



BOARDS & COMMISSIONS

APPLICATION

132 North Elmwood Avenue
330-722-9038
www.medinaoh.org

Application Number P23-15

GENERAL	Date of Application	7/20/2023								
	Property Location	460 Lake Road, Medina, Ohio								
	Description of Project	Tru-Fit Products building addition and parking expansion.								
CONTACT INFORMATION	Applicant Name	Bob Workman/TFP Corporation								
	Address	460 Lake Road	City	Medina	State	OH	Zip	44256		
	Phone	330-725-7741	Email	reworkman@tfpcorp.com						
APPLICATION TYPE	Property Owner Name	Reagan Land Company, LLC								
	Address	460 Lake Road	City	Medina	State	OH	Zip	44256		
	Phone	330-725-7741	Email	reworkman@tfpcorp.com						
APPLICANT SIGNATURE	Planning Commission	Site Plan	<input checked="" type="checkbox"/>	Conditional Zoning Certificate	<input type="checkbox"/>	Code or Map Amendment	<input type="checkbox"/>			
	Preliminary Plan	<input type="checkbox"/>	Final Plat	<input type="checkbox"/>	Conditional Sign (EMC/Shopping Ctr)	<input type="checkbox"/>	Cert. of Appr. (TCOV)	<input type="checkbox"/>	Other	<input type="checkbox"/>
	Historic Preservation Board	Certificate of Appropriateness			<input type="checkbox"/>	Conditional Sign	<input type="checkbox"/>			
Board of Zoning Appeals	Variance	<input type="checkbox"/>	Appeal	<input type="checkbox"/>						
<p>By signing this application, I hereby certify that:</p> <p>1) The information contained in this application is true and accurate to the best of my knowledge;</p> <p>2) I am authorized to make this application as the property owner of record or I have been authorized to make this application by the property owner of record;</p> <p>3) I assume sole responsibility for correspondence regarding this application; and</p> <p>4) I am aware that all application requirements must be submitted prior to the formal acceptance of my application.</p>										
<p>Signature <u>Robert Workman General Manager</u> Date <u>7/18/23</u> <u>Reagan Land Co. LLC</u></p>										
OFFICIAL USE	Zoning District	<u>I-1</u>			Fee (See Fee Sheet)	\$	<u>532.85</u>			
	Meeting Date	<u>8-10-23</u>			Check Box when Fee Paid <input checked="" type="checkbox"/>					

P23-15 Tru-Fit Addition

Property Owner: Reagan Land Company LLC

Applicant: Bob Workman

Location: 460 Lake Road

Zoning: I-1 (Industrial)

Request: Site Plan approval for a building addition and parking expansion

LOCATION AND SURROUNDING USES

The subject site is composed of 13.3 acres located on the northeast corner of Lake Road and Heritage Drive. Adjacent properties contain the following uses and zoning:

- **North** – Industrial (I-1)
- **South** – Fire Station (P-F) and Vacant (I-1)
- **East** – Industrial (I-1)
- **West** – Single-Family Residential (I-1 and Unincorporated)



BACKGROUND & PROPOSED APPLICATION

The existing Tru-Fit building is approximately 168,085 sq. ft. in area with parking located on the northwest side of the site and outdoor storage areas on the east side of the site. The site has two access points off Lake Road and one access point off Heritage Drive.

The applicant is proposing to construct a 69,882 sq. ft. addition on the north side of the building, bringing the total building size to 237,967 sq. ft. The project includes the reconfiguration of parking to accommodate loading areas on the west side of the addition and the expansion of parking along Lake Road.

DEVELOPMENT STANDARDS

The proposed building is located in the I-1 zoning district. The following table indicates general development standard requirements in the zoning district:

	Required	Proposed
Minimum Lot Frontage	100 ft.	810 ft.
Minimum Front Setback	25 ft.	220 ft.
Minimum Side Setback	25 ft.	59 ft.
Minimum Rear Setback	25 ft.	47 ft.
Maximum Building Height	50 ft.	37 ft.

The project meets the applicable development standards.

PARKING, ACCESS, AND CIRCULATION

Access and Circulation – The site has currently has two access points off Lake Road and one access point off of Heritage Drive. Proposed plans add one additional access point off Lake Road to service the expanded passenger vehicle parking area. The access drive meets minimum and maximum width requirements.

Required Off-Street Spaces – Though a portion of the existing building includes office areas, the vast majority of the existing and proposed buildings are fall under the classifications of “Light Manufacturing” and “Warehousing”. These two uses required “enough (parking) to satisfy all the parking needs of the proposed use”.

The current site includes 127 parking spaces. The proposed plan removes parking spaces in the northwest corner of the site and extends an existing parking area to the south along Lake Road. The proposed site includes a total of 147 parking spaces. Though the addition is significant, the proposed parking appears to be adequate.

Parking Dimensions – Ninety-degree parking spaces must be 9 ft. in width and 19 ft. in length with a 24 ft. wide drive aisle. The proposed site meets this standard.

Loading Zones – Seven loading zone spaces are incorporated on the west side of the addition, facing Lake Road, which are accessed by overhead doors. As noted, parking was removed in this area to accommodate the proposed loading zones

Sidewalk – A public sidewalk is not proposed and does not exist on Lake Road or Heritage Drive in the area. The Planning Commission may waive the requirement to install a public sidewalk in the I-1 zoning district.

