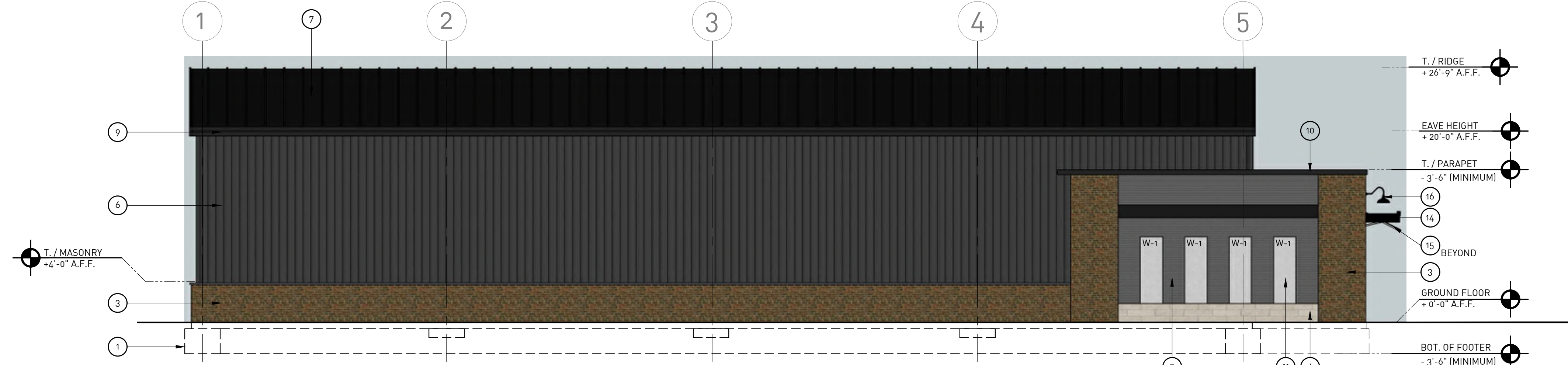
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1019

100 200 300 400 500 600 700 800

**EXTERIOR ELEVATIONS FINISH LEGEND:**

- 1 REINFORCED CONCRETE FOOTER
- 2 4'-0" x 4'-0" FROST PROOF CONCRETE SLAB
- 3 BRICK VENEER ;  
MANUF: T.B.D. / STYLE/COLOR: TBD. / FINAL SELECTION BY OWNER
- 4 SPLIT FACED CONCRETE BLOCK;  
MANUF: T.B.D. / STYLE: TBD / COLOR: TBD. / FINAL SELECTION BY OWNER
- 5 HORIZONTAL RIBBED METAL SIDING;  
MANUF: T.B.D. / STYLE: TBD / COLOR: TBD. / FINAL SELECTION BY OWNER
- 6 VERTICAL RIBBED METAL SIDING PER P.E.M.B. MANUFACTURER  
STYLE: TBD / COLOR: TBD
- 7 STANDING SEAM METAL ROOF PER P.E.M.B. MANUFACTURER.  
STYLE: TBD / COLOR: TBD
- 8 PRE-FINISHED METAL FASCIA PER P.E.M.B. MANUFACTURER.  
COLOR: TBD
- 9 PRE-FINISHED ALUMINUM GUTTERS AND DOWNSPOUTS PER P.E.M.B.  
MANUFACTURER. COLOR: TBD
- 10 PRE-FINISHED METAL COPING. COLOR: TBD
- 11 STOREFRONT WINDOW / ENTRY SYSTEM. BASIS OF DESIGN: TUBELITE  
4500 SERIES, COLOR: BLACK, w/ 1" INSULATED GLASS, 1/4" CLEAR AT  
INTERIOR & 1/4" TINTED AT EXTERIOR.
- 12 INSULATED HOLLOW METAL DOOR (PTD.) COLOR: GREY IN HOLLOW  
METAL FRAME (PTD.) COLOR: BLACK
- 13 14'-0" x 14'-0" INSULATED SECTIONAL OVERHEAD DOOR.  
COLOR: DARK GREY
- 14 EXTERIOR AWNING/CANOPY:  
4' PROJECTED - PREFABRICATED STEEL AWNING (BY SKYSCAPE) w/ 12"  
HIGH 'C' CHANNEL PERIMETER PROFILE AND SHEET METAL SINGLE SLOPE  
ROOF TO DRAIN TO SIDE SCUPPER W/ DOWNSPOUT.
- 15 4'-0" PROJECTED FABRIC AWING ON ALUMINUM FRAME.
- 16 GOOSENECK LIGHT FIXTURE PER ELECTRICAL DWGS.



