



# BOARDS & COMMISSIONS APPLICATION

132 North Elmwood Avenue  
330-722-9038  
www.medinaoh.org

**Application Number** P23-14

<b>GENERAL</b>	Date of Application <u>06/28/2023</u> Property Location <u>850 Walter Road Medina, Ohio 44256</u> Description of Project <u>A renovation of an existing two-story office building into an emergency housing facility. This facility will have (2) day rooms, full kitchen for the residents, offices &amp; conference rooms, separate men &amp; women sleeping quarters, toilet &amp; and shower rooms.</u>
<b>CONTACT INFORMATION</b>	<b>Applicant</b> Name <u>Robert C. Chordar</u> Address <u>430 Grant Street</u> City <u>Akron</u> State <u>OH</u> Zip <u>44311</u> Phone <u>(330) 867-1093</u> Email <u>rchordar@tcarchitects.com</u> <b>Property Owner</b> Name <u>Medina Metropolitan Housing Authority - Skip Sipos, Executive Director</u> Address <u>850 Walter Road</u> City <u>Medina</u> State <u>OH</u> Zip <u>44256</u> Phone <u>(330) 725-7531</u> Email <u>skip@mmha.org</u>
<b>APPLICATION TYPE</b>	<b>Planning Commission</b> Site Plan <input type="checkbox"/> Conditional Zoning Certificate <input checked="" type="checkbox"/> Code or Map Amendment <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Conditional Sign (EMC/Shopping Ctr) <input type="checkbox"/> Cert. of Appr. (TCOV) <input type="checkbox"/> Other <input type="checkbox"/> <b>Historic Preservation Board</b> Certificate of Appropriateness <input type="checkbox"/> Conditional Sign <input type="checkbox"/> <b>Board of Zoning Appeals</b> Variance <input type="checkbox"/> Appeal <input type="checkbox"/>
<b>APPLICANT SIGNATURE</b>	<i>By signing this application, I hereby certify that:</i> 1) <i>The information contained in this application is true and accurate to the best of my knowledge;</i> 2) <i>I am authorized to make this application as the property owner of record or I have been authorized to make this application by the property owner of record;</i> 3) <i>I assume sole responsibility for correspondence regarding this application; and</i> 4) <i>I am aware that all application requirements must be submitted prior to the formal acceptance of my application.</i> Signature  Date <u>July 17, 2023</u>
<b>OFFICIAL USE</b>	Zoning District <u>R-4</u> Fee (See Fee Sheet) \$ <u>200</u> Meeting Date <u>8-10-23</u> Check Box when Fee Paid <input checked="" type="checkbox"/>

## P23-14 MMHA Transitional Housing

Property Owner: Medina Metropolitan Housing Authority  
Applicant: Robert Chordar  
Location: 850 Walter Road  
Zoning: R-4 (Multi-Family Residential)  
Request: Conditional Zoning Certificate approval for a transitional/emergency housing use

### **LOCATION AND SURROUNDING USES**

The subject site is composed of 2.47 acres on the east side of Walter Road. Adjacent properties include the following uses and zoning:

- North – Multi-Family Residential (R-4)
- South – Single-Family Residential (R-3)
- East – Shopping Center (C-3)
- West – Single-Family Residential (R-3) and Non-Profit Offices (P-F)



### **BACKGROUND & EXISTING SITE**

The property includes a four-story apartment building on the north side of the property and administrative offices for Medina Metropolitan Housing Authority (MMHA) on the south side of the property.

The MMHA office building includes an upper level at grade from Walter Road and a lower level at grade to the rear of the site. The building is accessed off of Walter Road and includes ten on-site parking spaces. The site is located in a transitional area between single-family residential to the south, community uses to the north, and commercial to the east.

The MMHA office building is setback 124 ft. from the Walter Road right-of-way and 12.5 ft. from the south property line. A vegetative buffer is located along the south property line, which is adjacent to a single-family residence.

### **PROPOSED USE**

The applicant is requesting to locate an “Emergency Housing Facility” in the current MMHA office building. The proposed use is considered “Transitional Housing” by the Planning and Zoning Code, which requires Conditional Zoning Certificate review by the Planning Commission.

In the Project Description, the applicant has indicated that the facility will include 27 beds accommodating men, women, families, and pets. The applicant also states that the facility will be open and staffed by a qualified Housing Authority employee at all times and will offer job training, mental health counseling, substance use assistance, childcare services, and other public benefits.

Plans incorporate the following proposed uses within the building:

- A lower level with a women’s room, a family room, a day room, a kitchen, a locker room, and bathroom facilities. The level also includes a staff break room and locker room.
- An upper level with 3 men’s rooms, a day room area, a laundry room, and bathroom facilities. The level also includes offices, a reception area, a conference room, and a waiting room.

The proposal does not include any significant changes to the exterior of the building or site with the exception of 6 ft. tall vinyl fencing on the north side of the building enclosing a gazebo, play area, and dog park.

### **CONDITIONAL ZONING CERTIFICATE REGULATIONS (SECTION 1153.04(a))**

Section 1153.04(a) includes the following specific regulations for transitional housing:

- (7) Such developments should be located on major thoroughfares or at intersections of major and/or collector thoroughfares.
- (24) All activities, programs and other events shall be adequately and properly supervised so as to prevent any hazard and to assure against any disturbance or nuisance to surrounding properties, residents or to the community in general.

The site is located on Walter Road, a local street, which is not a major thoroughfare or collector. The applicant has filed a variance application to the Board of Zoning Appeals regarding this requirement.

### **CONDITIONAL ZONING CERTIFICATE BASIS OF DETERMINATION**

The Planning Commission shall establish beyond reasonable doubt that the general standards and the specific standards pertinent to each use indicated herein are satisfied by the completion and operation of the proposed development. The Planning Commission may also impose such additional conditions and safeguards deemed necessary for the general welfare, for the protection of individual property rights and for the insuring that the intent and objectives of this Zoning Ordinance will be observed.

The Planning Commission shall review the particular facts and circumstances of each proposed use in terms of the following standards and shall find adequate evidence showing that such use on the proposed location:

- (1) Will be harmonious with and in accordance with the general objectives or with any specific objectives of the Land Use and Thoroughfare Plan of current adoption;
- (2) Will be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area;
- (3) Will not be hazardous or disturbing to existing or future neighboring uses;
- (4) Will not be detrimental to property in the immediate vicinity or to the community as a whole;

- (5) Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection drainage structures, refuse disposal and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide such service adequately;
- (6) Will be in compliance with State, County and City regulations;
- (7) Will have vehicular approaches to the property which shall be so designed as not to create an interference with traffic or surrounding public streets or roads.

**COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION**

Staff recommends **approval** of application P23-14 for transitional/emergency housing use with the condition that the applicant shall receive a variance to Section 1153.04(a)(7) regarding the location of the facility on a local street.

Staff's recommendation is based on the facility's location in an area adjacent to community services and commercial uses, the site's configuration with the building set back from the street and screened, and the applicant's operational proposal.





## **Medina Metropolitan Housing Authority Emergency Housing Facility Project Description**



The Medina Metropolitan Housing Authority proposes to convert its current administrative office building into the Medina County Emergency Housing Facility. The Facility will provide transitional housing accommodations for persons experiencing a housing crisis such as homelessness.

The Facility will include 27 beds and accommodate a mixed population of women, men, and families. It will also provide accommodations for visitors' pets. A major barrier for persons facing a housing crisis is the thought of losing their beloved pet and this facility will address those concerns.