LANDSCAPING, SCREENING, AND BUFFERING

Parking Lot Landscaping – Landscape features or other visual barriers are required between parking and the right-of-way. Plans show landscaping between parking and the right-of-way.

Interior parking lot landscaping is provided at the required 5 sq. ft. per 100 sq. ft. of parking area.



Buffering and Screening – Landscape features or other visual barriers are required between the site and residentially zoned properties. Residences on the west side of Lake Road are zoned I-1 (Industrial) in the city and LM (Light Manufacturing) in Lafayette Township. Though not required, a mix of plantings has been proposed along Lake Road to provide a light buffer.

A buffer is required between loading zones and public streets. Plans incorporate landscaping between the loading zoned and Lake Road, providing a buffer.

ENGINEERING AND FIRE DEPARTMENT COMMENTS

The Engineering Department has indicated that the applicant and the City will be required to enter into a Storm Water Operations and Maintenance Agreement (SWOMA) in which the applicant will be required to prepare and submit a Storm Water Maintenance Plan to the City for review and approval.

At this time, the Fire Departments has not provided comments regarding the project.

UTILITIES AND STORMWATER

The site has access to public water and sanitary sewer service. A large stormwater detention basin is indicated on the south side of the site.

BUILDING ELEVATIONS AND LIGHTING

Architectural building elevations indicate a metal-sided addition, which will match the existing building. As noted, overhead doors are incorporated on the west building elevation, facing Lake Road.

Lighting must comply with Section 1145.09(c) including a photometric plan, full cut-off fixtures, and a maximum lighting height of 25 ft. A lighting plan has been submitted, including a compliant photometric plan, fixtures, and height.

SITE PLAN REVIEW STANDARDS

The Planning Commission's review and action shall be based on the following Standards per Section 1109.02(c):

- (1) The site plan shows that a proper relationship does exist between thoroughfares, service roads, driveways and parking areas to encourage pedestrian and vehicular traffic safety.
- (2) All the development features including the principal buildings, open spaces, service roads, driveways and parking areas are so located and related as to minimize the possibility of any adverse effects upon adjacent development.
- (3) The site plan includes adequate provision for the screening of parking areas, service areas and active recreation areas from surrounding properties by landscaping and/or ornamental walls or fences. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (4) Grading and surface drainage provisions are reviewed and approved by the City Engineer.
- (5) The design and construction standards of all private streets, driveways and parking areas are to be built following approval of plans by the City Engineer according to construction standards specified in the Codified Ordinances.
- (6) Maximum possible privacy for multi-family dwellings and surrounding residential properties shall be provided through good design and use of proper building materials and landscaping. Visual privacy should be provided through structural screening and landscaping treatment. Auditory privacy in multi-family dwellings should be provided through soundproofing. All trees planted shall be as found in specifications approved by the Shade Tree Commission.



- (7) The architectural design of buildings should be developed with consideration given to the relationship of adjacent development in terms of building height, mass, texture, materials, line and pattern and character.
- (8) Building location and placement should be developed with consideration given to minimizing removal of trees and change of topography. Any trees to be removed which are planted in a public right-of-way or on municipal property shall be reviewed by the Shade Tree Commission.
- (9) In multi-family developments, television and other antennas shall be centralized.
- (10) On-site circulation shall be designed to make possible adequate fire and police protection.
- (11) Off-street parking facilities shall be provided in accordance with Chapter 1145. In large parking areas, visual relief shall be provided through the use of trees planted and landscaped dividers, islands and walkways. In multi-family developments no parking or service areas shall be permitted between any street and the main building. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (12) Signs shall be provided in accordance with these Codified Ordinances.
- (13) Any trees planted on site shall be on approved list of Shade Tree Commission and planted in accordance with Commission standards.

COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION

Staff recommends **approval** of application P23-15 as submitted.

Andrew Dutton

From: Patrick Patton
Sent: Tuesday, August 1, 2023 3:43 PM
To: Andrew Dutton
Cc: Fred Himmelreich
Subject: FW: Site Plan Review
Attachments: P23-15 File 8-10-23.pdf; Engineering Checklist for Commercial Site Plan.pdf

Andrew-

My comments:

1. Please refer to the attached engineering checklist for site plan approval.
2. Due to the size of the disturbed area associated with this project, the applicant and the City will be required to enter into a Storm Water Operations and Maintenance Agreement (SWOMA). As part of this agreement, the applicant will be required to prepare and submit the Storm Water Maintenance Plan to the City for review and approval.

Thanks,

Patrick Patton, PE
City Engineer
City of Medina, Ohio

Phone: (330) 721-4721
Email: ppatton@medinaoh.org
Website: www.medinaoh.org

Medina City Hall / 132 N. Elmwood Avenue / Medina, Ohio 44256



From: Sarah Tome <stome@medinaoh.org>
Sent: Thursday, July 20, 2023 11:20 AM
To: Larry Walters <lwalters@medinaoh.org>; Medina Forestry <medinaforestry@medinaoh.org>; Patrick Patton <ppatton@medinaoh.org>; Edward Kinney <ekinney@medinaoh.org>; Sharon Garrison <sgarrison@medinaoh.org>; Nino Piccoli <npiccoli@medinaoh.org>; Jansen Wehrley <jwehrley@medinaoh.org>; Daniel Gladish <dgladish@medinaoh.org>; Kimberly Marshall <kmarshall@medinaoh.org>; Mark Crumley <mcrumley@medinaoh.org>
Cc: Andrew Dutton <adutton@medinaoh.org>
Subject: Site Plan Review