EXPERIENCE → TRANSFORM

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**BECCO FLEX BUILDING**

PROJECT: BECCO FLEX BUILDING  
1170 W. SMITH ROAD  
MEDINA, OHIO 44256

PROGRESS: 03.28.2023


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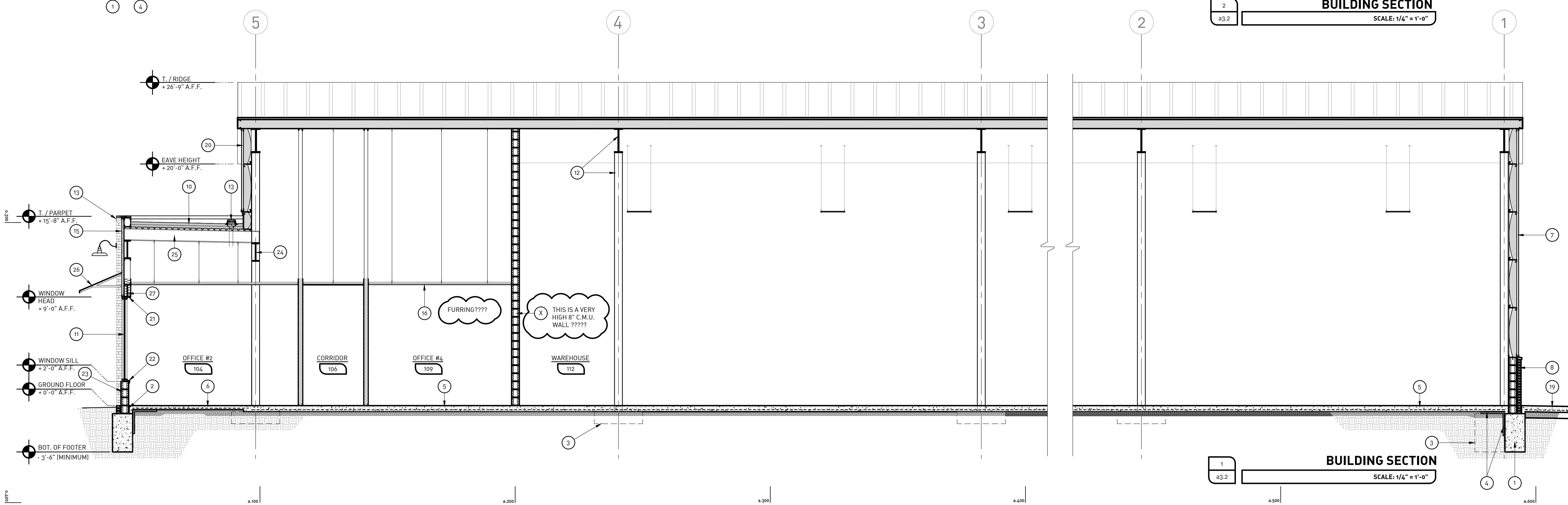
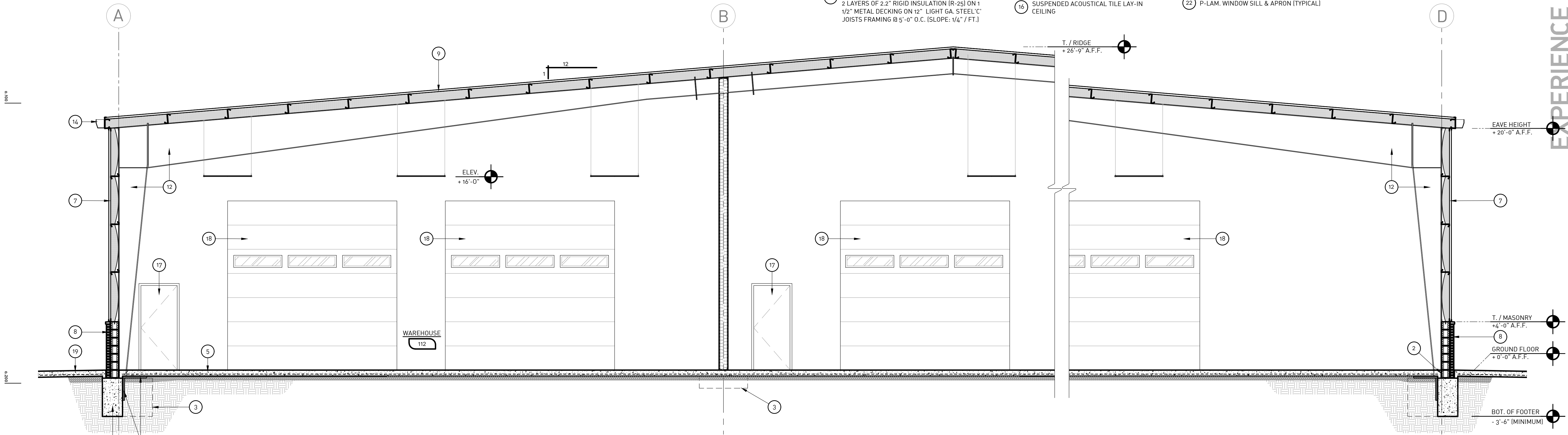
ELEVATIONS

