



# BOARDS & COMMISSIONS APPLICATION

132 North Elmwood Avenue  
330-722-9038  
www.medinaoh.org

Application Number P23-13

<b>GENERAL</b>	Date of Application <u>5-31-23</u> Property Location <del>1170 W. Smith Rd.</del> <u>1170 W. Smith Rd.</u> Description of Project <u>Commercial Building (3) Suite for Becco, Inc.</u>
<b>CONTACT INFORMATION</b>	<b>Applicant</b> Name <u>Ron Bengough Jr.</u> Address <u>5991 Wolff Rd.</u> City <u>Medina</u> State <u>OH</u> Zip <u>44251</u> Phone <u>216-470-3901</u> Email <u>info@beccoexcavating.com</u> <b>Property Owner</b> Name <u>1170 W. Smith Rd. LLC</u> Address <u>P.O. Box 457</u> City <u>Hackley</u> State <u>OH</u> Zip <u>44237</u> Phone <u>216-470-3901</u> Email <u>info@beccoexcavating.com</u>
<b>APPLICATION TYPE</b>	Planning Commission Site Plan <input checked="" type="checkbox"/> Conditional Zoning Certificate <input type="checkbox"/> Code or Map Amendment <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Conditional Sign (EMC/Shopping Ctr) <input type="checkbox"/> Cert. of Appr. (TCOV) <input type="checkbox"/> Other <input type="checkbox"/> Historic Preservation Board Certificate of Appropriateness <input type="checkbox"/> Conditional Sign <input type="checkbox"/> Board of Zoning Appeals Variance <input type="checkbox"/> Appeal <input type="checkbox"/>
<b>APPLICANT SIGNATURE</b>	By signing this application, I hereby certify that: 1) The information contained in this application is true and accurate to the best of my knowledge; 2) I am authorized to make this application as the property owner of record or I have been authorized to make this application by the property owner of record; 3) I assume sole responsibility for correspondence regarding this application; and 4) I am aware that all application requirements must be submitted prior to the formal acceptance of my application. Signature <u>[Signature]</u> Date <u>5-31-23</u>
<b>OFFICIAL USE</b>	Zoning District <u>I-1</u> Fee (See Fee Sheet) \$ _____ Meeting Date <u>7-13-23</u> Check Box when Fee Paid <input type="checkbox"/> <p style="text-align: center;"><b>Revision 4-11-24</b></p>

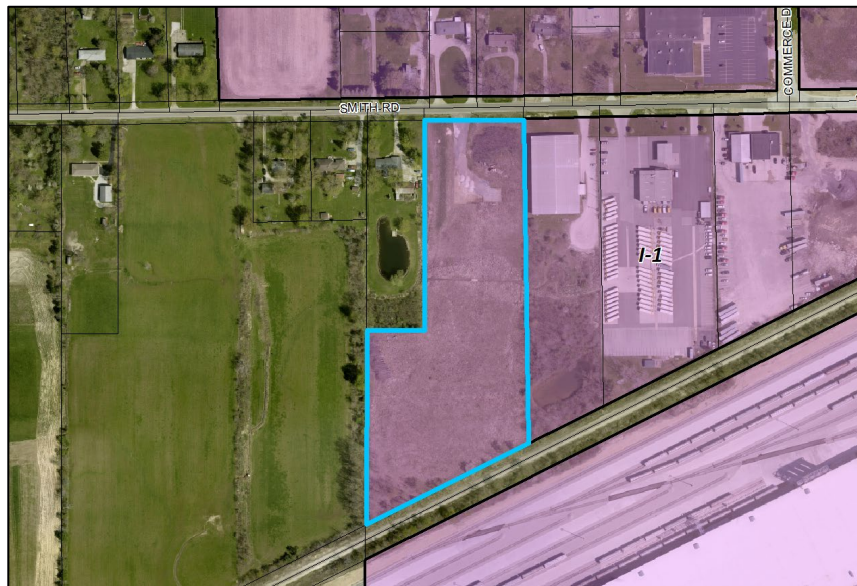
## P23-13 Becco Excavating Revised Site Plan

Property Owner: 1170 W Smith Road LLC  
Applicant: Ron Bengough Jr.  
Location: 1170 West Smith Road  
Zoning: I-1 (Industrial)  
Request: Revised Site Plan approval for a warehouse and office building

### **LOCATION AND SURROUNDING USES**

The subject site is composed of 7.6 acres located on the south side of West Smith Road. Adjacent properties contain the following uses and zoning:

- **North** – Single-Family Residential (I-1)
- **East** – Industrial (I-1)
- **South** – Industrial (I-1)
- **West** – Single-Family Residential and Agriculture (Unincorporated)



### **BACKGROUND & PROPOSED APPLICATION**

Site Plan Application P23-13 was approved on July 23, 2023 for the construction of a 17,728 sq. ft. office and warehouse building to be initially occupied by Becco Excavating. The building had the ability to accommodate three total units.

The applicant is proposing to revise the previous approval with the following significant changes:

- A reduction in building size to 13,269 sq. ft. to be occupied by a single-tenant
- Removal of a northern access point and driveway
- The removal of 6 parking spaces
- Alterations to the building exterior

### **DEVELOPMENT STANDARDS**

The proposed building is located in the I-1 zoning district. The following table indicates general development standard requirements in the zoning district:

	<b>Required</b>	<b>Proposed</b>
Minimum Lot Frontage	100 ft.	232 ft.
Minimum Front Setback	25 ft.	101 ft.
Minimum Side Setback (Residential)	50 ft.	101 ft.
Minimum Side Setback (Nonresidential)	25 ft.	43 ft.
Maximum Building Height	40 ft.	24 ft.

The project meets the applicable development standards.

### **PARKING, ACCESS, AND CIRCULATION**

Access and Circulation – The site has a single access point off of West Smith Road that accommodates two-way traffic. Access drives and aprons meet minimum and maximum width requirements. All traffic circulation on the site is two-way.

Required Off-Street Spaces – Offices uses require a minimum of 1 parking space for every 400 sq. ft. The 1,270 sq. ft. of office space in the building requires 3 spaces. Warehouse uses required “enough to satisfy all the parking needs of the proposed use”.

The site incorporates 14 parking spaces in front of the building, which would appear to be adequate for the proposed office and warehouse uses.

Parking Dimensions – Ninety-degree parking spaces must be 9 ft. in width and 19 ft. in length with a 24 ft. wide drive aisle. The proposed site meets this standard.

Loading Zones – Compliant loading spaces are shown to the rear of the building accessing four overhead doors.

Sidewalk – A public sidewalk is not proposed and a public sidewalk does not exist on West Smith Road in the area. The Planning Commission may waive the requirement to install a public sidewalk in the I-1 zoning district.

### **LANDSCAPING, SCREENING, AND BUFFERING**

Parking Lot Landscaping – Landscape features or other visual barriers are required between parking and the right-of-way. Plans show landscaping between the parking lot and the right-of-way.

Interior parking lot landscaping is provided at the required 5 sq. ft. per 100 sq. ft. of parking area.

Buffering and Screening – Landscape features or other visual barriers are required between the site and residential properties to the west. A row of White Pine trees is located on the west side of the property to provide a buffer.

Trash Enclosure – A trash enclosure is shown to the rear of the building with compliant screening.

### **ENGINEERING AND FIRE DEPARTMENT COMMENTS**

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At this time, the Engineering and Fire Departments have not provided comments regarding the project.

### **UTILITIES AND STORMWATER**

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The site has access to public water and sanitary sewer service. A stormwater detention basin is indicated to the west of the building.

### **BUILDING ELEVATIONS AND LIGHTING**

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Architectural plans illustrate an industrial building predominantly composed of vertical metal siding and a standing seam metal roof. The office area in the front of the building incorporates windows, a glass door, shake-style vinyl siding, and a lower section with a stone veneer.

A lighting plan has not been submitted at this time. Lighting must comply with Section 1145.09(c) including a photometric plan, full cut-off fixtures, and a maximum lighting height of 25 ft.

### **SITE PLAN REVIEW STANDARDS**

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The Planning Commission's review and action shall be based on the following Standards per Section 1109.02(c):

- (1) The site plan shows that a proper relationship does exist between thoroughfares, service roads, driveways and parking areas to encourage pedestrian and vehicular traffic safety.
- (2) All the development features including the principal buildings, open spaces, service roads, driveways and parking areas are so located and related as to minimize the possibility of any adverse effects upon adjacent development.
- (3) The site plan includes adequate provision for the screening of parking areas, service areas and active recreation areas from surrounding properties by landscaping and/or ornamental walls or fences. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (4) Grading and surface drainage provisions are reviewed and approved by the City Engineer.
- (5) The design and construction standards of all private streets, driveways and parking areas are to be built following approval of plans by the City Engineer according to construction standards specified in the Codified Ordinances.
- (6) Maximum possible privacy for multi-family dwellings and surrounding residential properties shall be provided through good design and use of proper building materials and landscaping. Visual privacy should be provided through structural screening and landscaping treatment. Auditory privacy in multi-family dwellings should be provided through soundproofing. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (7) The architectural design of buildings should be developed with consideration given to the relationship of adjacent development in terms of building height, mass, texture, materials, line and pattern and character.

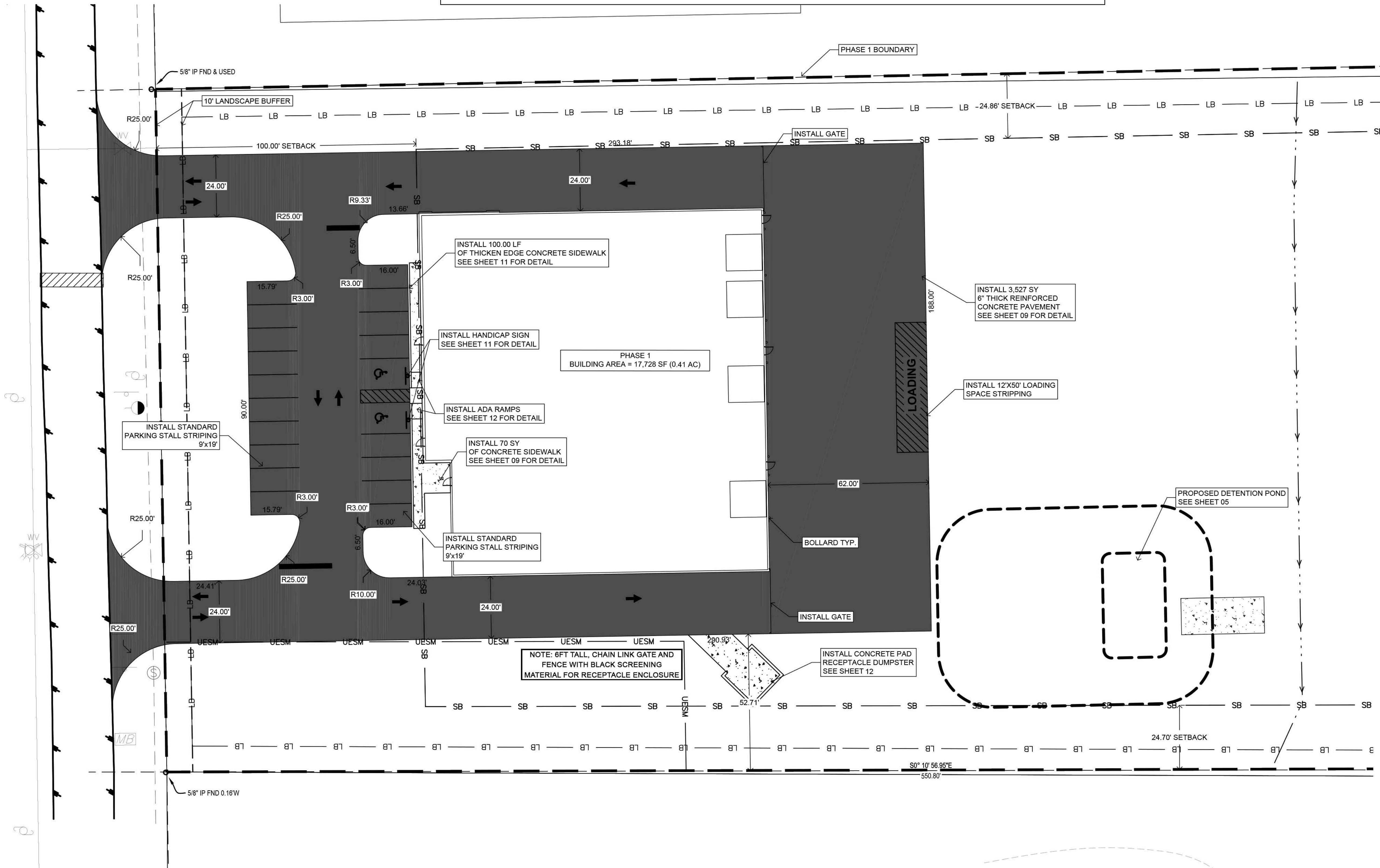
- (8) Building location and placement should be developed with consideration given to minimizing removal of trees and change of topography. Any trees to be removed which are planted in a public right-of-way or on municipal property shall be reviewed by the Shade Tree Commission.
- (9) In multi-family developments, television and other antennas shall be centralized.
- (10) On-site circulation shall be designed to make possible adequate fire and police protection.
- (11) Off-street parking facilities shall be provided in accordance with Chapter 1145. In large parking areas, visual relief shall be provided through the use of tree planted and landscaped dividers, islands and walkways. In multi-family developments no parking or service areas shall be permitted between any street and the main building. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (12) Signs shall be provided in accordance with these Codified Ordinances.
- (13) Any trees planted on site shall be on approved list of Shade Tree Commission and planted in accordance with Commission standards.

**COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION**

Staff recommends **approval** of revised application P23-13 for Site Plan as submitted with the condition that exterior lighting information shall be provided complying with Section 1145.09(c) including a photometric plan, full cut-off fixtures, and a maximum lighting height of 25 ft.