TRU-FIT PRODUCTS

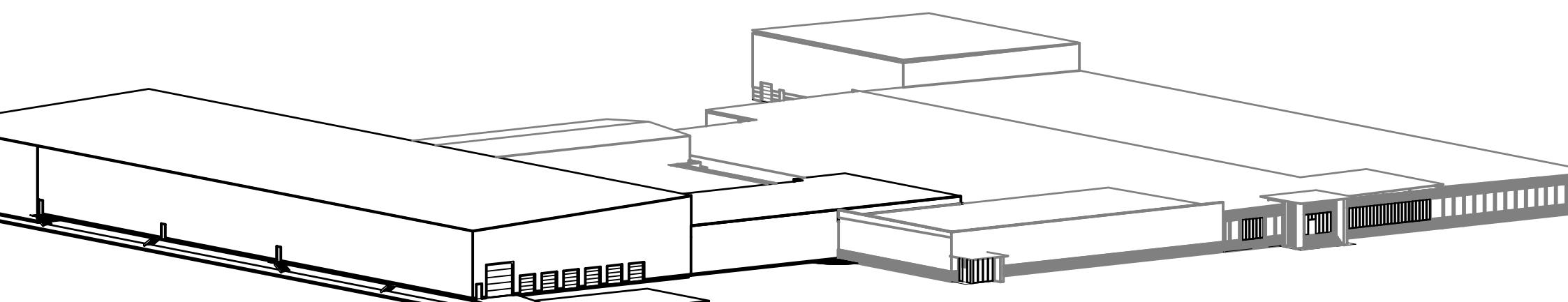
TFP ADDITION

460 LAKE RD, MEDINA, OH



Simonson
Construction
Services, Inc.
2112 Troy Rd, Ashland, OH 44805
Phone: (419) 281-8299
Fax: (419) 281-6150

PROFESSIONAL SEAL:



CONCEPTUAL 3-D RENDER

NO SCALE

TFP ADDITION

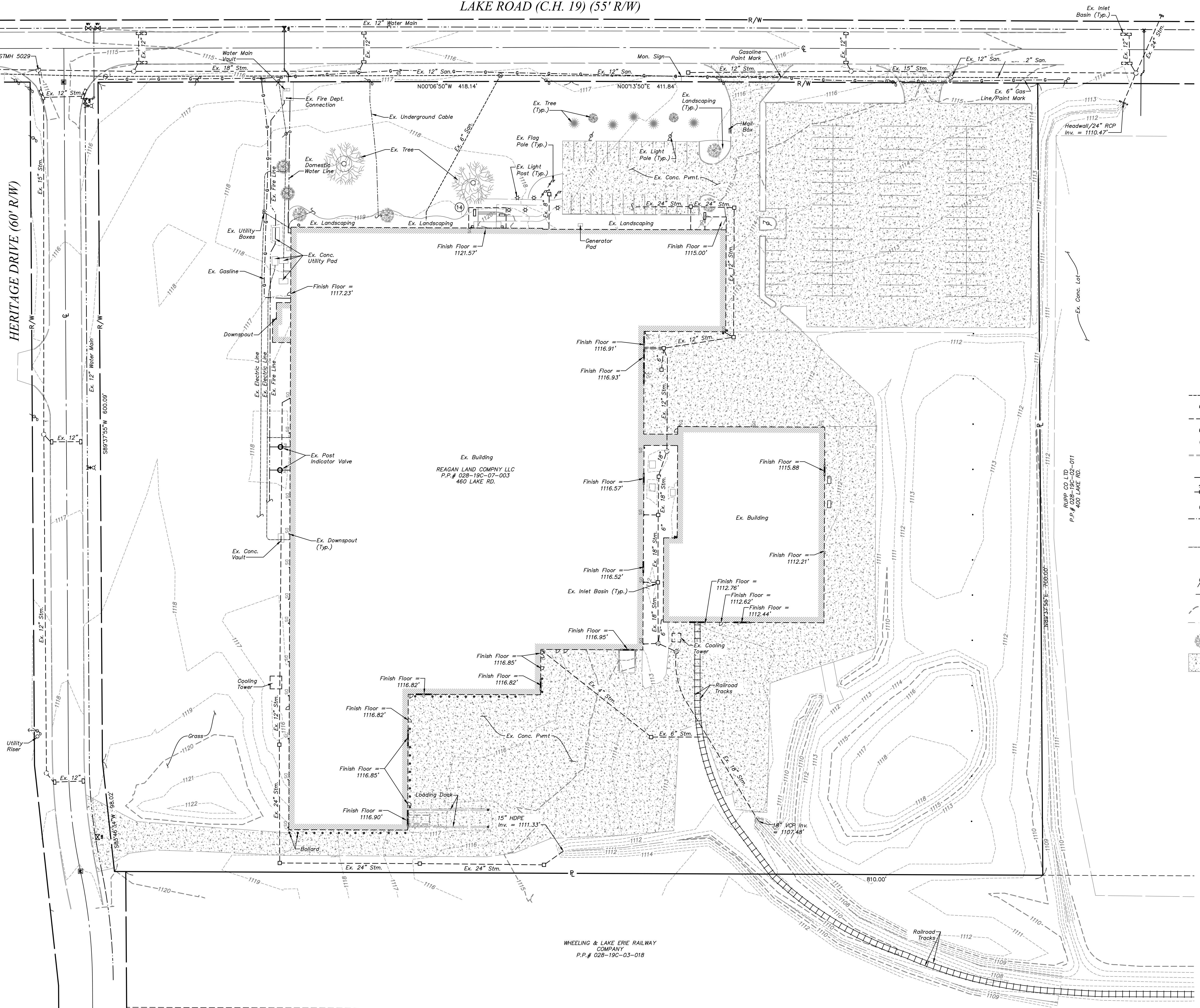
460 LAKE RD, MEDINA, OH

TRU-FIT PRODUCTS

460 LAKE RD, MEDINA, OH

ABBREVIATIONS	
ABV	ABOVE
AFF	ABOVE FINISH FLOOR
AFC	ABOVE FINISHED CEILING
ASC	ABOVE SUSPENDED CEILING
ACC	ACCESS
ACFL	ACCESS FLOOR
AP	ACCESS PANEL
AC	ACOUSTICAL
ACT	ACOUSTICAL TILE
ADH	ADHESIVE
ADJ.	ADJUSTABLE
ADJT	ADJUSTABLE
AGG	AGGREGATE
A/C	AIR CONDITIONING
ALT	ALUMINATE
ALUM	ALUMINUM
ANC	ANCHOR, ANCHORAGE
AB	ANCHOR BOLT
ANOD	ANODIZED
APX	APPROXIMATE
ARCH	ARCHITECT (URAL)
AD	AREA DRAIN
ASPH	ASPHALT
AUTO	AUTOMATIC
B	BJ
BSMT	BASEMENT
BM	BEAM
BRG	BEARING
BJT	BED JOINT
BLM	BELMONT MARK
BEL	BELLOW
BET	BETWEEN
BVL	BULLEDED
BIT	BITUMINOUS
BLK	BLOCK
BNG	BOTTLED
BD	BOARD
BS	BOTH SIDES
BW	BOTH WAYS
BOT	BOTTOM
B/	BOTTOM OF
BRK	BRICK
BRZ	BRONZE
BLDG	BUILDING
BUR	BURLED-UP ROOFING
C	CAB
CK	CAULK (INC), CAULK (ING)
CPT	CARPET (ED)
CSTM	CASEMENT
CIPC	CAST-IN-PLACE CONCRETE
CB	CAST IRON
CLB	CATCH BASIN
CLG	CEILING
CEM	CEMENT
CL	CENTER LINE
C/C	CENTER TO CENTER
CER	CENTIMETER (S)
CMT	CERAMIC MOSAIC (TILE)
CT	CERAMIC TILE
CHBD	CHALKBOARD
CHAM	CHAMFER
CR	CLE
CRT	CIRCUIT
CIRC	CIRCUMFERENCE
CLR	CLEAR (ANCE)
CLOS	CLOSED
COL	COLUMN
COMB	COMBINATION
COMP	COMPARTMENT
COMP	COMPOSITION (COMPOSITE)
COMP	COMPRESS (ED) (ION) (IBLE)
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CX	CONNECTION
CONST	CONSTRUCTION
CONT	CONTINUOUS OR CONTINUE
CONTR	CONTRACT (OR)
CUT	CUTTING JOINT
CONV	CONVEYOR
CPR	COPPER
CG	CORNER GUARD
CORR	CORRUGATED
CTR	CTR
CFL	COUNTERFLASHING
CS	COUNTERSINK
CTSK	COUNTERSUNK SCREW
CRS	COURSE (S)
CFT	CUBIC FOOT
CYD	CUBIC YARD
D	DPR
DP	DAMPROOFING
DEM	DEAD LOAD
DMT	DEMOLITION, DEMOLITION
DEP	DEPRESSIBLE
DTL	DETAIL
DIAG	DIAGONAL
DIA	DIA
DIM	DIMENSION
DPR	DISPENSER
DIV	DIVISION
DR	DOOR
DA	DOUBLEACTING
DTA	DOUBLE HUNG
DTS	DOVETAIL ANCHOR
DN	DOVETAIL ANCHOR SLOT
DS	DOWNSPOUT
D	DRAIN
DW	DRYWALL
DWR	DRAWER
DWG	DRAWING
DF	DRINKING FOUNTAIN
DW	DYEWALL
E	EA
EF	EACH FACE
EW	EACH WAY
E	ELECTRIC (AL)
ELC	ELECTRICAL, PANELBOARD
ENC	ELECTRIC WATER COOLER
F	F.I.E.V.A.T.N.
ELEV	ELEVATOR
EMER	EMERGENCY
ENC	ENCLOSE (URE)
EO	EO
EOP	EQUIPMENT
ESC	ESCALATOR
EST	ESTIMATE
EXCA	EXCAVATE (ION)
EXH	EXHAUST
EXG	EXG
EB	EXPANSION BOLT
EJ	EXPANSION JOINT
EXP	EXPOSED
EXT	EXTERIOR
EIFS	EXTERIOR INSULATED & FINISH SYSTEM
EXS	EXTRA STRENGTH
F	FB
FOC	FACE BRICK
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOF	FACTORY FINISH
FF	FACTORY FINISH
FM	FACTORY MUTUAL
FAS	FASTEN, FASTENER
FN	FENCE
FGL	FLASH GLASS
FVR	FINISH, VERIFICATION
FIN	FINISH (ED)
FFE	FINISHED FLOOR ELEVATION
FA	FIREF ALARM
FE	FIREF EXTINGUISHER
FEC	FIREF EXTINGUISHER CABINET
FHS	FIREF HOSE STATION
FP	FIREFPROOF
FRC	FIREF-RESISTANT COATING
FRT	FIREFRARDANT
FLX	FLExIBLE
FLR	FLOOR (ING)
FLCO	FLOOR CLEANOUT
FD	FLOOR DRAIN
FJ	FLUSH JOINT
FND	FOUNDATION
FR	FRAME (D), (ING)
FUR	FURNISHED BY OWNER
FUR	FURRED (ING)
FUT	FUTURE
G	GA
GAGE	GAGE, GAUGE
GAT	GALVANIZED
GKT	GASKET
GC	GENERAL CONTRACT (OR)
GL	GLAZED, GLAZING
GCM	GLAZED STRUCTURAL TILE
GRB	GRAB BAR
GD	GRADE, GRADING
GVL	GRAVEL
GT	GROUT
GPDW	GYPSUM DRY WALL
GWB	GYPSUM WALL BOARD