The Facility will be open 24 hours per day, every day of the calendar year. It will be staffed by not less than one qualified Housing Authority employee during each hour of operation. Staff members will conduct a detailed intake process for visitors including a criminal history. Staff members will also provide intensive case management services designed to provide the visitors with the valuable opportunity to address the root cause of their housing crisis.

Case management services will direct visitors to other community services available including job training, mental health counseling, substance use assistance, childcare services, and other public benefits. Staff will also engage a long-term solution process with visitors in an effort to render the crisis brief and without recurrence.

The Facility's potential location is ideally suited to housing crisis programming. It is across the street from Job and Family Services and Community Action. It is walkable to Veterans Services, the Medina County Human Services building that houses Alternative Paths, the Office for Older Adults, the Medina County ADAMH Board, and other helpful agencies. The location is also adjacent to the Medina Shopping Center that offers a variety of retail outlets for goods and services as well as employment opportunities. Other positive features of the Facility's location is that it is less than 200 yards from the Hope Recovery Community on Highland Drive and its immediate neighbor to the north is North View Manor apartments a building owned and operated by the applicant. Two major grocery stores are within 500 yards of the proposed facility.

The facility would be Medina County's first and address the consistent need for assistance needed by Medina County households. The facility's concept has broad community support including from elected officials, law enforcement, service providers, non-profit organizations, and the faith-based community.



# Habitat for Humanity of Medina County

233 Lafayette Rd.  
Medina, OH 44256  
Phone: 330.722.4494  
Web: [www.medinahabitat.org](http://www.medinahabitat.org)

## BOARD OFFICERS

Rick Dumperth  
President

Derek Rance  
Vice President

Tracey Ruffin  
Secretary

Tom Kotick  
Treasurer

August 7, 2023

Andrew Dutton – Community Development Director  
132 North Elmwood Ave  
Medina, OH 44256

Dear Andrew Dutton,

On behalf of the Habitat for Humanity Board of Directors, I want to thank the City of Medina for your continued support of Habitat's work here in Medina County.

Habitat is committed to the vision to see a world where everyone has a decent place to live and views the entire housing spectrum from homelessness prevention to homeownership as important to our county's success. This perspective led Habitat to participate in the development of the '*Coordinated Plan to Prevent and End Homelessness*' through the Medina County Housing Network. One of the key components of the plan's housing crisis response system is the establishment of an Emergency Housing Shelter.

## BOARD OF DIRECTORS

Dan Calvin

Joe Canestraro

Jenny Duncan

Pat George

Nancy Lyon

Pat McNeill

Jaclyn Ringstmeier

Ashley Sorgen

Sheri Valore

Jinny Widowski

Habitat for Humanity is aware of Medina Metropolitan Housing Authority's (MMHA) zoning variance request before the City of Medina's Planning Commission and Board of Zoning Appeals. The approval of this variance will allow MMHA to repurpose their office into the Emergency Shelter. The Habitat for Humanity of Medina County Board of Directors are in full support of the establishment of this shelter and see this as a vital part of the plan to prevent and end homelessness here in Medina County.

Thank you for your continued support of Habitat and all the organizations that work to provide safe, decent, and affordable housing for residents of Medina County.

Sincerely,

Tom O'Connell  
Executive Director



A world where **everyone** has a decent place to live





# MEDINA METROPOLITAN HOUSING AUTHORITY EMERGENCY HOUSING FACILITY

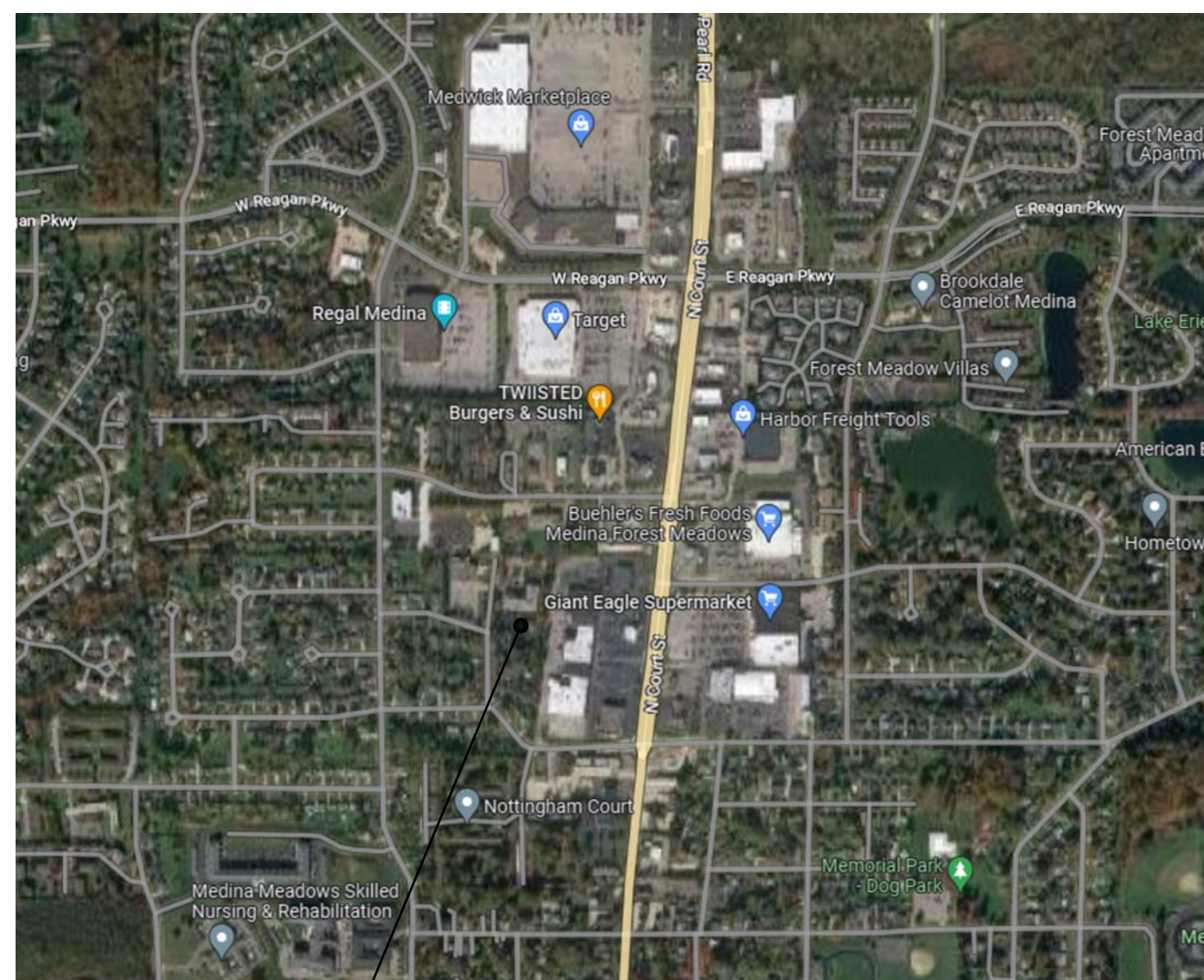
850 WALTER RD.  
MEDINA, OHIO 44256

## DRAWING INDEX

A001	TITLE SHEET
A002	LIFE SAFETY PLAN & CODE DATA
A003	LIFE SAFETY PLAN & CODE DATA
A004	TYPICAL MOUNTING HEIGHTS
C101	SITE PLAN
D100	LOWER LEVEL FLOOR PLAN - DEMOLITION
D101	UPPER LEVEL FLOOR PLAN - DEMOLITION
D102	LOWER LEVEL REFLECTED CEILING PLAN - DEMOLITION
D103	UPPER LEVEL REFLECTED CEILING PLAN - DEMOLITION
A100	LOWER LEVEL FLOOR PLAN
A101	UPPER LEVEL FLOOR PLAN
A102	LOWER LEVEL REFLECTED CEILING PLAN
A103	UPPER LEVEL REFLECTED CEILING PLAN
A201	EXTERIOR ELEVATIONS
A601	PARTITION TYPES
A602	DOOR SCHEDULE AND DETAILS
A701	FINISH LEGEND AND SCHEDULE
A702	LOWER LEVEL FINISH PLAN
A703	UPPER LEVEL FINISH PLAN
A704	LOWER LEVEL FURNITURE PLAN
A705	UPPER LEVEL FURNITURE PLAN
A706	LOWER LEVEL SIGNAGE PLAN
A707	UPPER LEVEL SIGNAGE PLAN