# ORIGINAL APPROVED PLANS 7-13-23



### LEGEND

- CONCRETE PAVEMENT
- CONCRETE RIPRAP
- BOUNDARY LINE
- PROPERTY LINES
- EASEMENTS
- OVERHEAD ELECTRIC
- EDGE OF EXISTING ASPHALT
- TREE TO REMAIN
- TREE TO REMOVE
- IRON ROD FOUND (SIZE NOTED)
- IRON PIPE FOUND (SIZE NOTED)
- BENCHMARK FOUND
- NAIL FOUND
- MONUMENT FOUND
- CLEAN OUT
- ELECTRIC METER
- FIRE HYDRANT
- GATE VALVE
- HANDICAP PARKING
- LIGHT POLE
- VALVE
- WATER VALVE
- WATER METER
- STORM SEWER MANHOLE
- WASTEWATER MANHOLE
- WATER MANHOLE
- SIGN (AS NOTED)
- POWER POLE
- DOWN GUY

### GENERAL NOTES

1. ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
2. NO PERSON SHALL CONSTRUCT, RECONSTRUCT, ALTER, REPAIR, REMOVE, REPLACE, PAVE, REPAVE, SURFACE OR RESURFACE ANY WALK, DRIVE, CURB, GUTTER, PAVED AREA OR APPURTENANCE ON PUBLIC PROPERTY IN THE CITY WITHOUT FIRST OBTAINING FROM THE BUILDING INSPECTOR A PERMIT SO TO DO.
3. NO TRAFFIC LANE OR SIDEWALK ALONG ANY PUBLIC STREET OR ALLEY IS TO BE CLOSED WITHOUT FIRST OBTAINING THE APPROPRIATE PERMIT(S) FROM THE CITY OF MEDINA. LANE CLOSURE OF ANY TRAFFIC LANE MUST BE RESTRICTED TO THE HOURS OF 9:00 A.M. TO 3:30 P.M. WORKDAYS.
4. PRIOR TO ANY GRADING OR FILLING OPERATIONS IN OR WITHIN 10 FEET OF THE 100 YEAR FLOODPLAIN OR A DRAINAGE EASEMENT CONTAINING A CREEK OR OPEN CHANNEL, THE EASEMENT AREA AND 100 YEAR FLOODPLAIN SHALL BE STAKED ONSITE BY A OHIO REGISTERED PROFESSIONAL LAND SURVEYOR (RPLS).
5. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAS BEEN BASED UPON RECORD INFORMATION ONLY AND MAY NOT MATCH LOCATIONS AS CONSTRUCTED. THE CONTRACTOR SHALL CONTACT THE "ONE CALL" SYSTEM @ 811, OR THE OWNER OF EACH INDIVIDUAL UTILITY, FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF UTILITY CROSSING PRIOR TO BEGINNING CONSTRUCTION.
6. BY THE ACT OF SUBMITTING A BID FOR THE PROPOSED CONTRACT, THE BIDDER WARRANTS THAT THE BIDDER, AND ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS HE INTENDS TO USE HAVE CAREFULLY AND THOROUGHLY REVIEWED THE DRAWINGS AND SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS AND HAVE FOUND THEM COMPLETE AND FREE FROM ANY AMBIGUITIES AND SUFFICIENT FOR THE PURPOSE INTENDED. THE BIDDER FURTHER WARRANTS THAT TO THE BEST OF HIS OR HIS SUBCONTRACTORS AND MATERIAL SUPPLIERS KNOWLEDGE ALL MATERIALS AND PRODUCTS SPECIFIED OR INDICATED HEREIN ARE ACCEPTABLE FOR ALL APPLICABLE CODES AND AUTHORITIES.
7. HORIZONTAL DATUM: OHIO STATE PLANE COORDINATE SYSTEM, OHIO NORTH NAD83(93) 3401

**CAUTION UTILITY NOTE**  
 EXISTING UNDERGROUND & OVERHEAD UTILITIES IN VICINITY. CONTRACTOR TO CONTACT UTILITY COMPANIES PRIOR TO CONSTRUCTION. CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS & DEPTH PRIOR TO BEGINNING CONSTRUCTION.  
 CONTRACTOR SHALL CONSIDER PROPOSED UTILITY IMPROVEMENTS AND PROVIDE ADEQUATE HORIZONTAL AND VERTICAL CLEARANCE DURING INSTALLATION OF ALL UTILITY INFRASTRUCTURE.

### MEDINA COUNTY GENERAL NOTES

1. ALL CONTRACTORS PERFORMING WORK WITHIN THE CITY OF MEDINA MUST BE REGISTERED WITH THE CITY. CONTACT THE CITY OFF MEDINA BUILDING DEPARTMENT (330) 722-9030 FOR REGISTRATION.
2. THE CONTRACTOR SHALL PROVIDE THE CITY OF MEDINA ENGINEER 48 HOURS NOTICE PRIOR TO IMPLEMENTING ANY CONSTRUCTION ACTIVITIES THAT MAY IMPACT TRAFFIC FLOW ON WEST SMITH ROAD.
3. ALL CONSTRUCTION WORK WITHIN THE PUBLIC ROAD RIGHT OF WAY MUST BE INSPECTED AT THE TIME OF CONSTRUCTION BY THE CITY OF MEDINA ENGINEERING DEPARTMENT (330) 722-9084

SITE PLAN TABLE	
DESCRIPTION	CONDITION
LOT AREA	330,185 SF (7.58 AC)
PHASE 1 AREA	125,888 SF (2.89 AC)
IMPERVIOUS	52,352 SF (1.21 AC)
FRONTAGE	232 FT
LOT DEPTH	382 / 475 FT
FRONT SETBACK	100 Ft
REAR SETBACK	25Ft
SIDE SETBACK	25 Ft
LAND USE (PROP.)	LIGHT MANUFACTURING
ZONING	INDUSTRIAL

THIS DOCUMENT IS FOR INTERIM REVIEW PURPOSES ONLY AND NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.  
 PROJECT MANAGER: JOHN VANNI, P.E.  
 OHIO LICENSE NUMBER: #1701414  
 DATE: 07-09-2022

### SITE PLAN

SCALE: 1" = 20'



John Vanni, PE  
 Ohio License E-77145

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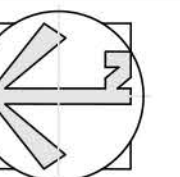
## OASIS DESIGNS INC

PO Box 479  
 Wadsworth, Ohio  
 330.419.9777  
 www.oasisdesignsinc.com  
 FIRM Authorization  
 #17313767

**BECCO FLEX BUILDING**  
 1170 WEST SMITH ROAD

Project Number: 011-20  
 Prepared for: 1170 W SMITH RD LLC

Date issued: 06-03-2022  
 Revisions: 00-00-00

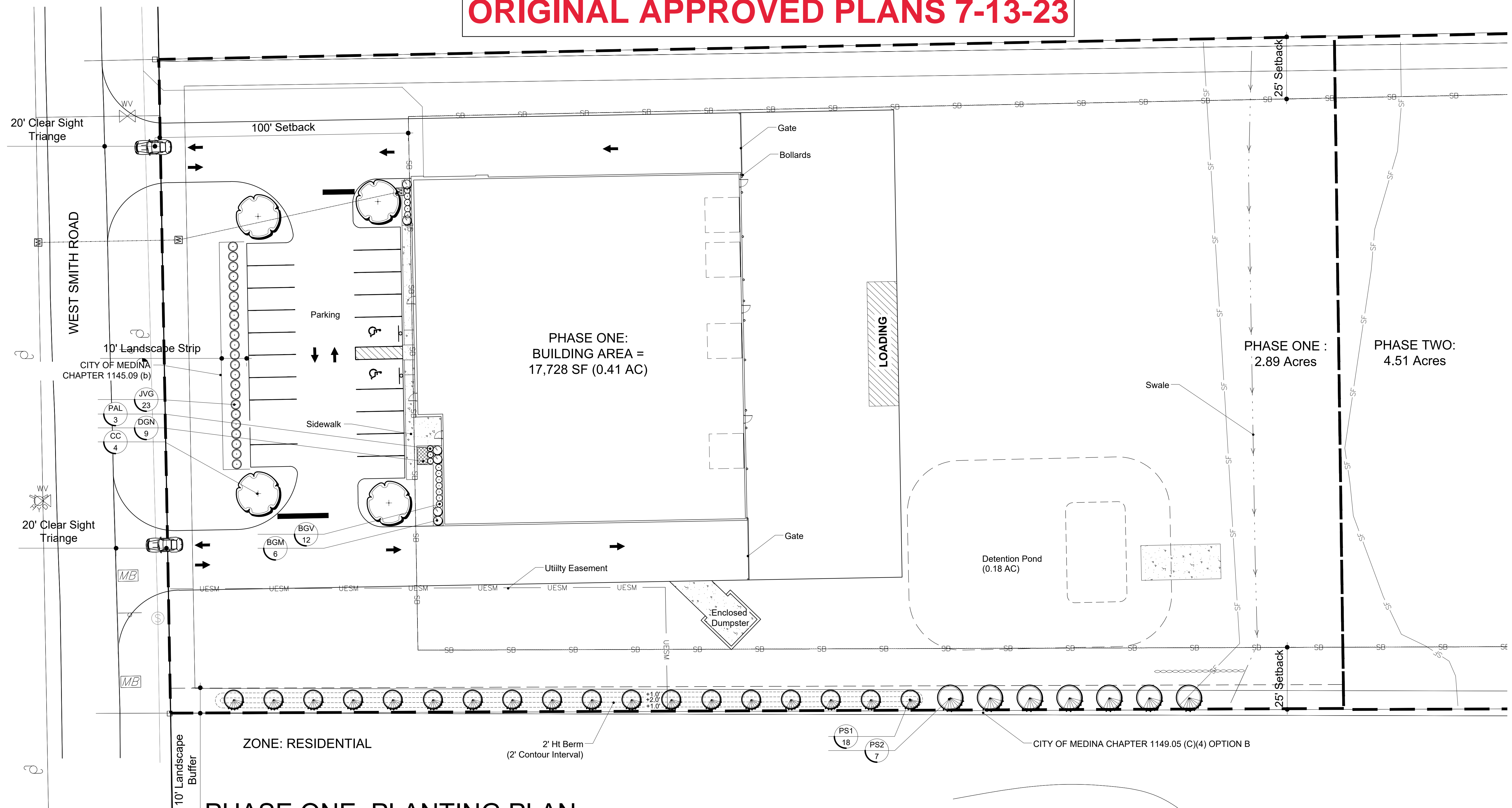


04

SITE PLAN



# ORIGINAL APPROVED PLANS 7-13-23



## PHASE ONE: PLANTING PLAN

SCALE: 1" = 20'-0"

### Phase One: Plant List

Date: 5/1/2023

TREES					
Qty	Sym	Botanical Name	Common Name	Specification	Spacing USDA Zone
4	CC	<i>Cercis canadensis</i> 'NC2016-2'	Flame Thrower Redbud	6'-7' Ht Min., 15Gal. or B&B	As Shown 5-9
****18	PS1	<i>Pinus strobus</i>	Eastern White Pine	4' Ht, B&B - Centered on Top of 2' Berm	16' oc 3-8
****7	PS2	<i>Pinus strobus</i>	Eastern White Pine	6' Ht, B&B	16' oc 3-8
ACCENTS					
Qty	Sym	Botanical Name	Common Name	Specification	Spacing USDA Zone
3	PAL	<i>Perovskia atriplicifolia</i> 'Little Spire'	Little Spire Russian Sage	2 Gal.	24" oc 5-9
SHRUBS					
Qty	Sym	Botanical Name	Common Name	Specification	Spacing USDA Zone
12	BGV	<i>Buxus</i> x 'Green Velvet'	Green Velvet Boxwood	3 gallon or B&B, 18" oa ht	30" oc 5-8
6	BGM	<i>Buxus</i> x 'Green Mountain'	Green Mountain Boxwood	B&B, 36" oa ht, Pyramidal Form - Matching	48" oc 4-8
23	JVG	<i>Juniperus virginiana</i> 'Grey Owl'	Grey Owl Juniper	B&B, 15"-18" ht,	48" oc 4-9
GROUND COVERS					
Qty	Sym	Botanical Name	Common Name	Specification	Spacing USDA Zone
9	DGN	<i>Deutzia gracilis</i> 'Nikko'	Dwarf Nikko Deutzia	3 gallon 15" Ht, Full	18" oc 5-8

\*\*\*\*Owner to provide White Pine Bud Caps from fall to spring for each pine tree every year until the tree height reaches a minimum bud height so as to prevent deer foraging and damage.

### NOTES:

- Contractor to verify all existing field conditions prior to ordering, manufacturing, and construction.
- Per Chapter 1149.05 - All unhealthy or dead plant material shall be replaced within one (1) year, or by the next planting period, whichever comes first.
- 1149.05 (C)(4)(Option B) - Buffer strip of open space along the property line at least ten (10) feet in width should be established. Such greenbelt shall be planted and maintained with sight blocking plant material such as evergreens or hedge at least six (6) feet in height, tightly situated so as to provide an effective and permanent visual buffer. The portion of the landscaped area not covered by plantings shall be kept in a neat and orderly appearance.



- KEY**
- CC - FlameThrower Redbud
  - PS1 - Eastern White Pine 6' Ht
  - PS2 - Eastern White Pine 4' Ht with 2' Berm
  - BGM - Green Mountain Boxwood
  - BGV - Green Velvet Boxwood
  - JVG - Grey Owl Juniper
  - PAL - Little Spire Russian Sage
  - DGN - Dwarf Nikko Deutzia

Jennifer Vanni, MLA  
Ohio RLA#1701414

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A Landscape Architecture Firm, Cert. #17313767

**PLANTING PLAN**  
**BECCO FLEX BUILDING**  
 1170 WEST SMITH ROAD  
 Project: 0111-20  
 Prepared for: 1170 W SMITH RD LLC

**PLANTING PLAN**  
 Date Issued: 03-23-23  
 Revisions: 05-01-23  
  
**LA1**



# PROPOSED REVISED PLANS

## STATE OF OHIO MEDINA COUNTY

### 1170 WEST SMITH ROAD



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02	SWPPP GENERAL NOTES
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04	SITE PLAN
05	GRADING & DRAINAGE PLAN
06	SWPPP PLAN
07	UTILITY PLAN
08	SECTION DETAILS
09	WATER DETAILS
10	SEWER DETAILS
11	SITE DETAILS 1
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13	DRAINAGE DETAILS
14	SWPPP DETAILS 1
15	SWPPP DETAILS 2
LA1	LANDSCAPE PLAN 1
LA2	LANDSCAPE PLAN 2

#### NOTES

1. THESE PLANS WERE PREPARED BASED UPON THE FIELD SURVEY COMPLETED BY AZTECN ENGINEERING AND SURVEYING ON THE 7<sup>TH</sup> DAY OF MARCH 2022 AND SEALED BY STAN R. LOCH ON THE 15<sup>TH</sup> OF MARCH 2022.
2. THE VERTICAL CONTOURS ARE 1FT
3. OASIS DESIGN HAS UTILIZED THIS SURVEY AND ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED THEREIN.
4. THE SURVEY PROVIDED WAS NOT IN OHIO STATE PLANE COORDINATES AND THEREFORE WAS ROTATED INTO THE COUNTY PROVIDED GIS.
5. PRIOR TO CONSTRUCTION, FIELD VERIFICATION OF EXISTING PROPERTY CORNERS AND MEASUREMENTS TO PROPOSED STRUCTURES SHALL BE VERIFIED BY THE CONTRACTOR.
6. THE STANDARD SPECIFICATIONS OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION, INCLUDING CHANGES AND SUPPLEMENTAL SPECIFICATIONS SHALL GOVERN THIS PROJECT UNLESS OTHERWISE SPECIFIED. WHEN IN CONFLICT THE MEDIAN COUNTY OR CITY OF MEDINA REQUIREMENTS WILL GOVERN.