H	HH
HAND	HAND HOLE
HDCP	HANDICAPPED
HBD	HARDBOARD
HDM	HARDWARE
HWD	HARDWOOD
HDR	HEADER
HTC	HEATING
HTC	HEATING/VENTILATION/ AIR CONDITIONING
HD	HEIGHT
HP	HIGH POINT
HC	HOLLOW CORE
HM	HOLLOW METAL
HO	HOLE (S)
HOR	HORIZONTAL
HOSE	HOSE BIB
HW	HWATER HEATER
I	INCINERATOR
INCL	INCLUDE (D), (ING)
ID	INSIDE DIAMETER
INSL	INSULATE, INSULATE (D), (ION)
INSC	INSULATE CONCRETE
INSF	INSULATION FILL
INT	INTERIOR
ILK	INTERLOCK
INTM	INTERMEDIATE
INV	INVERT
J	JANITOR
JC	JANITOR'S CLOSET
JT	JOINT
JF	JOINT FILLER
J	JOIST
JB	JUNCTION BOX
K	KPL
KIT	KITCHEN
KD	KNOCK-DOWN
KO	KNOCKOUT
L	LBL
LAB	LABORATORY
LAD	LADDER
LB	LADGE
LAM	LAMINATE (D)
LAV	LAVATORY
LAH	LEFT HAND
LT	LIGHT
LC	LIGHT CONTROL
LP	LIGHTPROOF
LW	LIGHTWEIGHT
LWC	LIGHTWEIGHT CONCRETE
LTL	LINTEL
LL	LOAD
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LP	LOW POINT
S	SFG
Safety	Safety Glass
SCN	Schedule
SNT	Sealant
STG	Seating
SEC	Section
SFK	Service Sink
SHT	Sheet
SG	Sheet Glass
SHELF	Shelf, Shelving
SHD	Shade (D), (ING)
SIM	Similar
SKL	Skylight
SL	Sleeve
SC	Solid Core
SO	Sonotrof
SOUTH	South
SPC	Spacer
SPK	Speaker
SPEC	Specification (S)
SQ	Square
SQF	Square Feet
STD	Standard
STL	Steel
STR	Storage
STO	Storm Drain
STRUCT	Structural
SCT	Structural Clay Tile
SAC	Suspended Acoustical
SAC	Suspended Ceiling
SAC	Synthetic (ICAL)
SYS	System
T	TKBD
TACKBOARD	TACKBOARD
TKS	TACKSTRIP
TEL	TELEPHONE
TEMP	TEMPER (ED)
TZ	TERRAZZO
THK	THICK (NESS)
THR	THRESHOLD
TDP	TOILET PAPER DISPENSER
TDL	TOILET PARTITION
TOL	TOLERANCE
T&G	TONGUE AND GROOVE
T/BM	TOP OF BEAM
TOM	TOP OF MASONRY
TSL	TOP SLAB
T/S/TL	TOP OF TIER
TW	TOP OF WALL
N	NL
MOV	MOVABLE
MULL	MULLION
TB	TOWEL BAR
TR	TRANSOM
TG	TRUSS GIRDER
UL	UNDERCUT
UNF	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
UR	URINAL
V	V-JOINT (ED)
VB	VAPOR BARRIER
VAR	VARNISH
VNR	VERMICULITE
VERT	VERTICAL
VIN	VINY
VB	VINY BASE
VCT	VINY COMPOSITION TILE
VF	VINY FABRIC
VWC	VINY WALL COVERING
W	WSC
WTW	WAISNCOOT
WALL	WALL
WH	WALL HUNG
WC	WATER COSET
WP	WATERPROOFING
WR	WATER REPELLENT (RESISTANT)
WS	WATERSTOP
WW	WHEEL WIRE FABRIC
W	WHEEL
WBB	WHEEL BUMPER
W	WIDTH, WIDE
WIN	WINDOW
WM	WIRE MESH
W/	WITH
WO	WITHOUT
WD	WOOD
WB	WOOD BASE
WPT	WORK POINT
WI	WROUGHT IRON
P	PNT
PBD	PAINT (ED)
PAD	PANEL
PTD	PAPER TOWEL DISPENSER
PTR	PAPER TOWEL RECEPTOR
PAR	PARKING
PER	PERFORATE (D)
PERF	PERFORER
PLA	PLASTER
PLA	PLASTIC LAMINATE
PL	PLATE
PG	PLATE GLASS
PLD	PLLOOD
PT	POINT
PVC	POLYVINYL CHLORIDE
PE	PORCELAIN ENAMEL
PTC	POST-TENSIONED CONCRETE
PPF	POUNDS PER CUBIC FOOT
PLF	POUNDS PER LINEAR FOOT
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PCC	PRECAST CONCRETE
PFN	PREFABRICATE (D)
PFN	PREFABRICATED
PFN	PRESTRESSED CONCRETE
PL	PROPERTY LINE
QT	QUARRY TILE
R	RBT
RAD	RABBIT, REBATE
RL	RAIL (ING)
RWC	RAINFALL CONDUCTOR
REF	REFLECT (ED), (IVE), (OR)
RF	REFLECTIVE
REFR	REFRIGERATOR
REG	REGISTER
REI	REINFORCE (D), (ING)
RCF	REINFORCED CONCRETE PIPE
REM	REMOVE
REP	REPRESENTATIVE
REQD	REQUIRED
RET	RETURN
RHS	RHETROFIT
RVS	REVERSE (SIDE)
REV	REVISED
RH	RIGHT HAND
ROW	RIGHT OF WAY
RISER	RISER
RD	ROAD
RFH	ROOF HATCH
RO	ROOM
RO	ROUGH OPENING
S	SFG
Safety	S