SHEET NO. a3.1



**BUILDING SECTION KEY NOTES:**

- ① REINFORCED CONCRETE TRENCH FOOTER
- ② 1/2" CONTINUOUS ISO BOARD
- ③ REINFORCED CONCRETE (COLUMN) FOOTER BEYOND
- ④ 2" RIGID INSULATION @ PERIMETER (2'-0" HORIZ. & VERTICAL TYP.)
- ⑤ 6" CONCRETE - w/ NO AIR ENTRAINMENT SLAB w/ 6" x 6" - w2.9 x w2.9 W.W.F. ON 6 MIL VAPOR BARRIER ON COMPACTED SUB-BASE.
- ⑥ 4" CONCRETE SLAB w/ 6" x 6" - w2.9 x w2.9 W.W.F. ON 6 MIL VAPOR BARRIER ON COMPACTED SUB-BASE
- ⑦ 8" CONCRETE MASONRY WALL UP TO 4'-0" ABOVE FIN. FLR. PER FILL CORES w/ POLYURETHANE FOAM INSULATION (MINIMUM R-12) - w/ VERTICAL RIBBED MTL. SIDING PANELS ON 15# MOISTURE BARRIER ON ON HORIZ. 'Z' WALL GIRTS CONNECTED TO STRUCTRAL COLUMN FRAME w/ FLAME RATED VINYL FACED WALL INSULATION (MINIMUM R-19)
- ⑧ BRICK VENEER ON HORIZ. BRACING w/ 1" AIR GAP ON 8" x 8" x 16" C.M.U. (FILL CORES w/ POLYURETHANE FOAM INSULATION (MINIMUM R-12) UP TO 4'-0" ABOVE FIN. FLR.
- ⑨ STANDING SEAM METAL ROOF SYSTEM BY PRE-ENGINEERED METAL BUILDING MANUF. FRAME w/ FLAME RATED VINYL FACED ROOF INSULATION (MINIMUM R-32)
- ⑩ FULLY ADHERED EPDM ROOFING MEMBRANE ON 2 LAYERS OF 2.2" RIGID INSULATION (R-25) ON 1 1/2" METAL DECKING ON 12" LIGHT GA. STEEL 'C' JOISTS FRAMING @ 5'-0" O.C. (SLOPE: 1/4" / FT.)
- ⑪ ALUMINUM / GLASS STOREFRONT WINDOW / DOOR SYSTEM
- ⑫ PRE-ENGINEERED TAPERED STEEL COLUMN / 'Z' ROOF SYSTEM STRUCTURE
- ⑬ ROOF DRAIN w/ OVERFLOW THRU WALL SCUPPER BEYOND
- ⑭ METAL GUTTER & DOWNSPOUTS BY PRE-ENGINEERED METAL BUILDING MANUFACTURE
- ⑮ HORIZONTAL RIBBED METAL SIDING ON 15# MOISTURE BARRIER ON 7/16" OSB. SHEATHING ON 6" METAL STUDS @ 16" O.C. w/ R-21 BATT INSULATION AND 5/8" DRYWALL @ INTERIOR
- ⑯ SUSPENDED ACOUSTICAL TILE LAY-IN CEILING
- ⑰ 3'-0" x 7'-0" H. METAL DOOR (PAINTED) IN H. METAL FRAME (PAINTED)
- ⑱ 14'-0" x 14'-0" INSULATED SECTIONAL METAL OVERHEAD DOOR
- ⑲ 6" REINFORCED CONCRETE DRIVE ON COMPACTED SUB-BASE
- ⑳ VERTICAL RIBBED MTL. SIDING PANELS ON 15# MOISTURE BARRIER ON HORIZ. 'Z' WALL GIRTS CONNECTED TO STRUCTRAL COLUMN FRAME w/ FLAME RATED VINYL FACED WALL INSULATION (MINIMUM R-19)
- ㉑ DRYWALL RETURN @ WINDOW HEAD (TYPICAL)
- ㉒ P-LAM. WINDOW SILL & APRON (TYPICAL)
- ㉓ 8" X 8" X 16" SPLIT FACE C.M.U. (FILL CORES w/ POLYURETHANE FOAM INSULATION (MINIMUM R-12) UP TO 4'-0" ABOVE FIN. FLR.
- ㉔ STEEL BEAM PER STRUCTUAL DWGS.
- ㉕ STEEL ROOF STRUCTURE PER STRUCTUAL DWGS.
- ㉖ FABRIC AWING ON ALUMINUM FRAME
- ㉗ LIGHT GA. METAL HEADER



EXPERIENCE → TRANSFORM

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**BECCO FLEX BUILDING**

PROJECT: BECCO FLEX BUILDING  
1170 W. SMITH ROAD  
MEDINA, OHIO 44256

PROGRESS: 03.28.2023

REVISION	DATE

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BUILDING SECTIONS

a3.2