**OASIS**  
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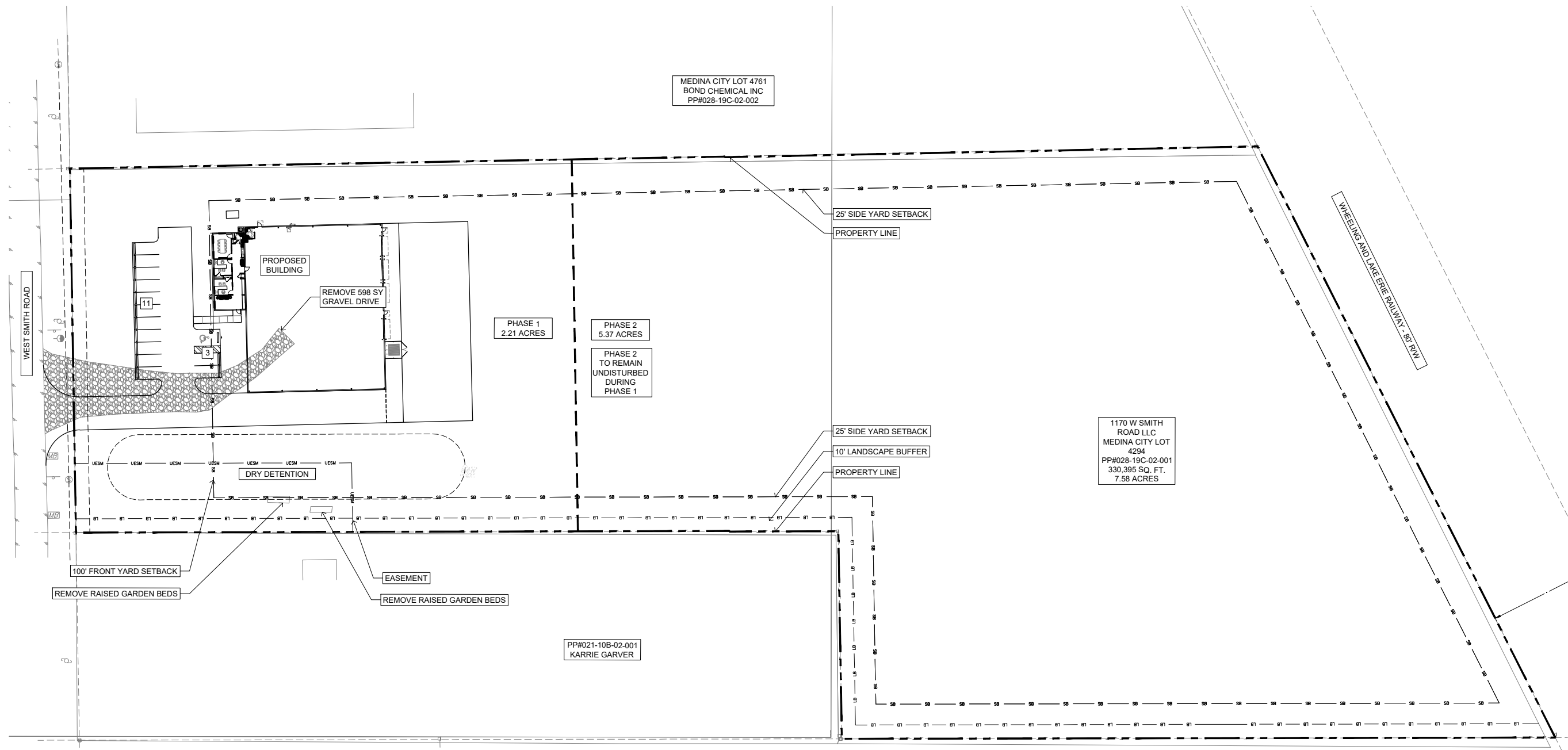


COVER SHEET

1170 W. SMITH ROAD, MEDINA, OHIO 44256  
DATE: 05-12-20  
PREPARED FOR: 1170 W. SMITH ROAD LLC  
PROJECT # 011-20  
REVISION DATE: 05-18-20, 06-05-20, 01-25-24

A LANDSCAPE ARCHITECTURE FIRM  
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MEDINA CITY LOT 4761  
BOND CHEMICAL INC  
PP#028-19C-02-002

1170 W SMITH  
ROAD LLC  
MEDINA CITY LOT  
4294  
PP#028-19C-02-001  
330,395 SQ. FT.  
7.58 ACRES

PHASE 1  
2.21 ACRES

PHASE 2  
5.37 ACRES

PHASE 2  
TO REMAIN  
UNDISTURBED  
DURING  
PHASE 1

PP#021-10B-02-001  
KARRIE GARVER

**CAUTION UTILITY NOTE**  
EXISTING UNDERGROUND & OVERHEAD UTILITIES IN VICINITY.  
CONTRACTOR TO CONTACT UTILITY COMPANIES PRIOR TO  
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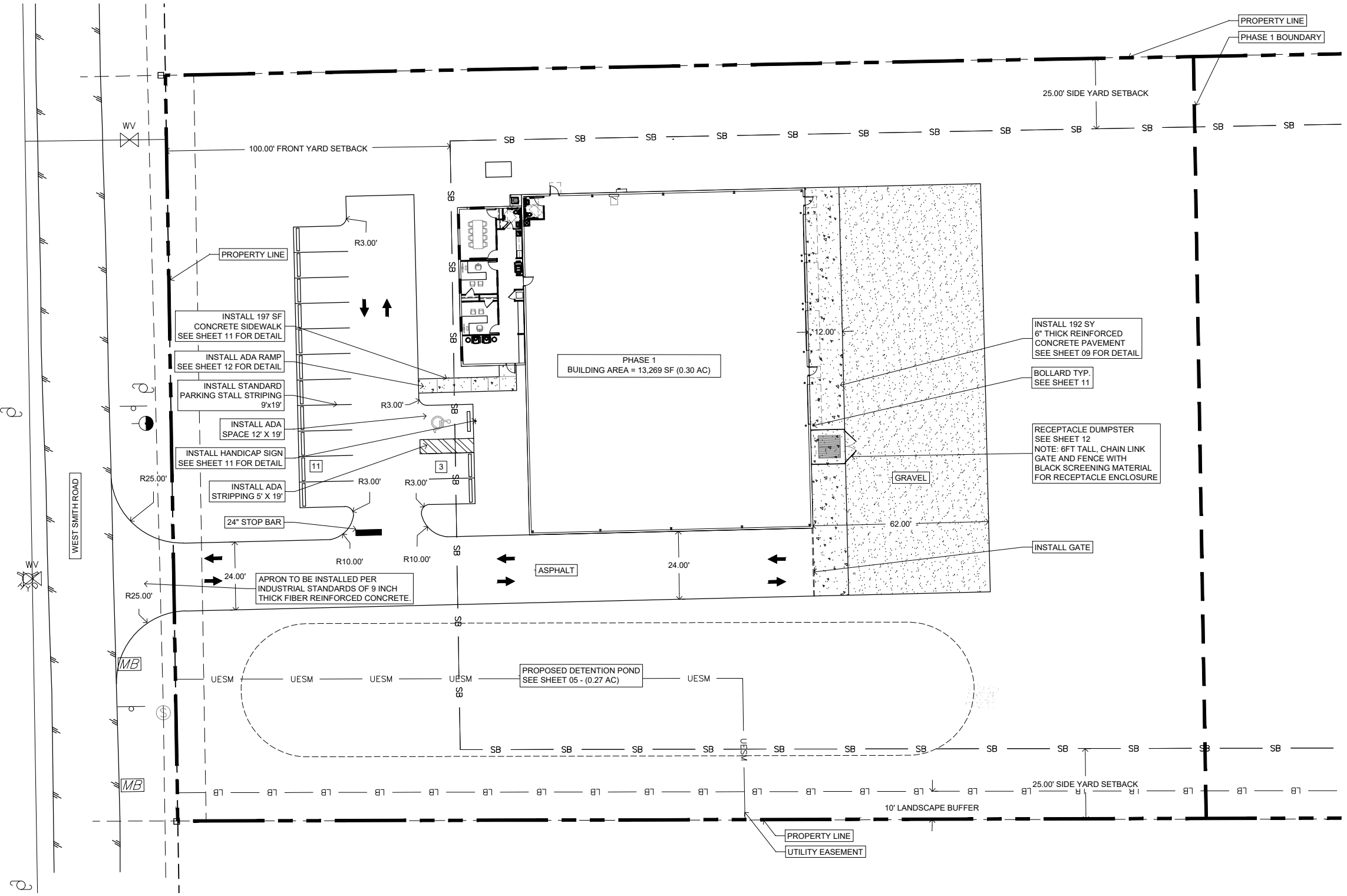
OVERALL SITE AND DEMOLITION PLAN  
Date issued: 06-03-2022  
Revisions: 01-08-24

SCALE: 1" = 40'



03





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1170 WEST SMITH ROAD  
Project Number: 011-20  
Prepared for: 1170 W SMITH RD LLC

Date Issued: 06-03-2022  
Revisions: 01-08-24

SCALE: 1" = 20'



04

SITE PLAN



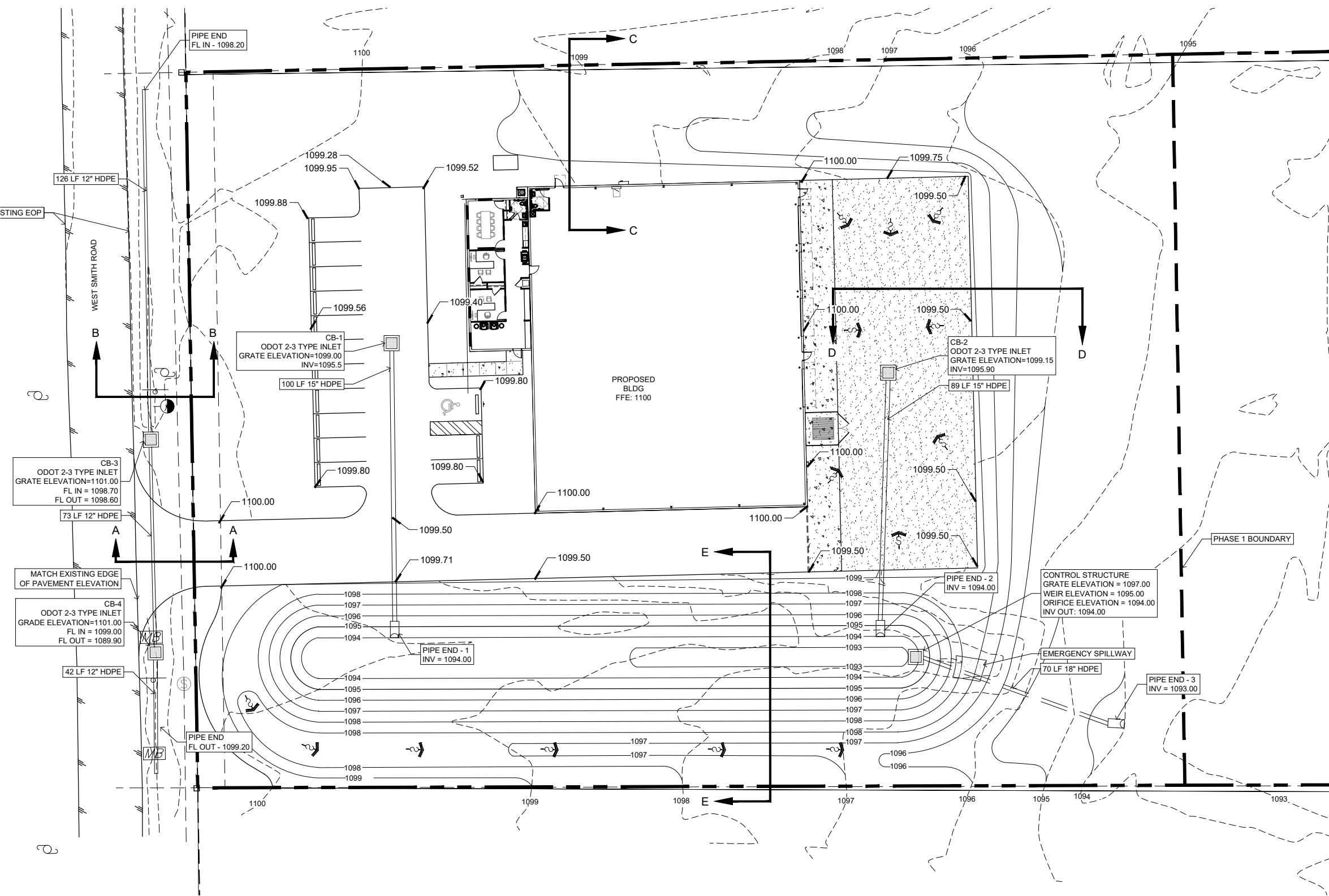
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PHASE 1 AREA	96,427 SF (2.21 AC)
IMPERVIOUS	34,017 SF (0.78 AC)
FRONTAGE	232 FT
LOT DEPTH	363 / 494 FT
FRONT SETBACK	100 Ft
REAR SETBACK	25Ft
SIDE SETBACK	25 Ft
LAND USE (PROP.)	LIGHT MANUFACTURING
ZONING	INDUSTRIAL
PARKING SPACE PROVIDED	14

- GENERAL NOTES
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  - HORIZONTAL DATUM: OHIO STATE PLANE COORDINATE SYSTEM, OHIO NORTH NAD83(93) 3401





**CAUTION UTILITY NOTE**  
 EXISTING UNDERGROUND & OVERHEAD UTILITIES IN VICINITY. CONTRACTOR TO CONTACT UTILITY COMPANIES PRIOR TO CONSTRUCTION. CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS & DEPTH PRIOR TO BEGINNING CONSTRUCTION.  
 CONTRACTOR SHALL CONSIDER PROPOSED UTILITY IMPROVEMENTS AND PROVIDE ADEQUATE HORIZONTAL AND VERTICAL CLEARANCE DURING INSTALLATION OF ALL UTILITY INFRASTRUCTURE.