LAKE ROAD (C.H. 19) (55' R/W)

**TRU-FIT BUILDING & PARKING EXPANSION****EXISTING CONDITIONS PLAN**

LOCATED IN COUNTY OF MEDINA

CITY OF MEDINA

CUNNINGHAM & ASSOCIATES, INC.

CIVIL ENGINEERING and SURVEYING

203 W. LIBERTY ST. MEDINA, OHIO 44256 330-725-5980

Lake Road (C.H. 19) (55' R/W)

HERITAGE DRIVE (60' R/W)

SITE DATA

- ZONING DISTRICT:
- TOTAL SITE AREA:
- BUILDING COVERAGE:
- MINIMUM BUILDING S:
- MINIMUM SIDE YARD:
- MINIMUM REAR YARD:
- MINIMUM BETWEEN E:

PARKING SUMMARY

- PARKING SPACE DIM:
- PROP. MAIN PARKING:
- INTERIOR LANDSCAPED:
- PARKING PROVIDED:
- PARKING SPACES:
- ADA PARKING SPACE:

NOTE: PROPOSED LIGHT POLES SHALL NOT EXCEED 25 FEET IN HEIGHT

**REAGAN LAND COMPANY LLC
P.P.# 028-19C-07-003
460 LAKE RD.**

**RUPP CO LTD
P.P.# 028-19C-02-011
460 LAKE RD.**

**WHEELING & LAKESIDE RAILWAY COMPANY
P.P.# 028-19C-03-018**

<i>TRU-FIT BUILDING & PARKING EXPANSION</i>	
<i>LOCATED IN</i>	<i>CITY OF MEDINA</i>
<i>COUNTY OF MEDINA</i>	
<hr/>	
<i>CUNNINGHAM & ASSOCIATES, INC.</i>	
<i>CIVIL ENGINEERING and SURVEYING</i>	
<i>203 W. LIBERTY ST. MEDINA, OHIO 44256 330-725-5980</i>	

TRU-FIT BUILDING & PARKING EXPANSION

LOCATED IN

CITY OF MEDINA LOCATED IN **COUNTY OF MEDINA**

**VININGHAM & ASSOCIATES,
CIVIL ENGINEERING and SURVEYING**

SITE PLAN

SHEET TITLE:

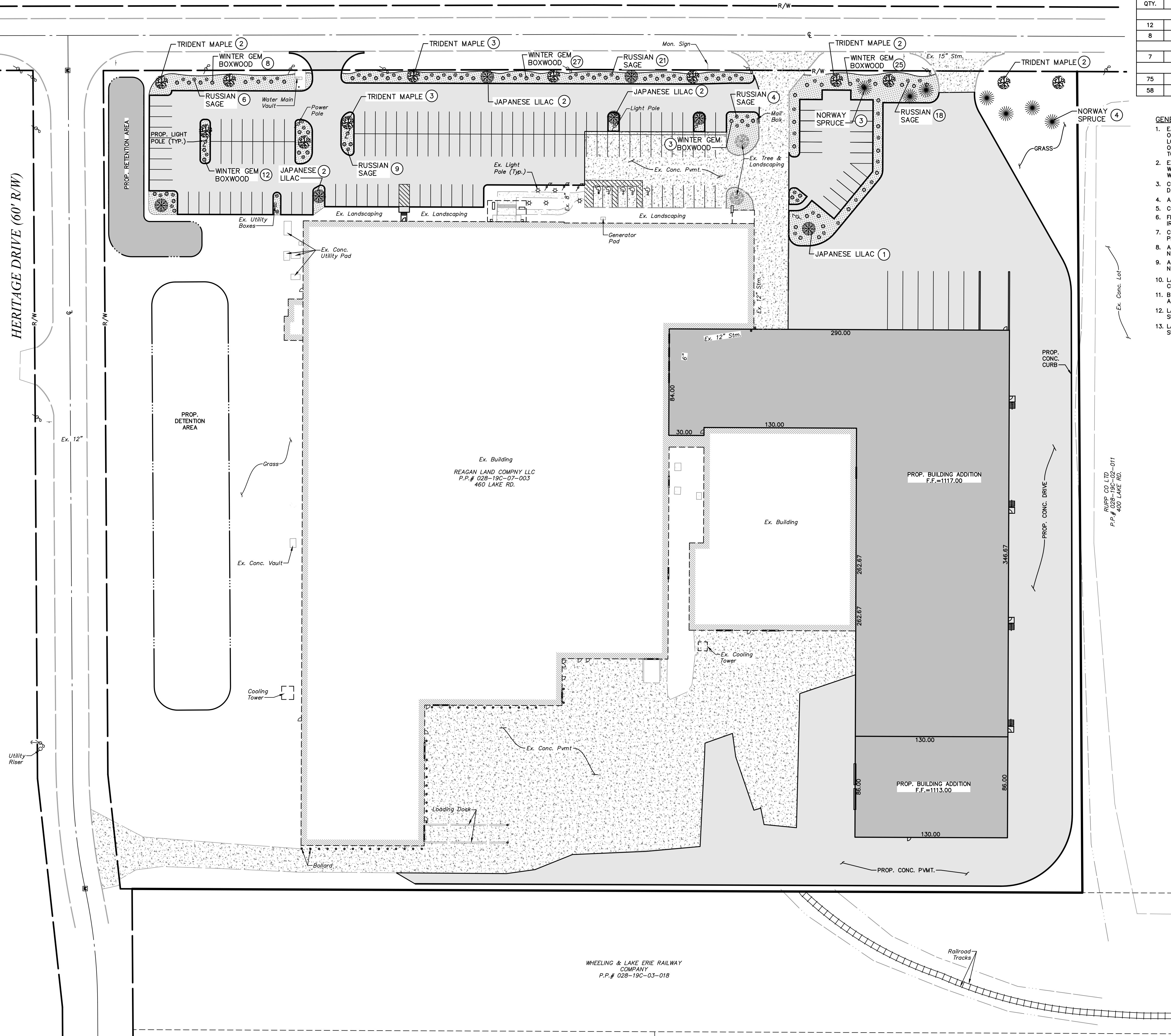
DRAWN BY:	<u>CAT</u>
DATE:	<u>07/18/2023</u>
CHECKED BY:	<u> </u>
DATE:	<u> </u>
PROJECT No.	
<u>22-301</u>	
ACAD FILE No.	
<u>22-301 SP2</u>	
SCALE:	PLAN- 1"=40'

SHEET NO.

2

3

LAKE ROAD (C.H. 19) (55' R/W)



PLANT MATERIALS LIST			
QTY.	COMMON NAME	BOTANICAL NAME	SIZE
12	DECIDUOUS TREES		
12	TRIDENT MAPLE	Acer Buergerianum	2" Cal.
8	JAPANESE TREE LILAC	Syringa Reticulata	2" Cal.
7	EVERGREEN TREES		
7	NORWAY SPRUCE	Picea Abies	6' Hgt.
75	SHRUBS		
75	WINTER GEM BOXWOOD	Buxus Microphylla Japonica 'winter gem'	12" Hgt.
58	RUSSIAN SAGE	Perovskia Atriplicifolia	12" Hgt.

TRU-FIT BUILDING & PARKING EXPANSION

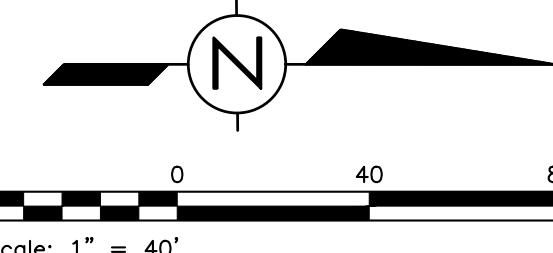
LOCATED IN COUNTY OF MEDINA

CUNNINGHAM & ASSOCIATES, INC.
CIVIL ENGINEERING and SURVEYING
203 W. LIBERTY ST. MEDINA, OHIO 44256
330-725-5980

SITE PLAN

DRAWN BY: CAH
DATE: 07/18/2023
CHECKED BY: _____
DATE: _____
PROJECT No. 22-301
ACAD FILE No. 22-301 LS
SCALE: PLAN- 1"=40'

SHEET NO.
3





**Simonson
Construction
Services, Inc.**

112 Troy Rd, Ashland, OH 44805
Phone: (419) 281-8299
Fax: (419) 281-6150

PROFESSIONAL SEAL:

B NUMBER:

DRAWN BY:

A.DEARTH

R.PASA

TFP ADDITION

460 LAKE RD, MEDINA, OH

TRU-FIT PRODUCTS

OWNER INFO:

REVISIONS

CT NAM

PLANNING SUBMITTAL

LAST DATE

RE

100

DRAWING

E

100

SITE PLAN

HEET N

C-101

100

ARCHITECTURAL SITE PLAN FOR REFERENCE AND
RELEVANT CODE REVIEW ONLY. SEE ENGINEERED
CIVIL DRAWINGS FROM CUNNINGHAM &
ASSOCIATES, INC FOR ADDITIONAL INFORMATION

This architectural site plan provides a detailed layout for the construction of a building complex along Lake Road (C.H. 19). The plan includes the following key elements:

- Building Footprints:** The main building footprint is a long, rectangular structure divided into several sections. A smaller, attached section is located on the left side. The total length of the main building is indicated as 65'-4 1/2".
- Dimensions:** Various dimensions are marked throughout the plan, including widths of 44' - 0 3/4" and 46' - 6 1/4", and heights of 10' - 1" and 10' - 3".
- Landscaping:** The plan shows several landscaped areas, including a large lawn area in the center-right, a circular flower bed near the entrance, and a row of trees along the southern perimeter.
- Control Points:** Three control points are marked with black circles and labeled "CONTROL POINT (+/- 1/2")".
- Driveways and Roads:** A network of roads and driveways is shown, with labels like "LAKE ROAD (C.H. 19) (55'R/W)" and "MONONCLER".
- Utilities:** Utility lines and poles are indicated throughout the site.