REVISIONS

### LOCATION MAP

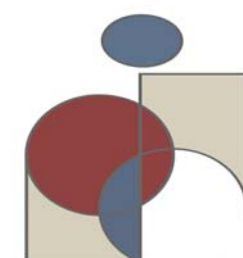


LOCATION

### PROJECT TEAM



**ARCHITECTURE & INTERIOR DESIGN**  
430 GRANT STREET  
AKRON, OHIO 44311  
PHONE: 330-867-1093



**INTERIOR DESIGN**  
430 GRANT STREET SUITE 102  
AKRON, OHIO 44311  
PHONE: 330-867-1093



**MECHANICAL, ELECTRICAL & PLUMBING**  
190 N UNION ST. SUITE 303  
AKRON, OHIO 44304  
PHONE: 330-606-2957

### SYMBOLS

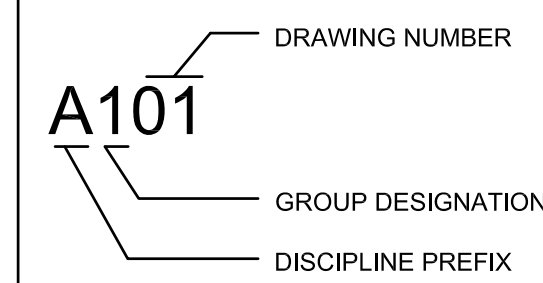
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  - ROOM NUMBER
  - DOOR NUMBER
- GLASS TYPE**  
  - GLASS TYPE
- ROOM NAME AND NUMBER**  
  - ROOM NAME
  - ROOM NUMBER
- WINDOW TYPES**  
  - WINDOW TYPES
- DOOR TYPES**  
  - DOOR TYPES
- FRAME TYPES**  
  - FRAME TYPES
- ELEVATION**  
  - DETAIL NUMBER
  - SHEET WHERE DRAWN
- WALL SECTION OR DETAIL**  
  - DETAIL NUMBER
  - SHEET WHERE DRAWN
- PARTITION TYPE**  
  - PARTITION TYPE

### DRAWING ORGANIZATION SYSTEM

#### DRAWING FORMAT

NUMERIC SYSTEM CODE	DRAWING GROUPS
A001	TITLE SHEET
A002	CODE DATA AND LIFE SAFETY PLAN
EX101, EX102, ETC.	EXISTING FLOOR, ROOF AND REFLECTED CEILING PLANS
EX201, EX202, ETC.	EXISTING EXTERIOR ELEVATIONS
D101, D102, ETC.	DEMOLITION FLOOR, ROOF AND REFLECTED CEILING PLANS
D201, D202, ETC.	DEMOLITION EXTERIOR ELEVATIONS
A101, A102, ETC.	FLOOR, ROOF AND REFLECTED CEILING PLANS
A201, A202, ETC.	BUILDING ELEVATIONS AND MAJOR BUILDING SECTIONS
A301, A302, ETC.	STAIR, ELEVATOR SECTIONS AND DETAILS
A401, A402, ETC.	WALL SECTIONS AND DETAILS
A501, A502, ETC.	INTERIOR PLAN DETAILS AND INTERIOR ELEVATIONS
A601, A602, ETC.	PARTITION TYPES, DOOR SCHEDULE AND DETAILS, WINDOW SCHEDULE AND DETAILS
A701, A702, ETC.	FURNITURE, FINISH AND EQUIPMENT PLANS, FINISH SCHEDULES, PROJECT SPECIFIC PLANS AND DETAILS (I.E. CAGING, LAB EQUIPMENT, ETC.)

#### NUMERIC SYSTEM CODE



#### DISCIPLINE IDENTIFICATION

DISCIPLINE PREFIX	DISCIPLINE
C	CIVIL
L	LANDSCAPING
A	ARCHITECTURAL
S	STRUCTURAL
P	PLUMBING
FP	FIRE PROTECTION
M	MECHANICAL
E	ELECTRICAL
T	TECHNOLOGY
K	KITCHEN

TITLE SHEET

MEDINA MHA  
EMERGENCY HOUSING FACILITY



ARCHITECTS

430 GRANT STREET  
AKRON, OH 44311  
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**TURNING VISIONS INTO REALITY**

07/19/2023

DATE

18A22

PROJECT NUMBER

**A001**  
DRAWING NUMBER



# Site Plan - Existing

ZONING INFORMATION	
<b>PARCEL: 02819A13196</b> 050 WALTER ROAD NORTHVIEW MANOR PARCEL: 78583.23550 SF (1.80 ACRES) EMERGENCY HOUSING PARCEL: 27926.48286 SF (0.64 ACRES)	
R-4 - MULTI-FAMILY RESIDENTIAL	
<b>BUILDING SETBACKS</b>	
FRONT:	40'-0"
SIDE:	5'-0" FOR PRINCIPAL STRUCTURE 5'-0" FOR ACCESSORY STRUCTURE
REAR:	30'-0" FOR PRINCIPAL STRUCTURE 5'-0" FOR ACCESSORY STRUCTURE
PARKING:	20'-0" FROM RIGHT-OF-WAY 50'-0" FROM SINGLE-FAM, TWO-FAM, AND SINGLE-FAMILY CLUSTER DISTRICT
<b>LANDSCAPE BUFFER</b>	
	10'-0"
<b>BUILDING HEIGHT:</b>	
ALLOWED:	35'-0" FOR PRINCIPAL STRUCTURE 15'-0" FOR ACCESSORY STRUCTURE
ACTUAL:	EXISTING (NO CHANGE)
<b>GREEN SPACE</b>	
REQUIRED:	30%
PROPOSED:	33%
<b>PARKING REQUIREMENTS</b>	
1 SPACE PER 2 RESIDENT ROOMS	
5 RESIDENT ROOMS = 3 SPACES	
1 SPACE PER 5 RESIDENT ROOMS	
5 RESIDENT ROOMS = 1 SPACE	
1 SPACE PER 400 SF OF OFFICE SPACE	
1,071 SF = 3 SPACES	
TOTAL SPACES REQUIRED:	7
TOTAL SPACES PROVIDED:	10 (INCLUDING 1 ACCESSIBLE SPACE)
<b>TYPICAL PARKING SPACE SIZE:</b>	
EXISTING:	10'-0" X 20'-0"

REVISIONS



SITE PLAN  
 MEDINA MHA  
 EMERGENCY HOUSING FACILITY



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**TURNING VISIONS  
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18A22  
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**C101**  
 DRAWING NUMBER

1 SITE PLAN  
 C101 SCALE: 1" = 20'-0"



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REVISIONS

EXTERIOR ELEVATIONS

MEDINA MHA  
EMERGENCY HOUSING FACILITY



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TURNING VISIONS  
INTO REALITY