- MEDINA COUNTY GENERAL NOTES**
- ALL CONTRACTORS PERFORMING WORK WITHIN THE CITY OF MEDINA MUST BE REGISTERED WITH THE CITY. CONTACT THE CITY OFF MEDINA BUILDING DEPARTMENT (330) 722-9030 FOR REGISTRATION.
  - THE CONTRACTOR SHALL PROVIDE THE CITY OF MEDINA ENGINEER 48 HOURS NOTICE PRIOR TO IMPLEMENTING ANY CONSTRUCTION ACTIVITIES THAT MAY IMPACT TRAFFIC FLOW ON WEST SMITH ROAD.
  - ALL CONSTRUCTION WORK WITHIN THE PUBLIC ROAD RIGHT OF WAY MUST BE INSPECTED AT THE TIME OF CONSTRUCTION BY THE CITY OF MEDINA ENGINEERING DEPARTMENT (330) 722-9084

- GENERAL NOTES**
- ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
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  - HORIZONTAL DATUM: OHIO STATE PLANE COORINDATE SYSTEM, OHIO NORTH NAD83(93) 3401

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 FIRM Authorization  
 #17313767

**BECCO FLEX BUILDING**  
 1170 WEST SMITH ROAD  
 Project Number: 011-20  
 Prepared for: 1170 W SMITH RD LLC

Date Issued: 06-03-2022  
 Revisions: 01-08-24  
 SCALE: 1" = 20'

GRADING & DRAINAGE PLAN

**05**

APPROXIMATE LOCATION OF CITY OF MEDINA HYDRANT AND END OF LINE

HOT TAP EXISTING WATER METER W/ 8" X 1" TAP

23 LF OF ROAD OPEN - OPEN CUT & PAVEMENT REPAIR PER CITY OF MEDINA DETAILS AND SPECIFICATIONS

278 LF OF 1" WATER SERVICE

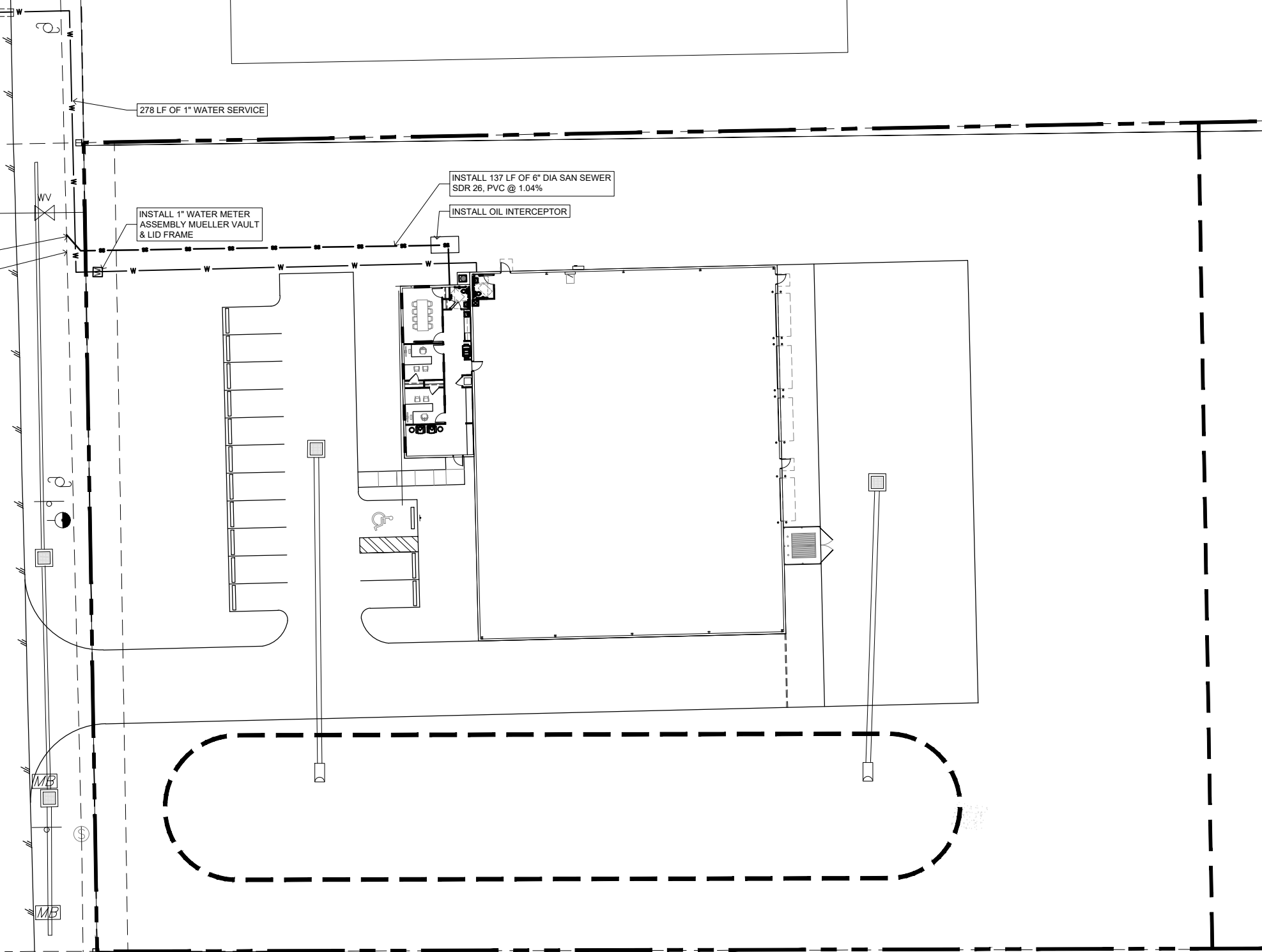
INSTALL 137 LF OF 6" DIA SAN SEWER SDR 26, PVC @ 1.04%

INSTALL OIL INTERCEPTOR

INSTALL 1" WATER METER ASSEMBLY MUELLER VAULT & LID FRAME

INSTALL 8"x6" WYE

EXISTING 8" GRAVITY SEWER



UTILITY NOTES

1. THE CONTRACTOR SHALL FURNISH ALL PIPING AND APPURTENANCES (INCLUDING THE WATER METER VAULT AND BACKFLOW PREVENTION DEVICE) AS NECESSARY TO COMPLETE THE NEW DOMESTIC WATER SERVICE INSTALLATION AS SHOWN ON THE PLANS. THE CITY OF MEDINA WATER DEPARTMENT WILL MAKE THE PROPOSED TAP TO THE EXISTING WATER MAIN AND FURNISH AND INSTALL THE WATER METER ONCE ALL TAP IN FEES HAVE BEEN PAID. PLEASE CONTACT THE WATER DEPARTMENT AT (330) 722-9081 REGARDING TAP IN FEE INFORMATION AND FOR WORK SCHEDULING.
2. ALL BACKFLOW PREVENTION DEVICES PROVIDED MUST BE ON THE OHIO EPA LIST OF APPROVED BACKFLOW PREVENTION DEVICES. PLEASE CONTACT THE CITY BACKFLOW DEPARTMENT AT (330) 721-8417 TO COORDINATE THE BACKFLOW DEVICE INSTALLATION.
3. THE DOMESTIC WATER SERVICE LINE BEYOND THE WATER METER VAULT IS CONSIDERED PRIVATELY OWNED. THEREFORE, ALL COSTS FOR MAINTENANCE AND UPKEEP OF THIS LINE IS THE RESPONSIBILITY OF THE PROPERTY OWNER.

**CAUTION UTILITY NOTE**

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  7. HORIZONTAL DATUM: OHIO STATE PLANE COORINDATE SYSTEM, OHIO NORTH NAD83(93) 3401

John Vanni, PE  
Ohio License E-77145

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#17313767

**BECCO FLEX BUILDING**  
1170 WEST SMITH ROAD  
Project Number: 011-20  
Prepared for: 1170 W SMITH RD LLC

Date Issued: 06-03-2022  
Revisions: 01-08-24

SCALE: 1" = 20'

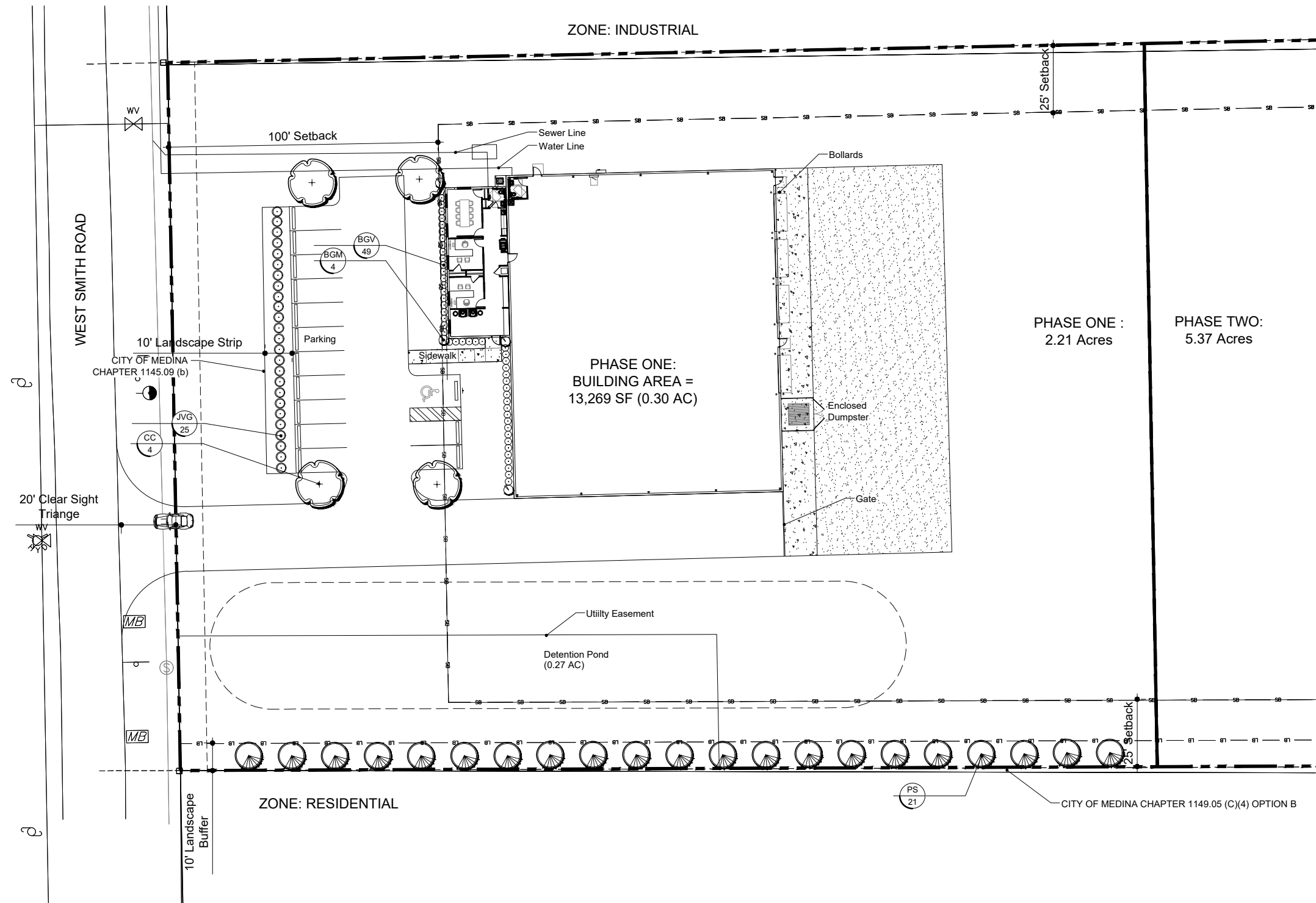


07



UTILITY PLAN





## PHASE ONE: PLANTING PLAN

SCALE: 1" = 20'-0"

**KEY**

- CC - FlameThrower Redbud
- PS - Eastern White Pine
- BGM - Green Mountain Boxwood
- BGV - Green Velvet Boxwood
- JVG - Grey Owl Juniper

Phase One: Plant List						
Date: 2/4/2024						
TREES						
Qty	Sym	Botanical Name	Common Name	Specification	Spacing	USDA Zone
4	CC	Cercis canadensis 'NC2016-2'	Flame Thrower Redbud	6'-7" Ht Min., 15Gal. or B&B	As Shown	5-9
**** 21	PS	Pinus strobus	Eastern White Pine	6' Ht, B&B	16' oc	3-8
SHRUBS						
Qty	Sym	Botanical Name	Common Name	Specification	Spacing	USDA Zone
49	BGV	Buxus x 'Green Velvet'	Green Velvet Boxwood	3 gallon or B&B, 18" oa ht	30" oc	5-8
4	BGM	Buxus x 'Green Mountain'	Green Mountain Boxwood	B&B, 36" oa ht, Pyramidal Form - Matching	48" oc	4-8
25	JVG	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	B&B, 15"-18" ht	48" oc	4-9

\*\*\*\*Owner to provide White Pine Bud Caps from fall to spring for each pine tree every year until the tree height reaches a minimum bud height so as to prevent deer foraging and damage.

**NOTES:**

- Contractor to verify all existing field conditions prior to ordering, manufacturing, and construction.
- Per Chapter 1149.05 - All unhealthy or dead plant material shall be replaced within one (1) year, or by the next planting period, whichever comes first.
- 1149.05 (C)(4)(Option B) - Buffer strip of open space along the property line at least ten (10) feet in width should be established. Such greenbelt shall be planted and maintained with sight blocking plant material such as evergreens or hedge at least six (6) feet in height, tightly situated so as to provide an effective and permanent visual buffer. The portion of the landscaped area not covered by plantings shall be kept in a neat and orderly appearance.