07/19/2023

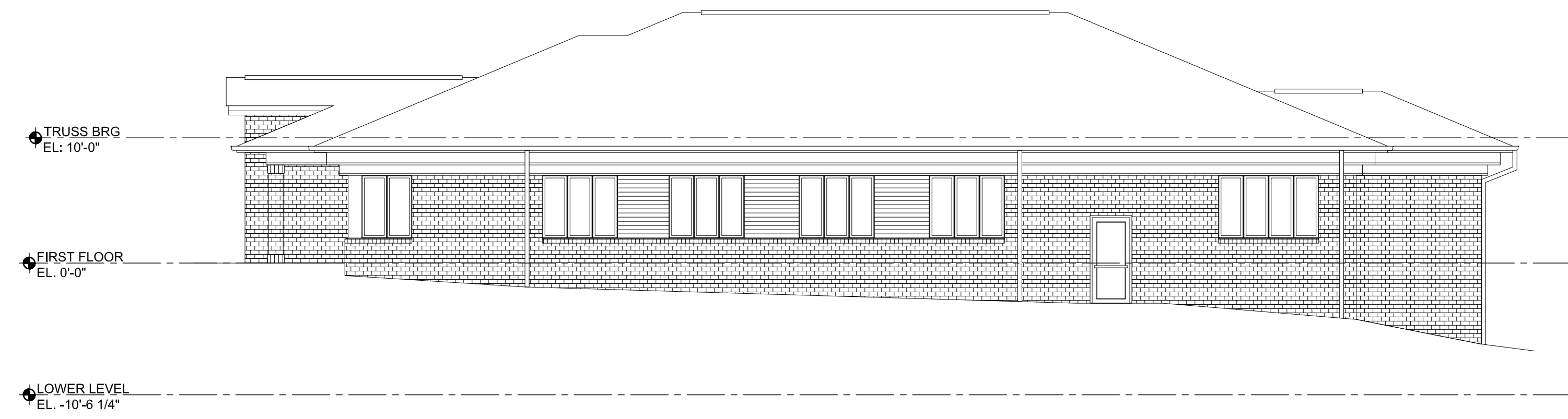
DATE

18A22

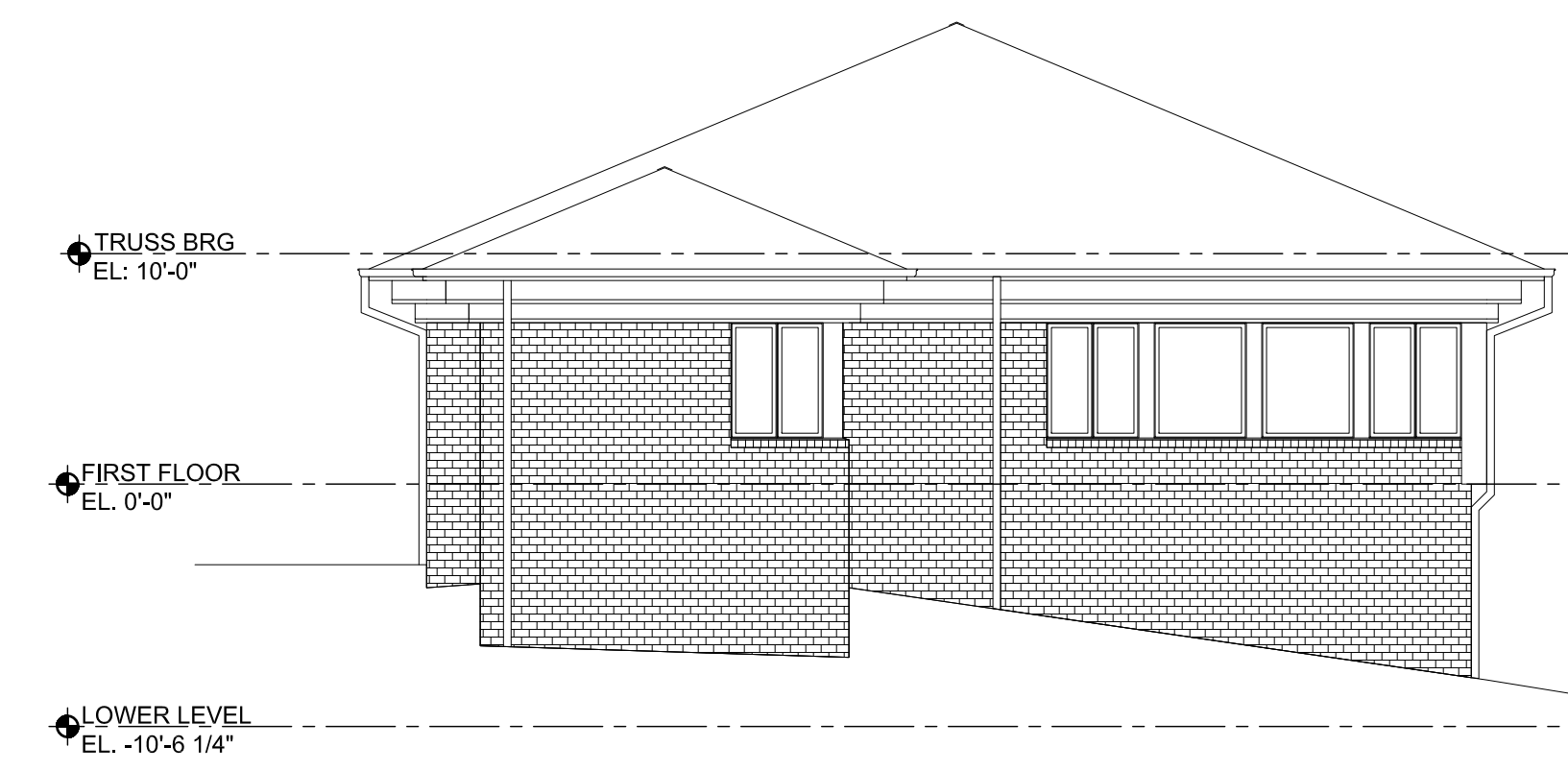
PROJECT NUMBER

A201

DRAWING NUMBER



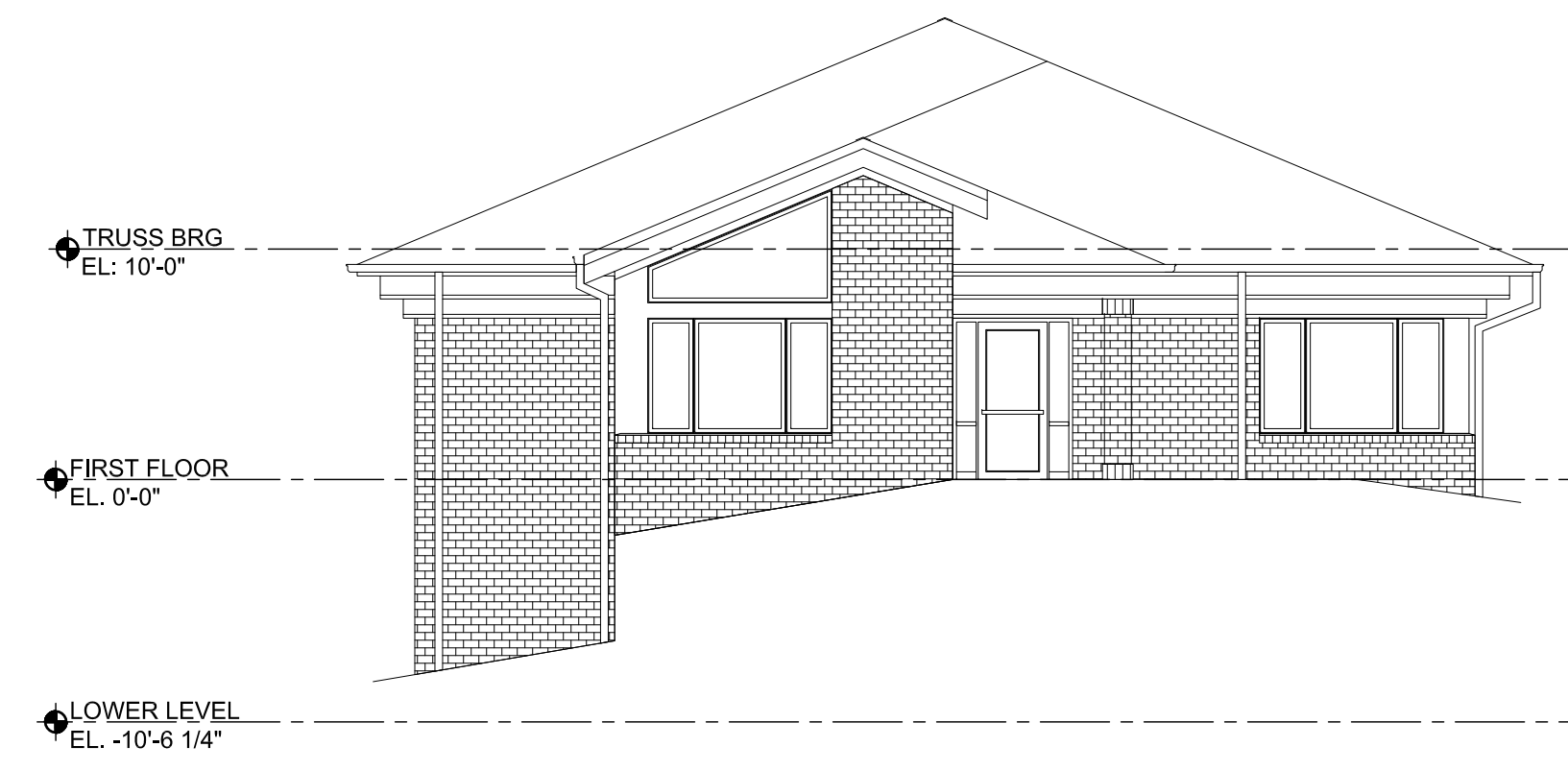
4 SOUTH ELEVATION  
A201 SCALE 1/8"=1'-0"



3 EAST ELEVATION  
A201 SCALE 1/8"=1'-0"



2 NORTH ELEVATION  
A201 SCALE 1/8"=1'-0"



1 WEST ELEVATION  
A201 SCALE 1/8"=1'-0"



# Lower Level - Existing/Demo Plan

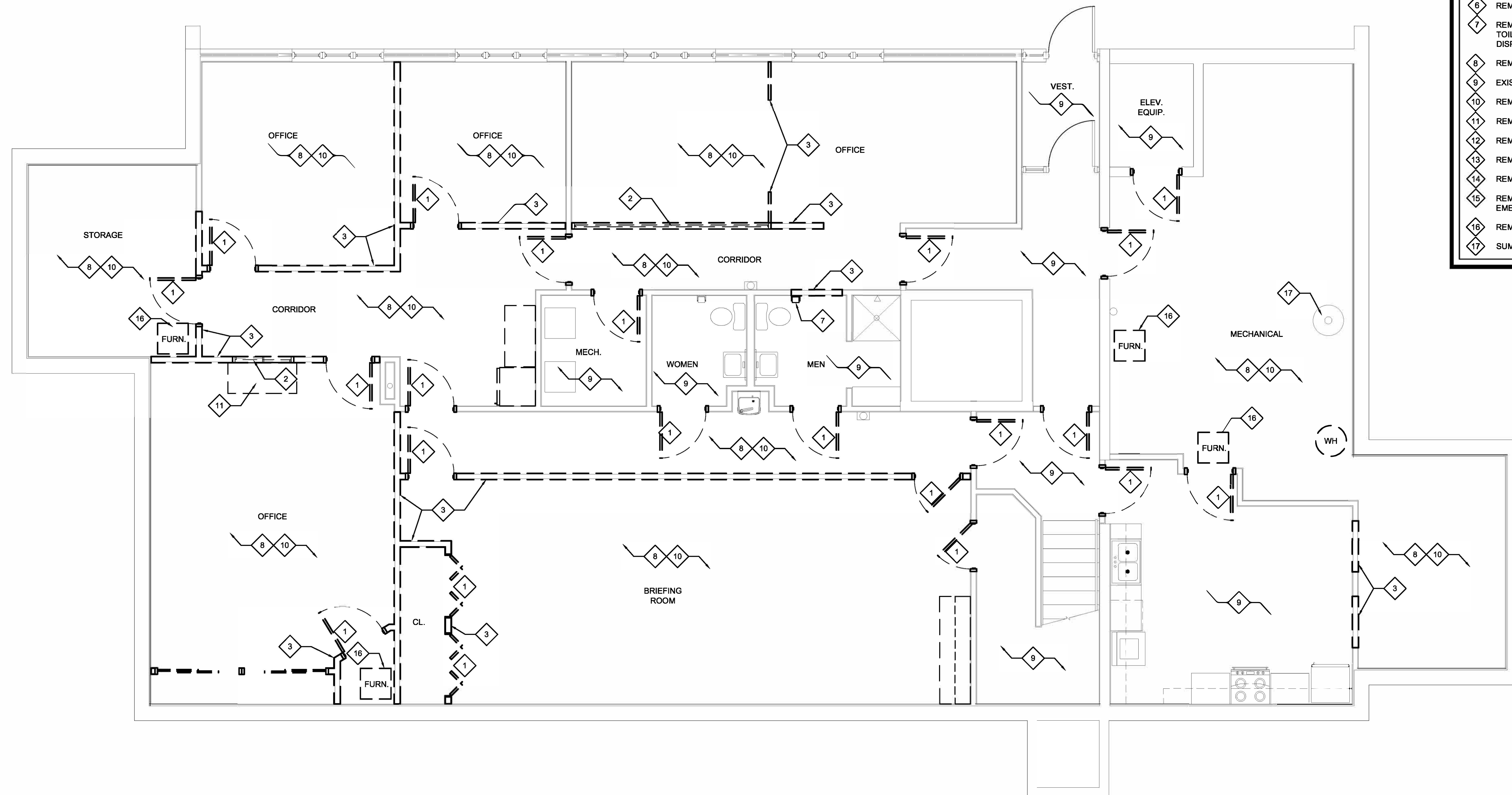
## GENERAL NOTES: DEMO

1. DEMOLITION DRAWINGS SHOW THE GENERAL INTENT OF THE DEMOLITION WORK. THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE FOR THE PURPOSE OF VERIFYING EXISTING SITE CONDITIONS.
2. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY EXISTING CONDITIONS AFFECTING THE WORK WHICH ARE NOT ADEQUATELY DEPICTED ON THE DRAWINGS OR CANNOT BE OBSERVED / VERIFIED BY FIELD CONDITIONS.
3. THE CONTRACTOR SHALL PROTECT ALL EXISTING EQUIPMENT WHICH ARE TO REMAIN IN WHOLE OR IN PART. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING SAME, IF DAMAGED IN ANY WAY DURING THE CONSTRUCTION.
4. SEE PLUMBING, MECHANICAL, FIRE PROTECTION, AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION SCOPE.

## CODED DEMO NOTES:

NOTE: NOT ALL CODED NOTED ARE USED FOR EVERY SHEET

- 1 REMOVE DOOR, FRAME & HARDWARE
- 2 REMOVE WINDOW SYSTEM, FRAME, AND HARDWARE
- 3 REMOVE PORTION OF WALL AS INDICATED
- 4 REMOVE WALL HUNG SINK
- 5 REMOVE TOILET
- 6 REMOVE URINAL
- 7 REMOVE TOILET ROOM ACCESSORIES (TOILET PARTITION, TOILET PAPER HOLDER, SOAP DISPENSER, PAPER TOWEL DISPENSER & SANITIZER DISPENSER)
- 8 REMOVE FLOORING & UNDERLAYMENT
- 9 EXISTING FLOORING TO REMIAN
- 10 REMOVE WALL BASE
- 11 REMOVE EXISTING CASEWORK
- 12 REMOVE ACOUSTICAL CEILING GRID SYSTEM & LIGHTING
- 13 REMOVE GYPSUM BOARD CEILING
- 14 REMOVE SLOPING TONGUE AND GROVE WOOD CEILING
- 15 REMOVE HVAC EQUIPMENT, LIGHT FIXTURES, AND/OR EMERGENCY LIGHTING EQUIPMENT
- 16 REMOVE FURNACE
- 17 SUMP PUMP TO REMIAN



REVISIONS

**LOWER LEVEL FLOOR PLAN - DEMO**  
**MEDINA MHA**  
**EMERGENCY HOUSING FACILITY**



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07/19/2023  
 DATE

18A22  
 PROJECT NUMBER

**D100**  
 DRAWING NUMBER


1 LOWER LEVEL FLOOR PLAN - DEMO  
 D100 SCALE 1/4"=1'-0"





# Lower Level - Proposed

## GENERAL NOTES:

1. ALL WORK TO BE COORDINATED WITH THE OWNERS SCHEDULE PRIOR TO START OF CONSTRUCTION.
2. FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.
3. EXTERIOR DIMENSIONS ARE FROM FACE OF MASONRY TO FACE OF MASONRY, FACE OF MASONRY TO OPENING OR FACE OF SHEATHING TO FACE OF SHEATHING.
4. INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD OR FACE OF MASONRY TO FACE OF STUD.
5. REFER TO ENLARGED PLANS FOR EXTENT OF WORK INSIDE THE BUILDING. SEE DRAWINGS A501-A502
6. REFER TO SHEET A601 FOR INTERIOR PARTITION TYPES.
7. PATCH AND REPAIR ALL SURFACES WHERE DEMOLITION WORK OCCURS, SUCH THAT THE AREA OF REPAIR IS UNNOTICEABLE. PATCHWORK SHALL MATCH ADJACENT SURFACES IN MATERIAL, TEXTURE, AND FINISH. COORDINATE ALL REQUIRED PATCHING WITH ALL TRADES, INCLUDING ELECTRICAL, PLUMBING, MECHANICAL, AND FIRE PROTECTION.
8. SEAL ALL EXTERNAL CRACKS, JOINTS, PENETRATIONS, EDGES, AND ENTRY POINTS. ALSO, SEAL BOTTOM AND TOP PLATES.
9. **F.E.C.**  INDICATES PROPOSED FIRE EXTINGUISHER CABINET LOCATIONS. THESE LOCATIONS ARE TO BE COORDINATED IN FIELD W/ THE ARCHITECT AND THE FIRE MARSHALL ONCE FRAMING IS IN PRIOR TO FRAMING OF SEMI-RECESSED FIRE EXTINGUISHER CABINETS. SEE DETAILS.

REVISIONS

LOWER LEVEL FLOOR PLAN  
 MEDINA MHA  
 EMERGENCY HOUSING FACILITY



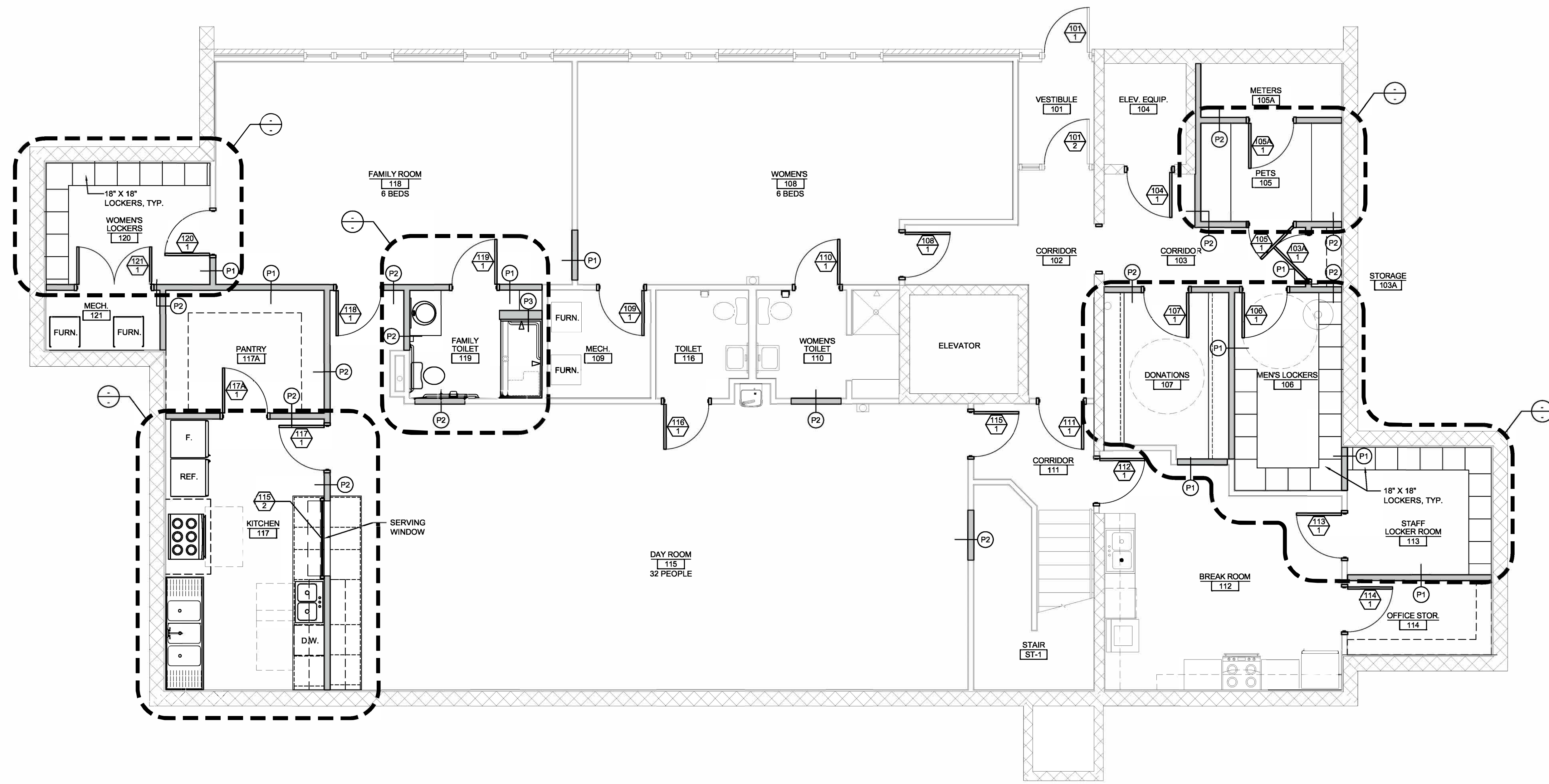
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 INTO REALITY

07/19/2023  
 DATE

18A22  
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A100  
 DRAWING NUMBER