**Know what's below.  
Call before you dig.**

Jennifer Vanni, MLA  
Ohio RLA#1701414

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**PLANTING PLAN**

**BECCO FLEX BUILDING**

1170 WEST SMITH ROAD

Project: 011-20  
Prepared for: 1170 W SMITH RD LLC

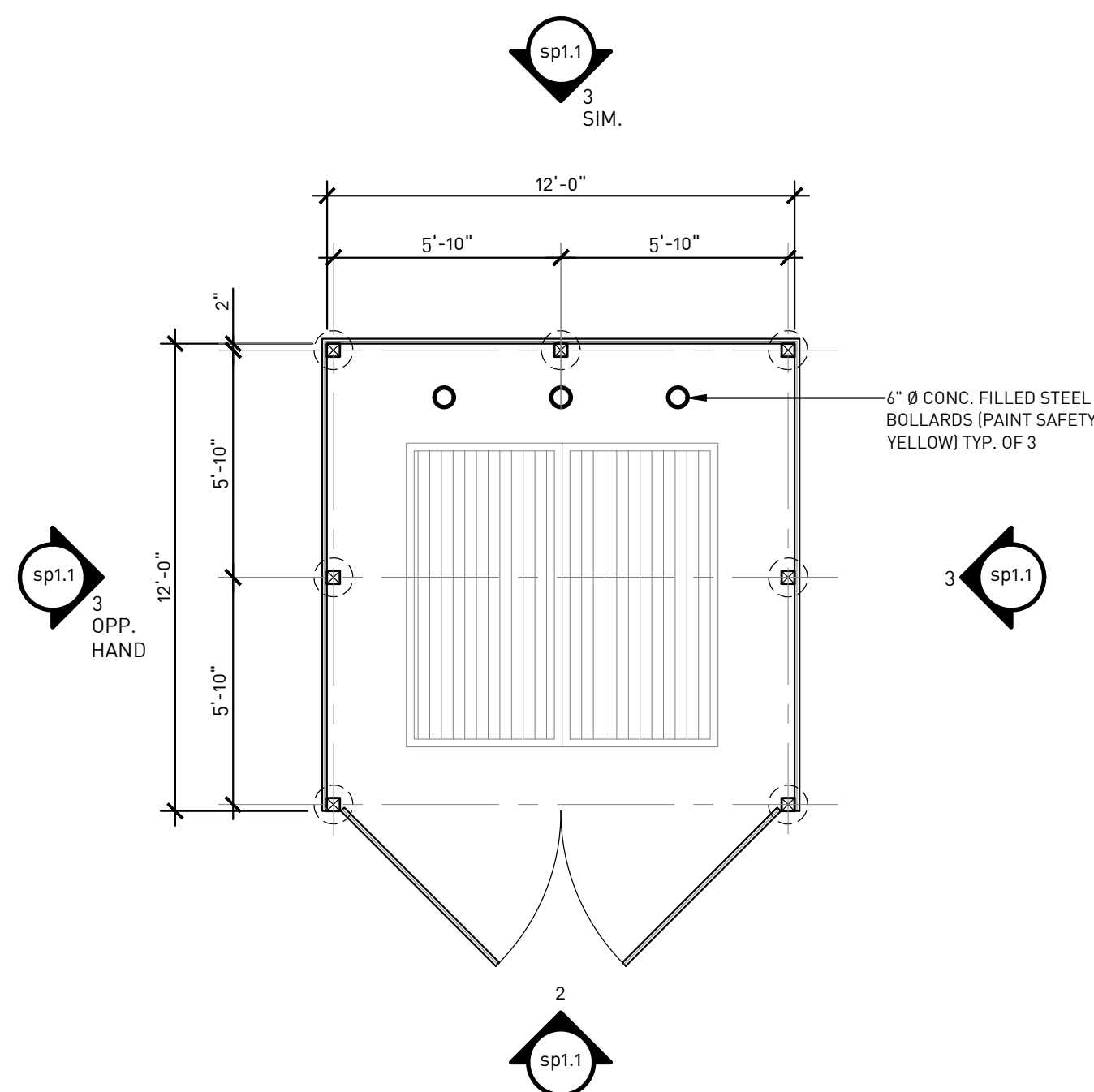
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Revisions: 02-05-24



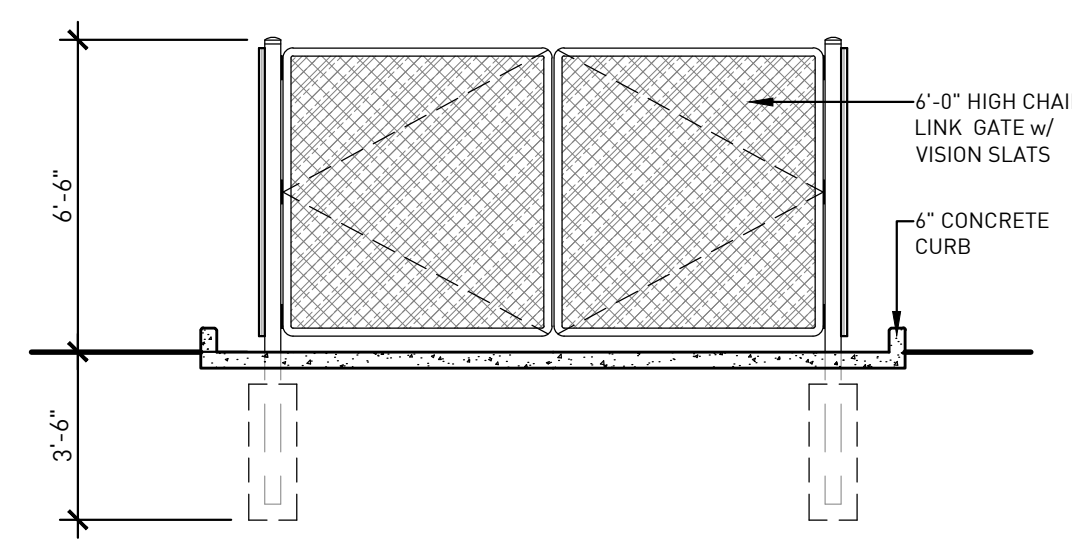
**LA1**



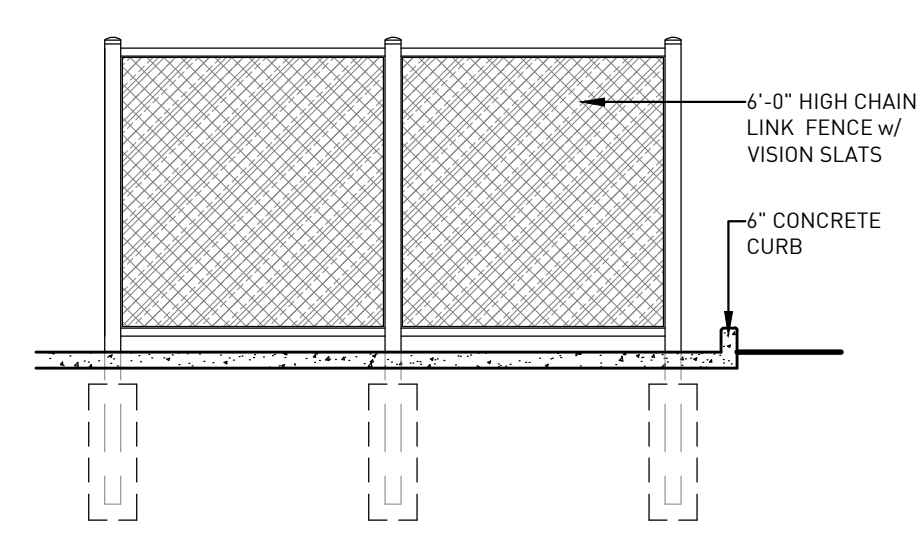
**ACCESSIBLE PARKING SIGN DETAIL**  
5  
spt.1 NO SCALE



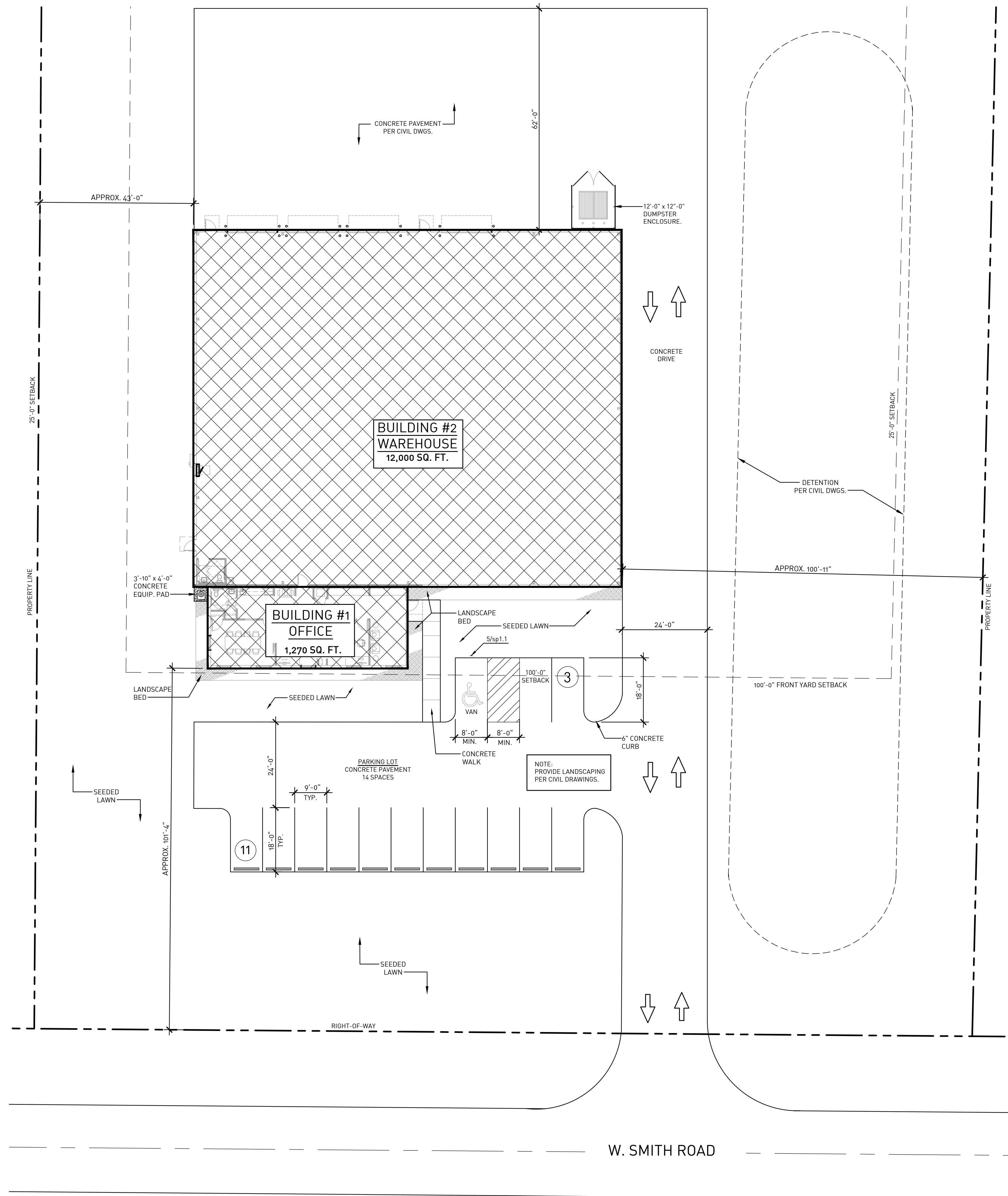
**TRASH ENCLOSURE**  
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spt.1 SCALE: 1/4" = 1'-0"



**ELEVATION**  
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spt.1 SCALE: 1/4" = 1'-0"



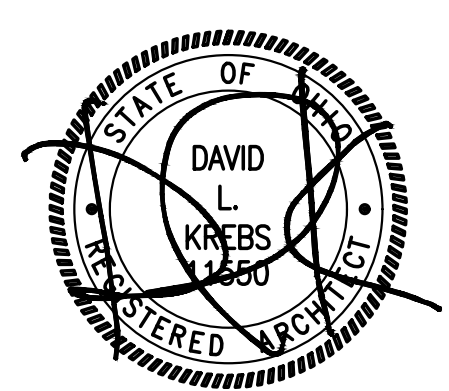
**ELEVATION**  
2  
spt.1 SCALE: 1/4" = 1'-0"



**ARCHITECTURAL SITE PLAN**  
1  
spt.1 SCALE: 1/16" = 1'-0" NORTH

EXPERIENCE → TRANSFORM

**AODK**  
ARCHITECTURE



**BECCO INC. EXCAVATING & CONTRACTING COMPANY**

BECCO INC. EXCAVATING & CONTRACTING COMPANY  
1170 W. SMITH ROAD  
MEDINA, OHIO 44256

PERMIT 03.08.2024

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22-65

ARCHITECTURAL SITE PLAN

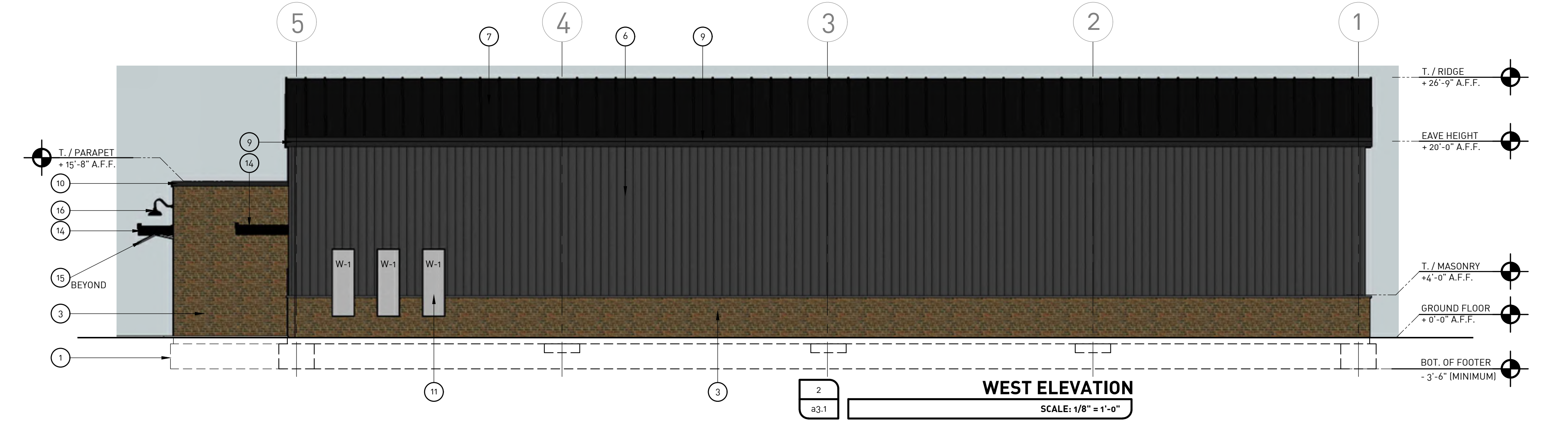
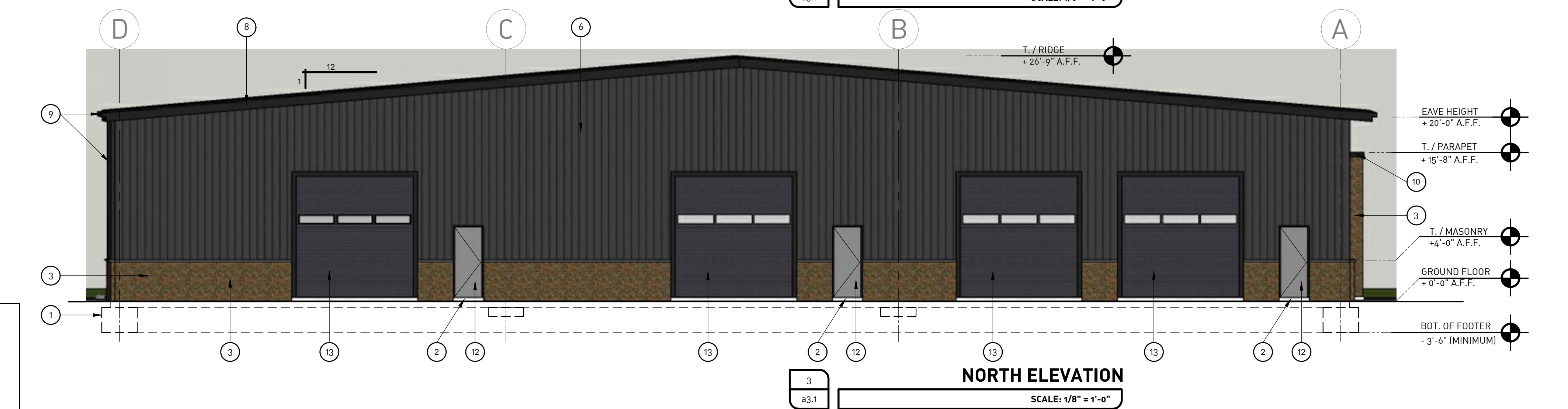
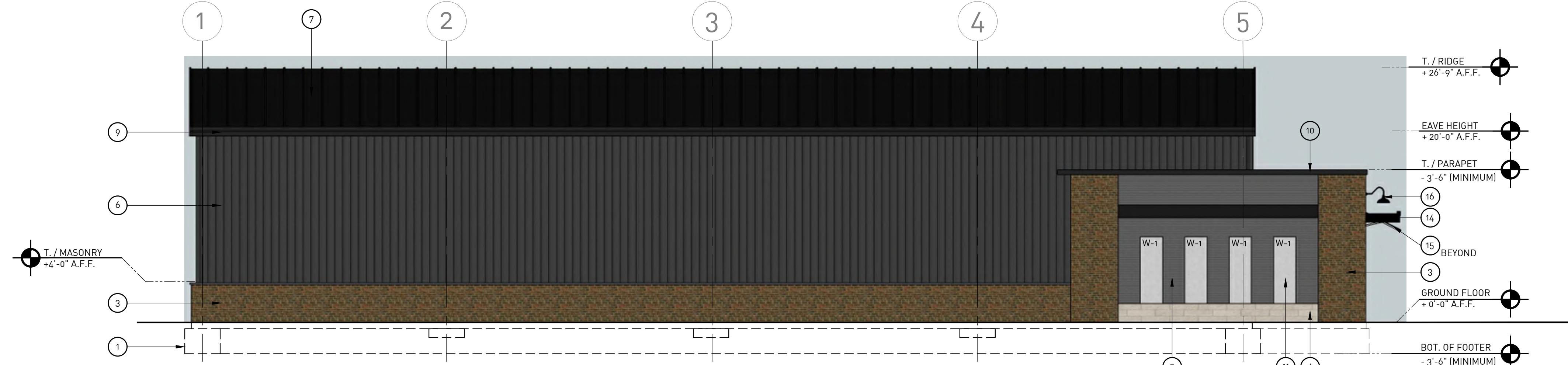
**sp1.1**



**EXTERIOR ELEVATIONS FINISH LEGEND:**

- ① REINFORCED CONCRETE FOOTER
- ② 4'-0" x 4'-0" FROST PROOF CONCRETE SLAB
- ③ BRICK VENEER ;  
MANUF: T.B.D. / STYLE/COLOR: TBD. / FINAL SELECTION BY OWNER
- ④ SPLIT FACED CONCRETE BLOCK;  
MANUF: T.B.D. / STYLE: TBD / COLOR: TBD. / FINAL SELECTION BY OWNER
- ⑤ HORIZONTAL RIBBED METAL SIDING;  
MANUF: T.B.D. / STYLE: TBD / COLOR: TBD. / FINAL SELECTION BY OWNER
- ⑥ VERTICAL RIBBED METAL SIDING PER P.E.M.B. MANUFACTURER  
STYLE: TBD / COLOR: TBD
- ⑦ STANDING SEAM METAL ROOF PER P.E.M.B. MANUFACTURER.  
STYLE: TBD / COLOR: TBD
- ⑧ PRE-FINISHED METAL FASCIA PER P.E.M.B. MANUFACTURER.  
COLOR: TBD
- ⑨ PRE-FINISHED ALUMINUM GUTTERS AND DOWNSPOUTS PER P.E.M.B.  
MANUFACTURER. COLOR: TBD
- ⑩ PRE-FINISHED METAL COPING. COLOR: TBD
- ⑪ STOREFRONT WINDOW / ENTRY SYSTEM. BASIS OF DESIGN: TUBELITE  
4500 SERIES, COLOR: BLACK, w/ 1" INSULATED GLASS, 1/4" CLEAR AT  
INTERIOR & 1/4" TINTED AT EXTERIOR.
- ⑫ INSULATED HOLLOW METAL DOOR (PTD.) COLOR: GREY IN HOLLOW  
METAL FRAME (PTD.) COLOR: BLACK
- ⑬ 14'-0" x 14'-0" INSULATED SECTIONAL OVERHEAD DOOR.  
COLOR: DARK GREY
- ⑭ EXTERIOR AWNING/CANOPY:  
4' PROJECTED - PREFABRICATED STEEL AWNING (BY SKYSCAPE) w/ 12"  
HIGH 'C' CHANNEL PERIMETER PROFILE AND SHEET METAL SINGLE SLOPE  
ROOF TO DRAIN TO SIDE SCUPPER W/ DOWNSPOUT.
- ⑮ 4'-0" PROJECTED FABRIC AWING ON ALUMINUM FRAME.
- ⑯ GOOSENECK LIGHT FIXTURE PER ELECTRICAL DWGS.

**ORIGINAL APPROVED  
BUILDING PLANS 7-13-23**



EXPERIENCE → TRANSFORM



PRELIMINARY  
NOT FOR CONSTRUCTION

BECCO FLEX BUILDING

PROJECT: BECCO FLEX BUILDING  
1170 W. SMITH ROAD  
MEDINA, OHIO 44256

progress 03.28.2023

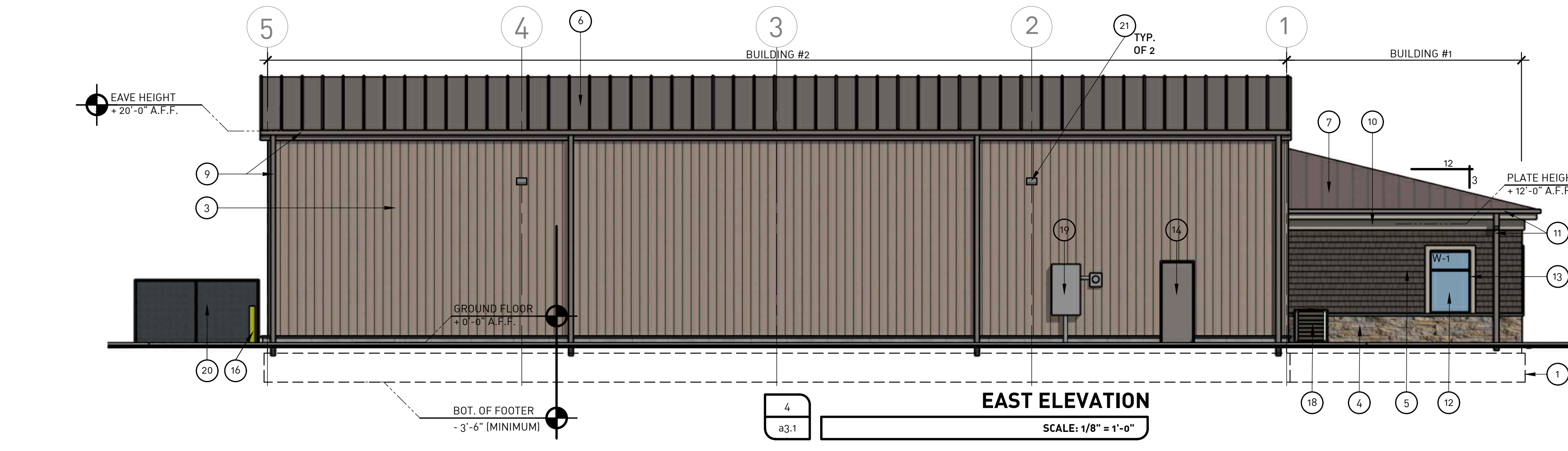

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22.65

ELEVATIONS

**a3.1**

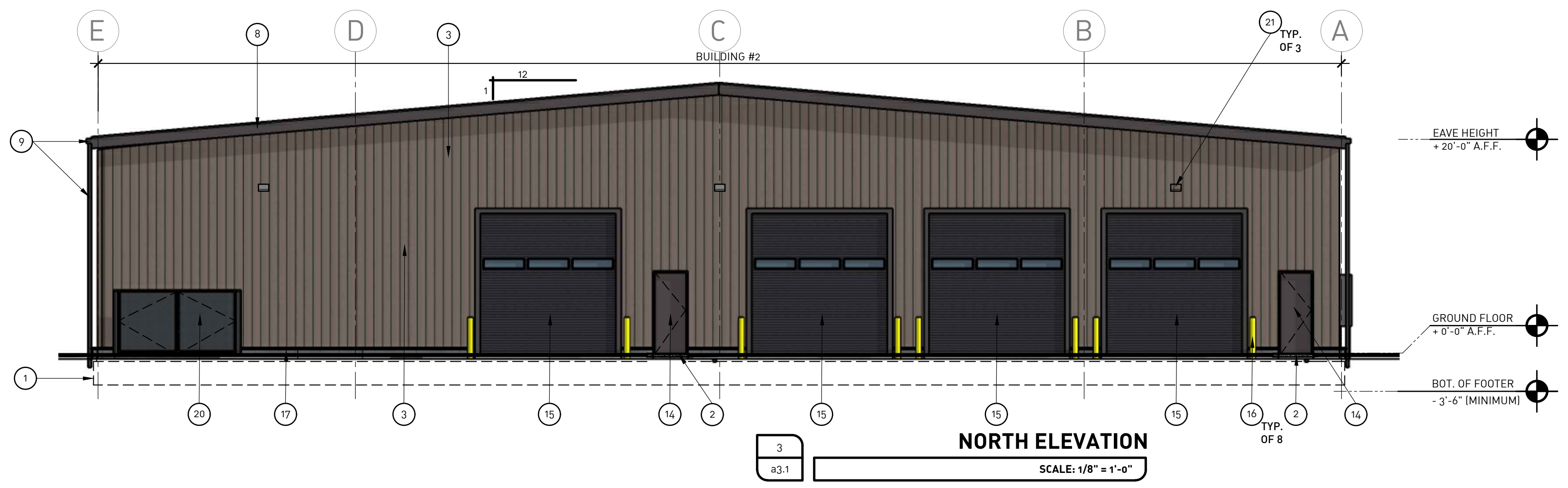




**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

**EXTERIOR ELEVATIONS FINISH LEGEND:**

- 1 REINFORCED CONCRETE FOOTER
- 2 4'-0" x 4'-0" FROST PROOF CONCRETE SLAB
- 3 VERTICAL RIBBED METAL SIDING PER P.E.M.B. MANUFACTURER. STYLE: TBD / COLOR: TBD
- 4 MANUFACTURED VENEER STONE. BASIS OF DESIGN: CORONADO - STYLE: T.B.D. / COLOR: T.B.D.
- 5 HAND-SPLIT SHAKE STYLE VINYL SIDING (DOUBLE STAGGERED). BASIS OF DESIGN: CERTAIN TEED - STYLE: T.B.D. / COLOR: T.B.D.
- 6 STANDING SEAM METAL ROOF PER P.E.M.B. MANUFACTURER. STYLE: TBD / COLOR: TBD
- 7 STANDING SEAM METAL ROOF. STYLE: TBD / COLOR: TBD
- 8 PRE-FINISHED METAL FASCIA PER P.E.M.B. MANUFACTURER. COLOR: TBD
- 9 PRE-FINISHED ALUMINUM GUTTERS AND DOWNSPOUTS PER P.E.M.B. MANUFACTURER. COLOR: TBD
- 10 PRE-FINISHED METAL FASCIA. COLOR: TBD
- 11 PRE-FINISHED ALUMINUM GUTTERS AND DOWNSPOUTS. COLOR: TBD
- 12 ALUM. / GLASS STOREFRONT TYPE WINDOW / ENTRY SYSTEM. BASIS OF DESIGN: TUBELITE 4500 SERIES, COLOR: BLACK. W/ 1" INSULATED GLASS, 1/4" CLEAR AT INTERIOR & 1/4" TINTED AT EXTERIOR.
- 13 4" VINYL WINDOW / DOOR TRIM. BASIS OF DESIGN: CERTAIN TEED - STYLE: T.B.D. / COLOR: T.B.D.
- 14 INSULATED HOLLOW METAL DOOR (PTD.) COLOR: GREY IN HOLLOW METAL FRAME (PTD.) COLOR: BLACK
- 15 14'-0" x 14'-0" INSULATED SECTIONAL OVERHEAD DOOR. COLOR: DARK GREY
- 16 42" HIGH, 6" DIA. STEEL BOLLARDS - CONCRETE FILLED W/ DOME TOP. B/ BOLLARD @ 42" BELOW GRADE IN 16" DIA. CONCRETE CAISON.
- 17 1 COURSE STAINED C.M.U. ABOVE GRADE. COLOR: T.B.D.
- 18 A.C. CONDENSING UNIT. SEE MECHANICAL DWGS.
- 19 ELECTRICAL SERVICE CT CABINET & METER.
- 20 12'-0" x 12'-0" TRASH ENCLOSURE SEE DETAILS SHEET spt.1
- 21 LED WALL PACK. SEE ELECTRICAL DWGS.
- 22 SIGNAGE BY OWNER.