1 LOWER LEVEL FLOOR PLAN  
 A100 SCALE 1/4"=1'-0"



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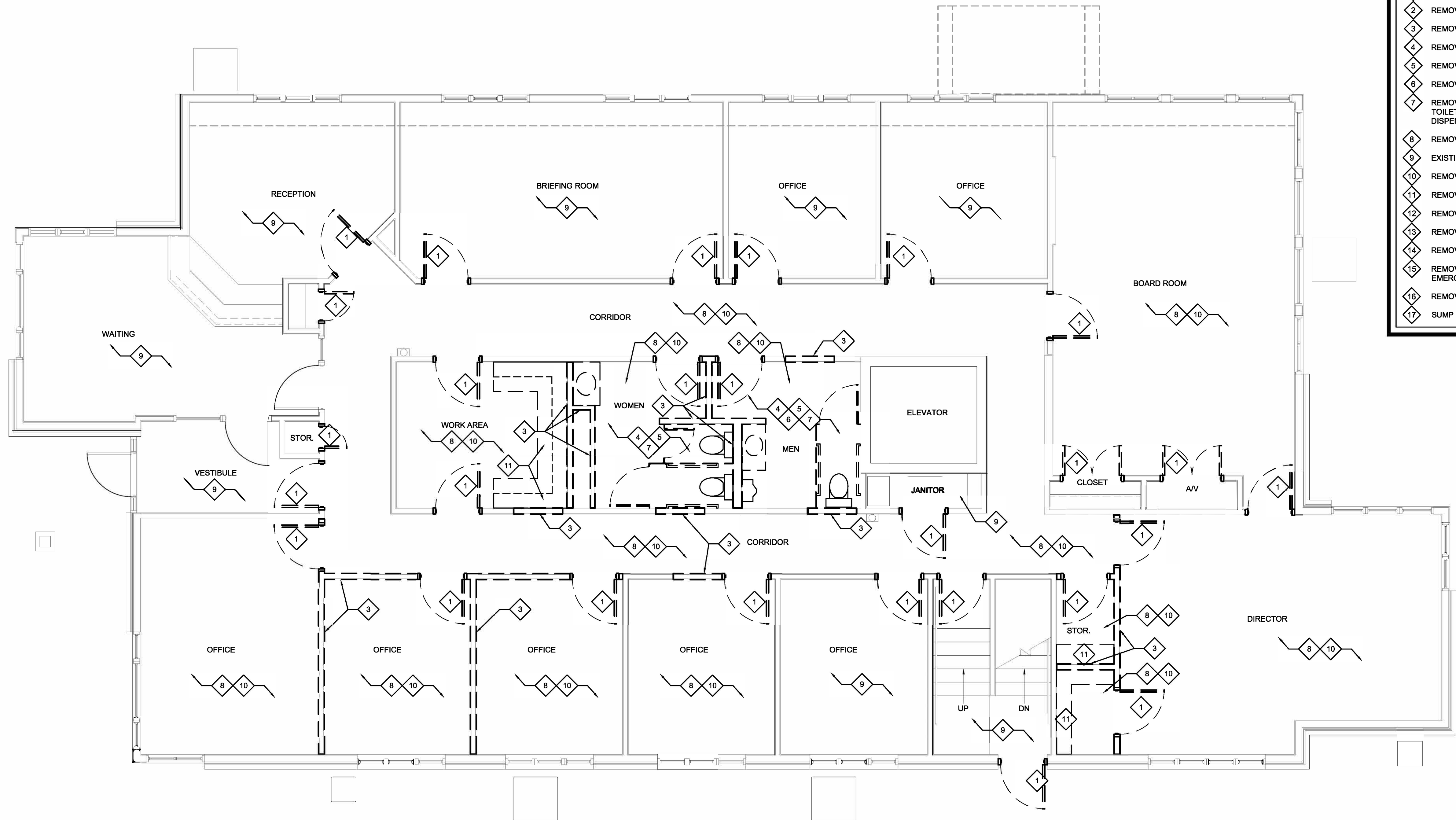
# Upper Level - Existing/Demo Plan

## GENERAL NOTES: DEMO

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  - 6 REMOVE URINAL
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  - 16 REMOVE FURNACE
  - 17 SUMP PUMP TO REMIAN



UPPER LEVEL FLOOR PLAN - DEMO  
 MEDINA MHA  
 EMERGENCY HOUSING FACILITY



430 GRANT STREET  
 AKRON, OH 44311  
 PHONE: (330) 867-1093  
 www.tcarchitects.com

**TURNING VISIONS  
 INTO REALITY**

07/19/2023  
 DATE

18A22  
 PROJECT NUMBER

**D101**  
 DRAWING NUMBER

1  
 D101  
 UPPER LEVEL  
 FLOOR PLAN - DEMO  
 SCALE 1/4"=1'-0"




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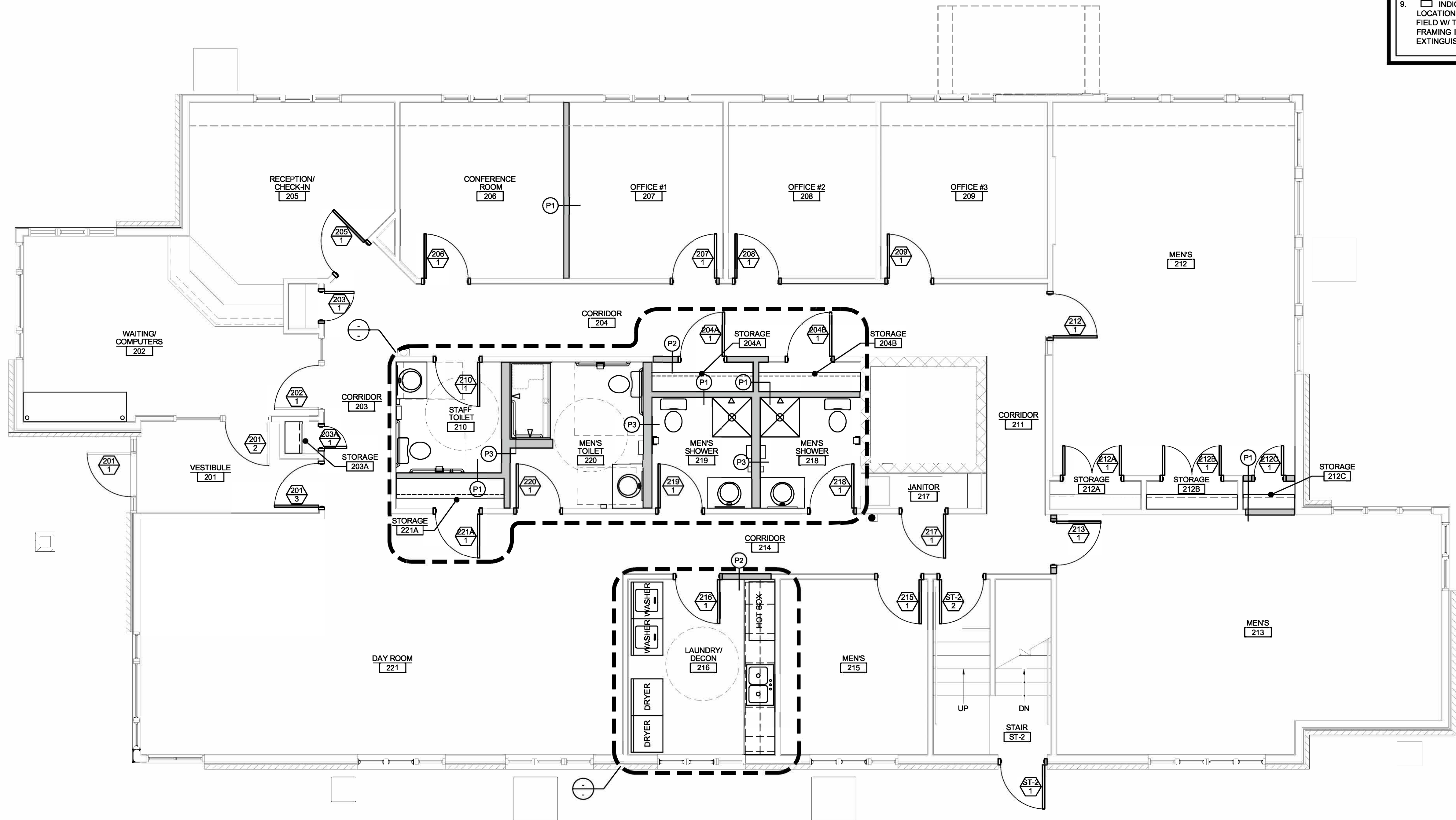