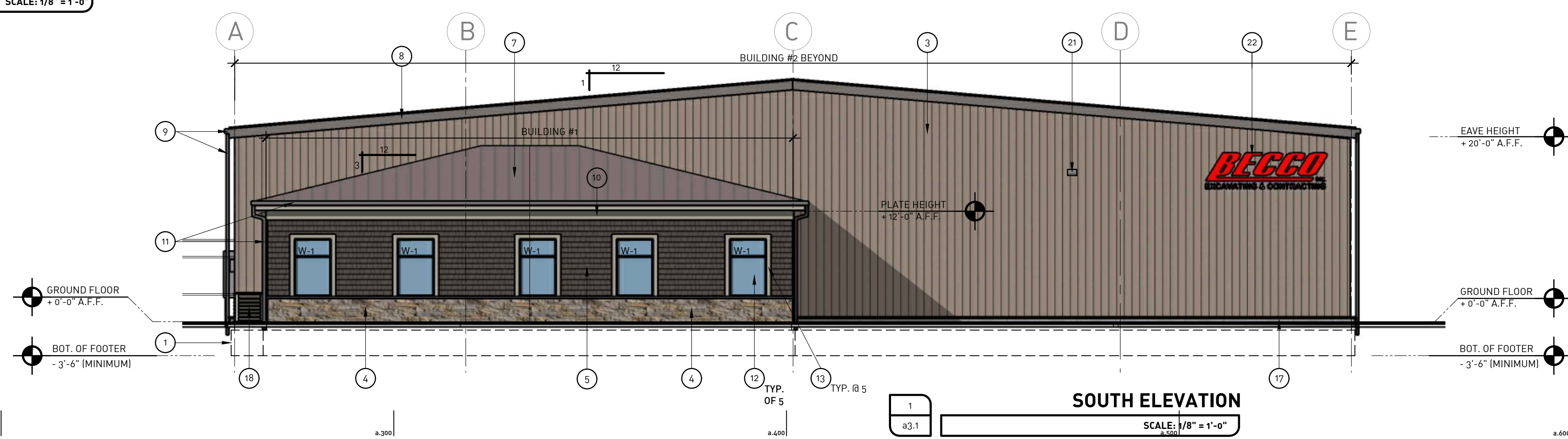


**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**PROPOSED REVISED BUILDING PLANS**



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

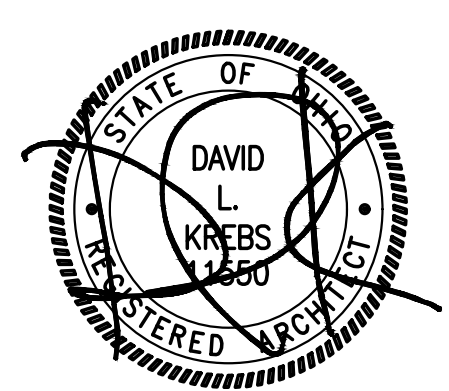


**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

EXPERIENCE → TRANSFORM

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**AODK ARCHITECTURE**



DAVID KREBS - LICENSE NO.: 11550  
EXPIRATION DATE: 12-31-2025

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PERMIT 03.08.2024

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22-65


ELEVATIONS

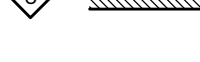
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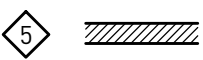
**WALL LEGEND:**

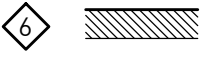
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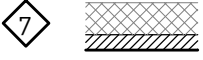
**EXTERIOR WAREHOUSE WALL:**  
8" CONCRETE POURED IN PLACE WALL UP TO 4'-0" ABOVE FIN. FLR. w/ VERTICAL RIBBED MTL. SIDING PANELS ON 15# MOISTURE BARRIER ON ON HORIZ. 2" WALL GIRTS CONNECTED TO STRUCTURAL COLUMN FRAME w/ FLAME RATED VINYL FACED WALL INSULATION (MINIMUM R-19)
- 

**EXTERIOR OFFICE WALL:**  
BRICK VENEER ON HORIZ. BRACING w/ 1" AIR GAP ON 15# MOISTURE BARRIER ON 5/8" DENS GLASS SHEATHING ON 6" METAL STUDS @ 16" O.C. w/ R-21 BATT INSULATION AND 5/8" DRYWALL @ INTERIOR
- 

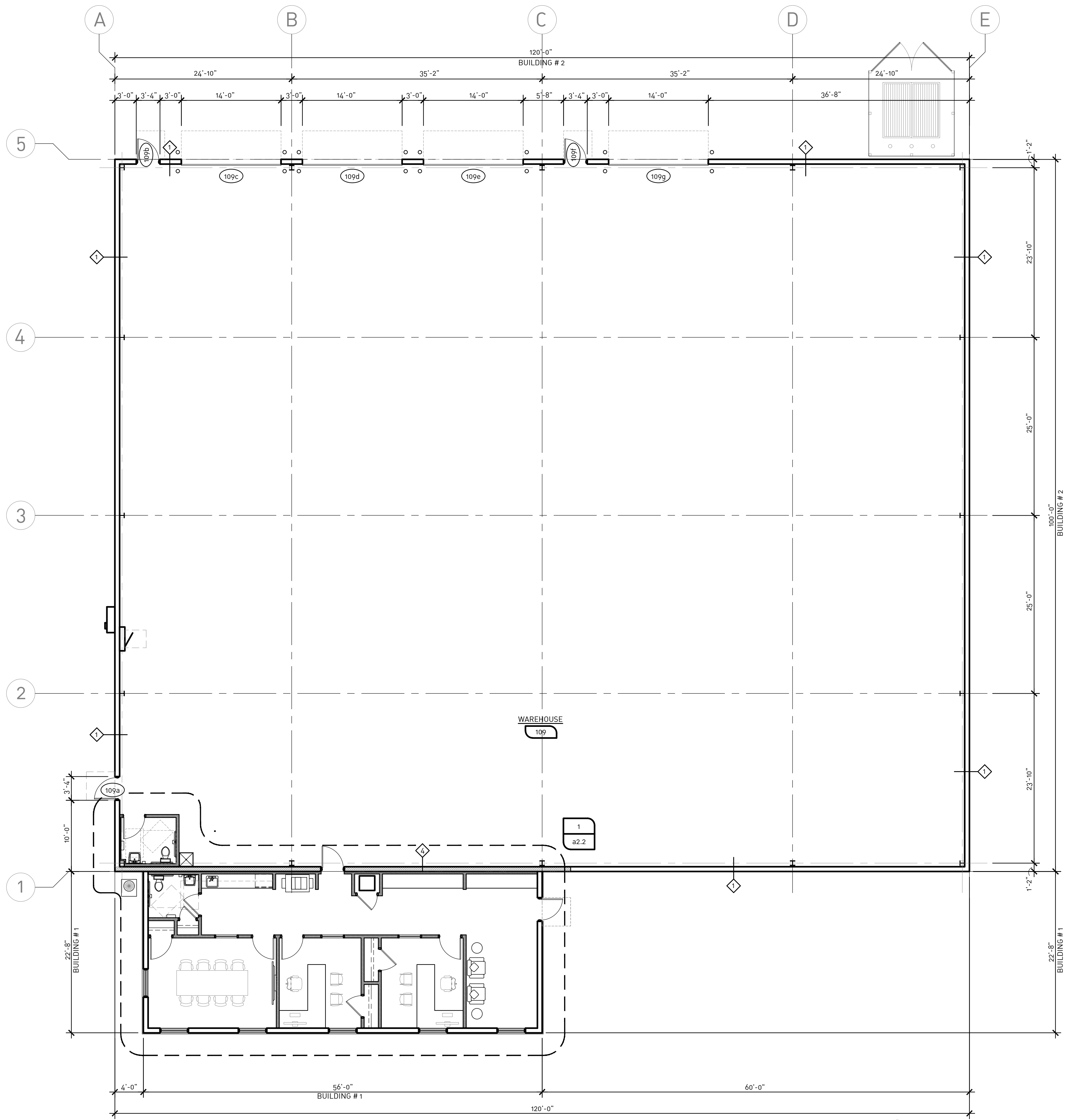
**EXTERIOR OFFICE WALL:**  
2" COMPOSITE STONE VENEER ON 15# MOISTURE BARRIER ON 7/16" O.S.B. SHEATHING TO 3'-0" A.F.F. ON 6" METAL STUDS @ 16" O.C. w/ R-21 BATT INSULATION AND 5/8" DRYWALL @ INTERIOR
- 

**2-HOUR FIRE WALL:**  
8" x 8" x 16" C.M.U. WALL (2-HOUR ASSEMBLY U.L. DESIGN NO. U995). EXTEND TO UNDERSIDE OF ROOF DECK ABOVE.
- 

**INTERIOR PARTITION WALL:** 3 5/8" METAL STUDS @ 16" O.C. w/ 5/8" DRYWALL @ BOTH SIDE & SOUND BATT INSULATION IN STUD SPACE. EXTEND DRYWALL FROM FINISH FLOOR TIGHT TO DECKING ABOVE @ CORRIDORS AND LAVS. 6" ABOVE FINISH CEILING @ ALL OFFICES AND OTHER LOCATIONS.  
**NOTES:** - PROVIDE MOISTURE RESISTANCE GYPSUM BOARD IN LIEU OF DRYWALL @ INTERIOR SIDE OF ALL RESTROOMS
- 

**INTERIOR FURRING WALL:** 6" METAL STUDS @ 16" O.C. w/ 5/8" DRYWALL @ ONE SIDE & SOUND BATT INSULATION IN STUD SPACE. EXTEND DRYWALL FROM FINISH FLOOR TO 6" ABOVE FINISH CEILING  
**NOTES:** - PROVIDE MOISTURE RESISTANCE GYPSUM BOARD IN LIEU OF DRYWALL @ INTERIOR SIDE OF ALL RESTROOMS
- 

**INTERIOR FURRING WALL:** 3 5/8" METAL STUD (TIGHT TO FIREWALL) FURRING @ 16" O.C. w/ 5/8" DRYWALL @ ONE SIDE & SOUND BATT INSULATION IN STUD SPACE. EXTEND DRYWALL FROM FINISH FLOOR TO 6" ABOVE FINISH CEILING

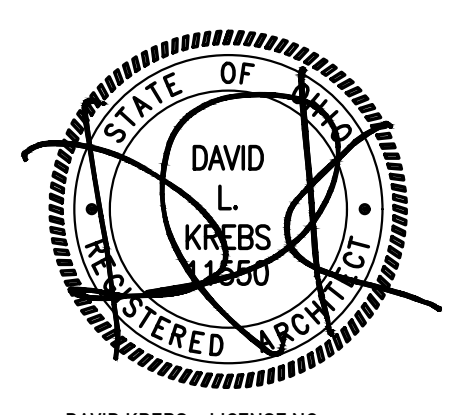


**OVERALL FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
NORTH

NOTE: ANY HIGH-PILED OR RACK STORAGE SHALL BE IN COMPLIANCE WITH NFPA 13 AND CHAPTER 42 OF THE INTERNATIONAL FIRE CODE

EXPERIENCE → TRANSFORM

AODKINC.COM - 14249 DETROIT AVENUE - LAKEWOOD, OH 44107 - 216.771.9201 - INFO@AODKINC.COM



**BECCO INC. EXCAVATING & CONTRACTING COMPANY**

PROJECT: BECCO INC. EXCAVATING & CONTRACTING COMPANY  
1170 W. SMITH ROAD  
MEDINA, OHIO 44256

PERMIT: 03.08.2024

DATE: \_\_\_\_\_

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22-65

OVERALL FLOOR PLAN

**a2.1**

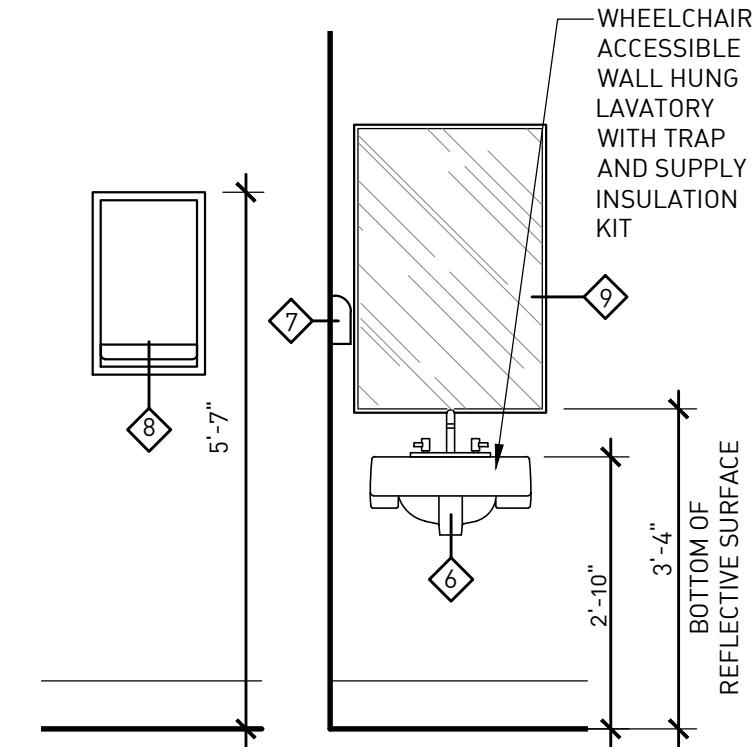
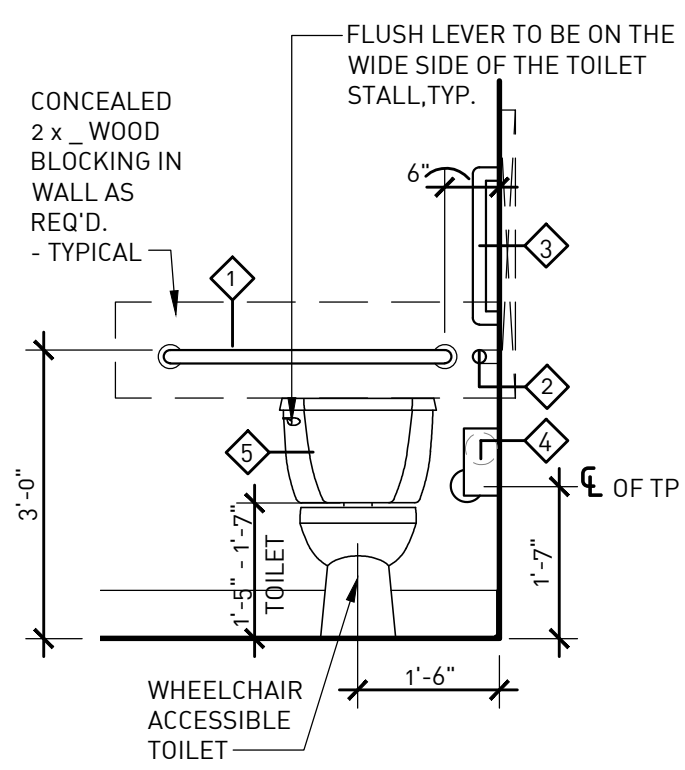
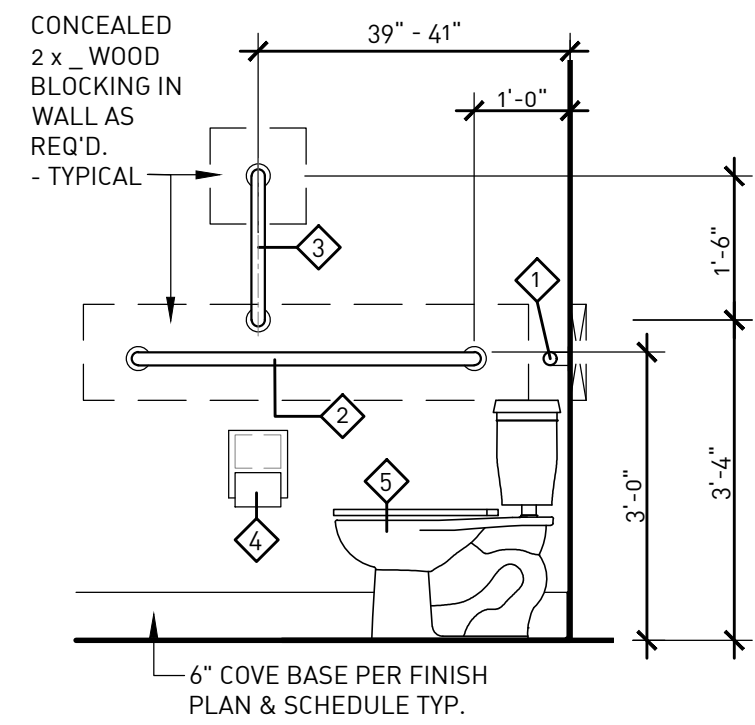
# RESTROOM ACCESSORIES SCHEDULE:

NOTE: "B" INDICATES TOILET ACCESSORY AS MANUFACTURED BY BOBRICK OR EQUAL IN TYPE 304 STAINLESS STEEL FINISH.

- 1 #B-5806-36 - WALL MOUNTED 1 1/4" DIA. 36" L. GRAB BAR. MOUNT W/ CENTER 36" A.F.F. AND BACK END 6" FROM BACK WALL.
- 2 #B-5806-42 - WALL MOUNTED 1 1/4" DIA. 42" L. GRAB BAR. MOUNT W/ CENTER 36" A.F.F. AND BACK END 12" FROM BACK WALL.
- 3 #B-5806-18 - WALL MOUNTED 1 1/2" DIA. 18" VERTICAL GRAB BAR. MOUNT W/ BOTTOM @ 40" A.F.F. AND SIDE END 40" FROM BACK WALL.

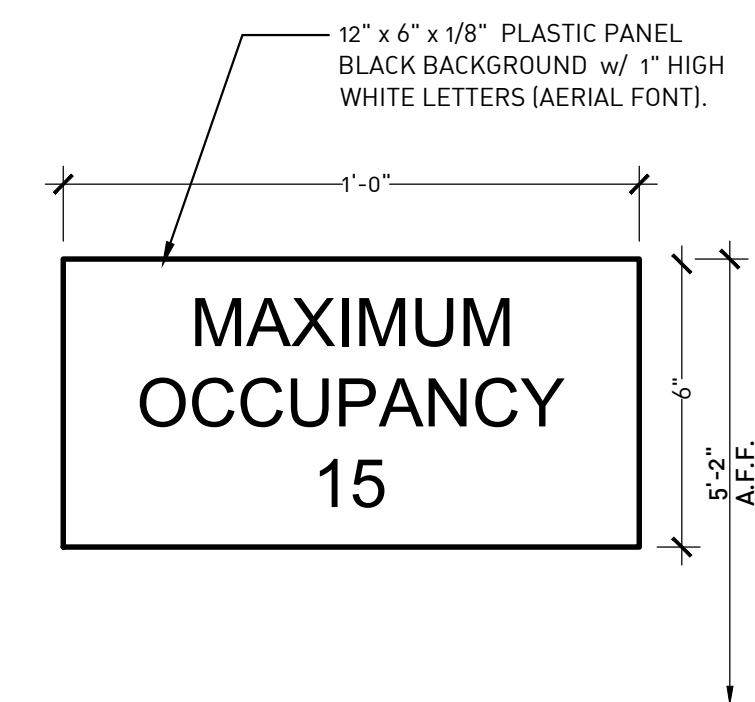
- 4 #B-2888 SURFACE MOUNTED DUAL TOILET TISSUE DISPENSER. MOUNT @ 27 1/2" A.F.F. TO CENTERLINE AND 30" FROM BACK WALL TO CENTERLINE.
- 5 FLOOR MOUNT TANK TYPE WATER CLOSET. SEE PLUMBING DWGS.
- 6 WALL MOUNT ADA LAVATORY w/ HANDS FREE FAUCET. SEE PLUMBING DWGS.
- 7 SOAP DISPENSER BY OWNER.

- 8 #B-2620 - SURFACE MOUNTED PAPER TOWEL DISPENSER.
- 9 24" x 36" S.STL. FRAME MIRROR, BY BOBRICK.
- 10 24" x 24" MOP SINK PER PLUMBING DWGS.



TYP. RESTROOM ACCESSORIES MOUNTING HEIGHTS

3	42.2	SCALE: 1/2" = 1'-0"
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MAX. OCCUPANCY SIGNAGE DETAIL

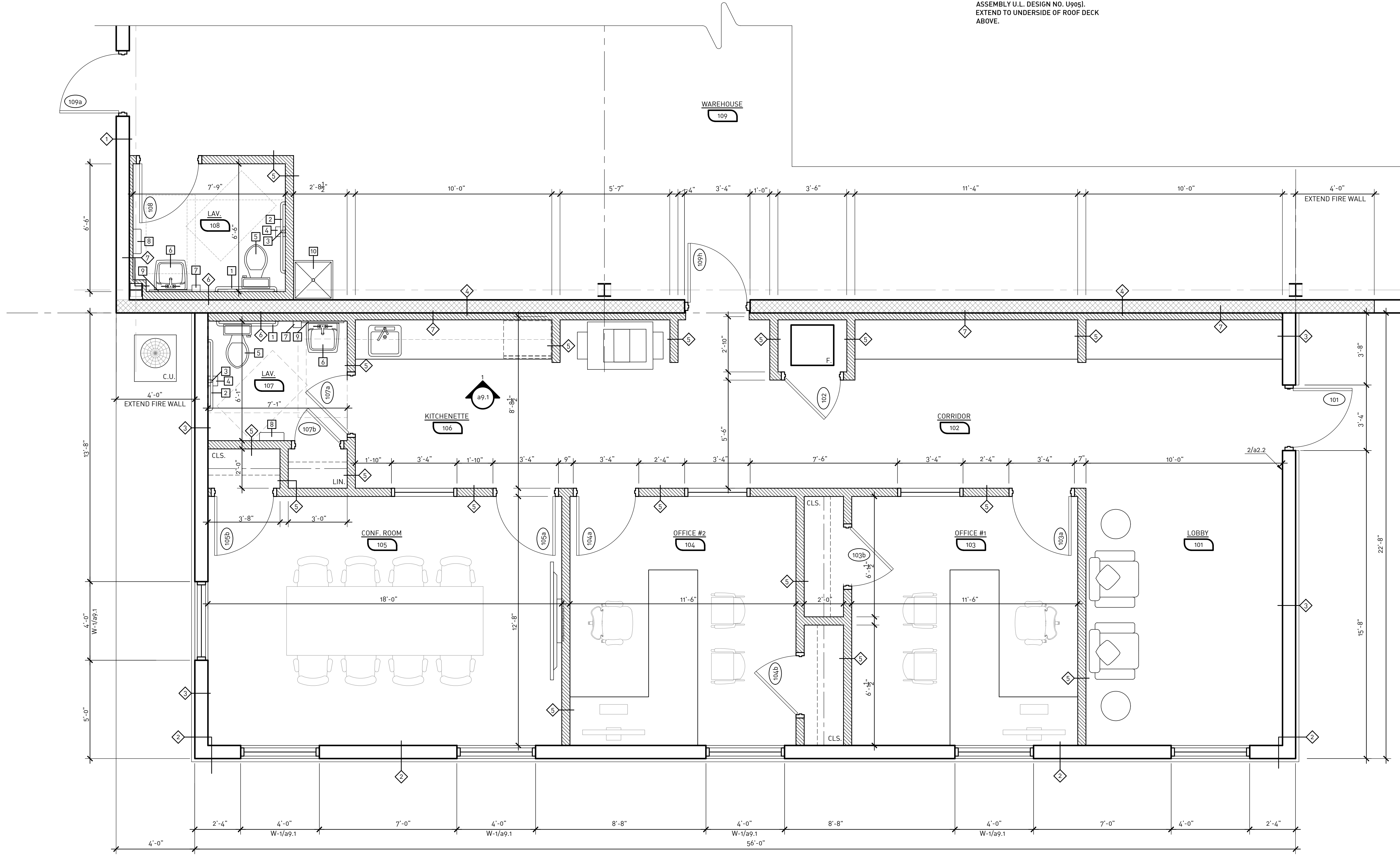
2	42.2	SCALE: 1" = 1'-0"
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# GENERAL NOTES:

- CLEAR ROOM DIMENSIONS, ROOM HEIGHTS, WALL FRAMING CONFIGURATIONS, AND BLOCKING LOCATIONS TO BE FIELD VERIFIED PRIOR TO THE PRODUCTION OF TOILET PARTITIONS AND CASEWORK SHOP DRAWINGS AND FABRICATION. ACTUAL FIELD CONDITIONS AND DIMENSIONS TO BE USED IN THE DESIGN AND FABRICATION OF TOILET PARTITIONS AND CASEWORK.
- PROVIDE SHOP DRAWINGS DESCRIBING AND ILLUSTRATING THE CONFIGURATION OF TOILET PARTITIONS AND CASEWORK. ALSO PROVIDE COLOR SAMPLE SUBMITTAL FOR TOILET PARTITIONS, STAIN SAMPLES, AND LAMINATE. SHOP DRAWINGS ARE FOR G.C. AND DESIGN TEAM REVIEW AND APPROVAL.
- CASEWORK AND TOILET PARTITION FABRICATION WORK PERFORMED PRIOR TO RECEIPT OF APPROVED SHOP DRAWINGS TO BE DONE AT FABRICATORS OWN RISK.
- PROVIDE TOILET ACCESSORY SUBMITTAL DESCRIBING AND ILLUSTRATING PRODUCTS TO BE INSTALLED FOR G.C. AND DESIGN TEAM REVIEW AND APPROVAL.
- ALL ACCESSORIES TO BE APPROVED BY OWNER.
- PROVIDE 4" COVE TILE BASE AT ALL RESTROOMS AND KITCHEN APPLICATIONS, TYP.
- WATER SUPPLY TO LAVATORIES TO BE PROTECTED WITH ASME 1070 TEMPERING DEVICE. ONLY REQUIRED AT PUBLIC LAVATORIES.

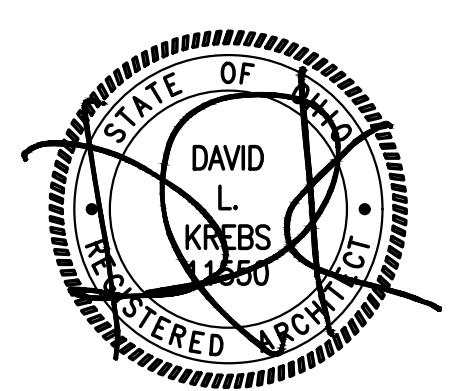
# WALL LEGEND:

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- 2 EXTERIOR OFFICE WALL: BRICK VENEER ON HORIZ. BRACING w/ 1" AIR GAP ON 15# MOISTURE BARRIER ON 5/8" DENIS GLASS SHEATHING ON 6" METAL STUDS @ 16" O.C. w/ R-21 BATT INSULATION AND 5/8" DRYWALL @ INTERIOR
- 3 EXTERIOR OFFICE WALL: 2" COMPOSITE STONE VENEER ON 15# MOISTURE BARRIER ON 7/16" O.S.B. SHEATHING TO 3'-0" A.F.F. ON 6" METAL STUDS @ 16" O.C. w/ R-21 BATT INSULATION AND 5/8" DRYWALL @ INTERIOR
- 4 2-HOUR FIRE WALL: 8" x 8" x 16" C.M.U. WALL (2-HOUR ASSEMBLY U.L. DESIGN NO. U905) EXTEND TO UNDERSIDE OF ROOF DECK ABOVE.
- 5 INTERIOR PARTITION WALL: 3 5/8" METAL STUDS @ 16" O.C. W/ 5/8" DRYWALL @ BOTH SIDE & SOUND BATT INSULATION IN STUD SPACE. EXTEND DRYWALL FROM FINISH FLOOR TIGHT TO DECKING ABOVE @ CORRIDORS AND LAVS. 6" ABOVE FINISH CEILING @ ALL OFFICES AND OTHER LOCATIONS.
- 6 INTERIOR FURRING WALL: 6" METAL STUDS @ 16" O.C. W/ 5/8" DRYWALL @ ONE SIDE & SOUND BATT INSULATION IN STUD SPACE. EXTEND DRYWALL FROM FINISH FLOOR TO 6" ABOVE FINISH CEILING
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EXPERIENCE → TRANSFORM

AODK ARCHITECTURE



DAVID KREBS - LICENSE NO. 11550  
EXPIRATION DATE: 12-31-2025

BECCO INC. EXCAVATING & CONTRACTING COMPANY

PROJECT: BECCO INC. EXCAVATING & CONTRACTING COMPANY  
1170 W. SMITH ROAD  
MEDINA, OHIO 44256

PERMIT: 03.08.2024

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22-65

ENLARGED UNIT 1 OFFICE PLAN

a2.2

1 ENLARGED OFFICE PLAN  
SCALE: 3/8" = 1'-0"



100%

100%

100%

100%

a.100

a.200

a.300

a.400

a.500

a.600