# Upper Level - Proposed

## GENERAL NOTES:

1. ALL WORK TO BE COORDINATED WITH THE OWNERS SCHEDULE PRIOR TO START OF CONSTRUCTION.
2. FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.
3. EXTERIOR DIMENSIONS ARE FROM FACE OF MASONRY TO FACE OF MASONRY, FACE OF MASONRY TO OPENING OR FACE OF SHEATHING TO FACE OF SHEATHING.
4. INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD OR FACE OF MASONRY TO FACE OF STUD.
5. REFER TO ENLARGED PLANS FOR EXTENT OF WORK INSIDE THE BUILDING. SEE DRAWINGS A501-A502
6. REFER TO SHEET A601 FOR INTERIOR PARTITION TYPES.
7. PATCH AND REPAIR ALL SURFACES WHERE DEMOLITION WORK OCCURS, SUCH THAT THE AREA OF REPAIR IS UNNOTICEABLE. PATCHWORK SHALL MATCH ADJACENT SURFACES IN MATERIAL, TEXTURE, AND FINISH. COORDINATE ALL REQUIRED PATCHING WITH ALL TRADES, INCLUDING ELECTRICAL, PLUMBING, MECHANICAL, AND FIRE PROTECTION.
8. SEAL ALL EXTERNAL CRACKS, JOINTS, PENETRATIONS, EDGES, AND ENTRY POINTS. ALSO, SEAL BOTTOM AND TOP PLATES.
9. **F.E.C.**  INDICATES PROPOSED FIRE EXTINGUISHER CABINET LOCATIONS. THESE LOCATIONS ARE TO BE COORDINATED IN FIELD W/ THE ARCHITECT AND THE FIRE MARSHALL ONCE FRAMING IS IN PRIOR TO FRAMING OF SEMI-RECESSED FIRE EXTINGUISHER CABINETS. SEE DETAILS.

REVISIONS



UPPER LEVEL FLOOR PLAN

MEDINA MHA  
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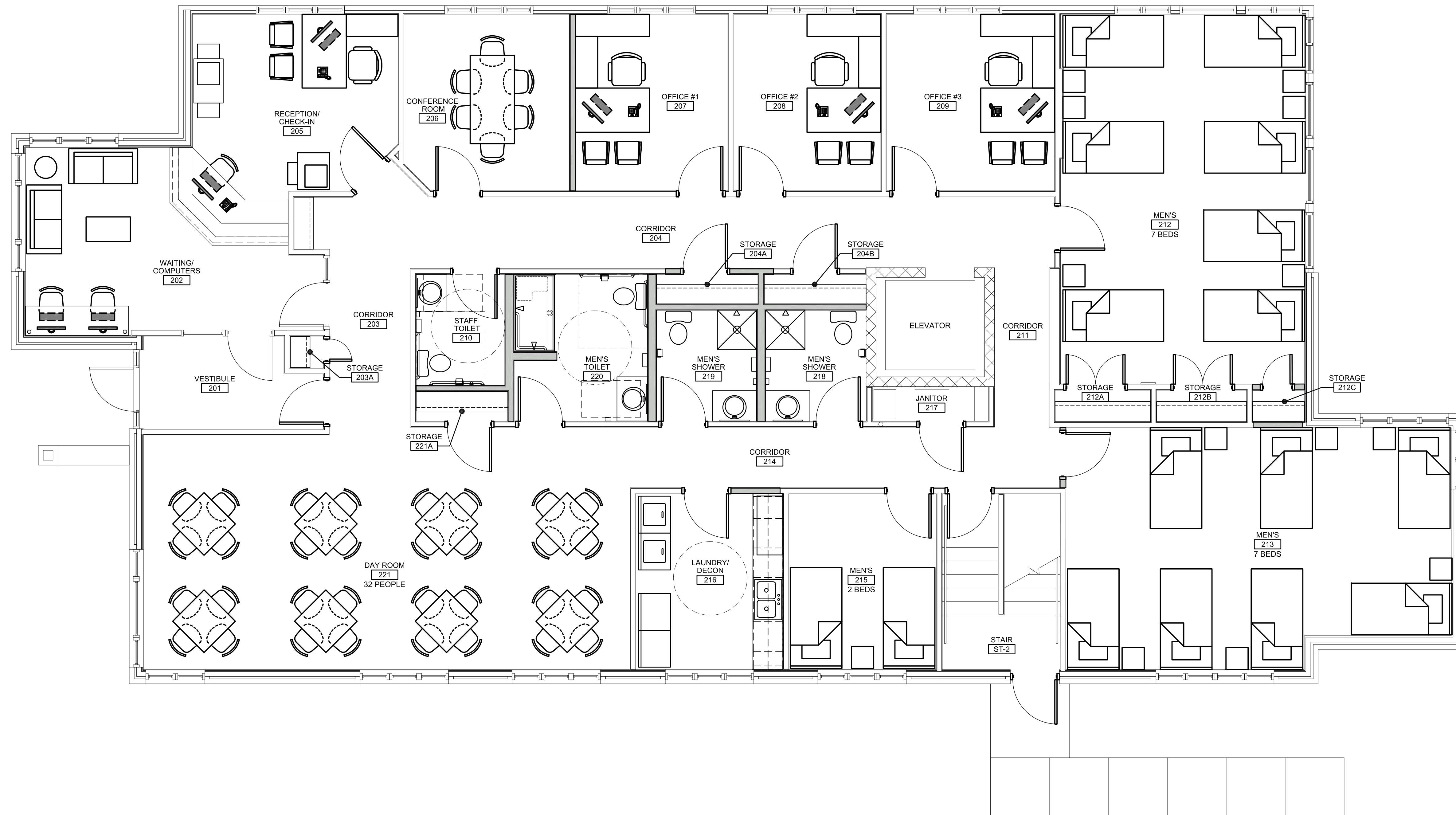
**A101**  
DRAWING NUMBER

1  
UPPERLEVEL  
FLOOR PLAN  
SCALE 1/4"=1'-0"





# Upper Level - Proposed w/Furniture



1  
A705 UPPER LEVEL FURNITURE PLAN  
SCALE 1/4"=1'-0"



REVISIONS

UPPER LEVEL FURNITURE PLAN  
MEDINA MHA  
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07/10/2023  
DATE  
18A22  
PROJECT NUMBER

A705  
DRAWING NUMBER

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Rd

Rd



850  
Offices of the  
MEDINA METROPOLITAN  
HOUSING AUTHORITY

Looking East From Walter Road





**Looking Northeast From Walter Road**





**Looking Northwest From Walter Road**





**Looking Southwest From Medina Shopping Center Parking Lot**