The plan is overlaid on a background image of the surrounding terrain and existing buildings, providing a clear visual context for the proposed development.



**Simonson
onstruction
ervices, Inc.**

112 Troy Rd, Ashland, OH 44805
Phone: (419) 281-8299
Fax: (419) 281-6150

PROFESSIONAL SEAL:

B NUMBER:

DRAWN BY:

A.DEARTH

HECKED BY:

TFP ADDITION

460 LAKE RD, MEDINA, OH

TRU-FIT PRODUCTS

460 LAKE RD, MEDINA, OH

OWNER INFO:

REVISIONS

PLANNING SUBMITTAL

ENT DATE	REV. No.
07-19-23	0

DRAWING TITLE

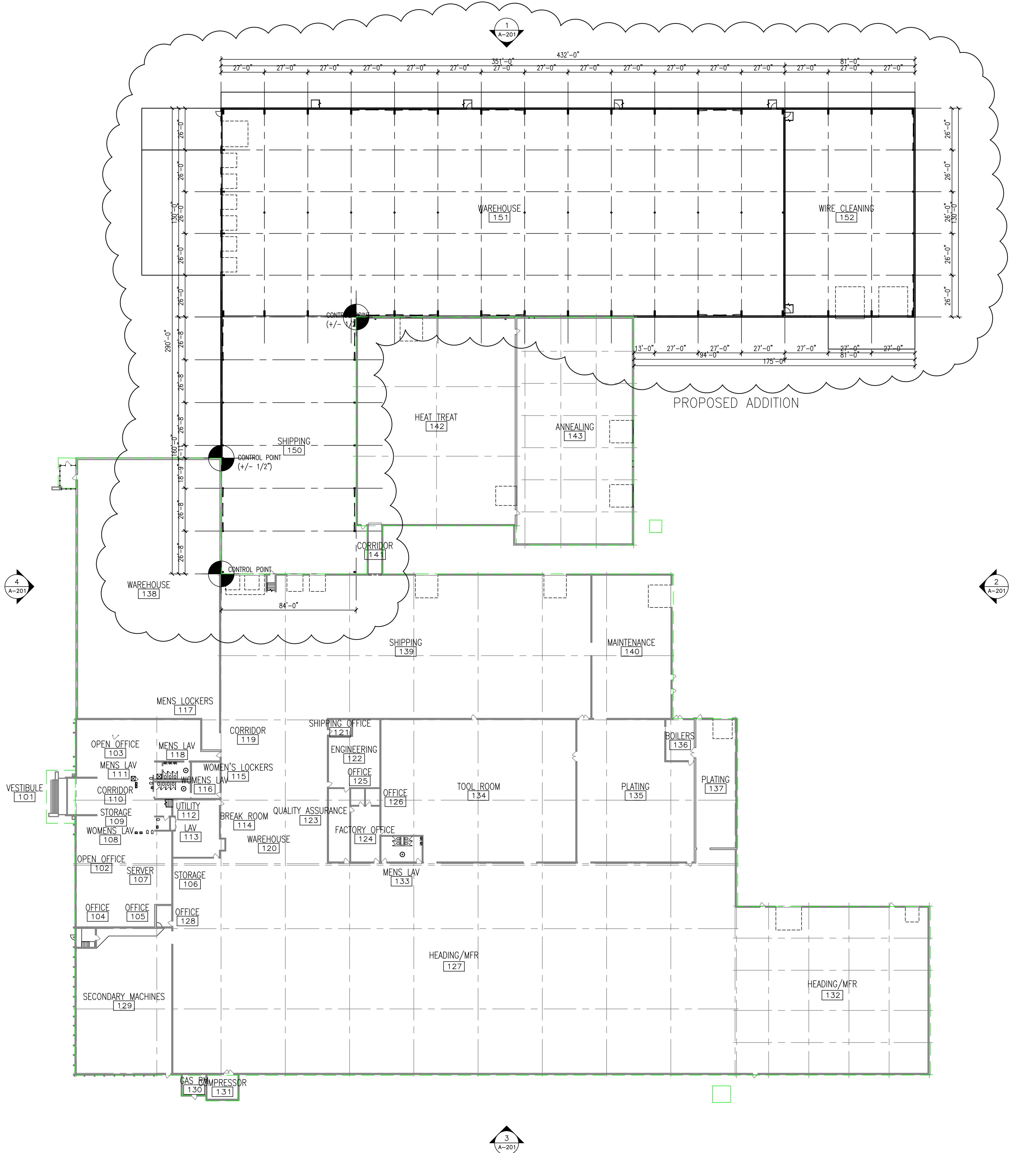
OVERALL FLOOR PLAN

D.
A-101

OE-1

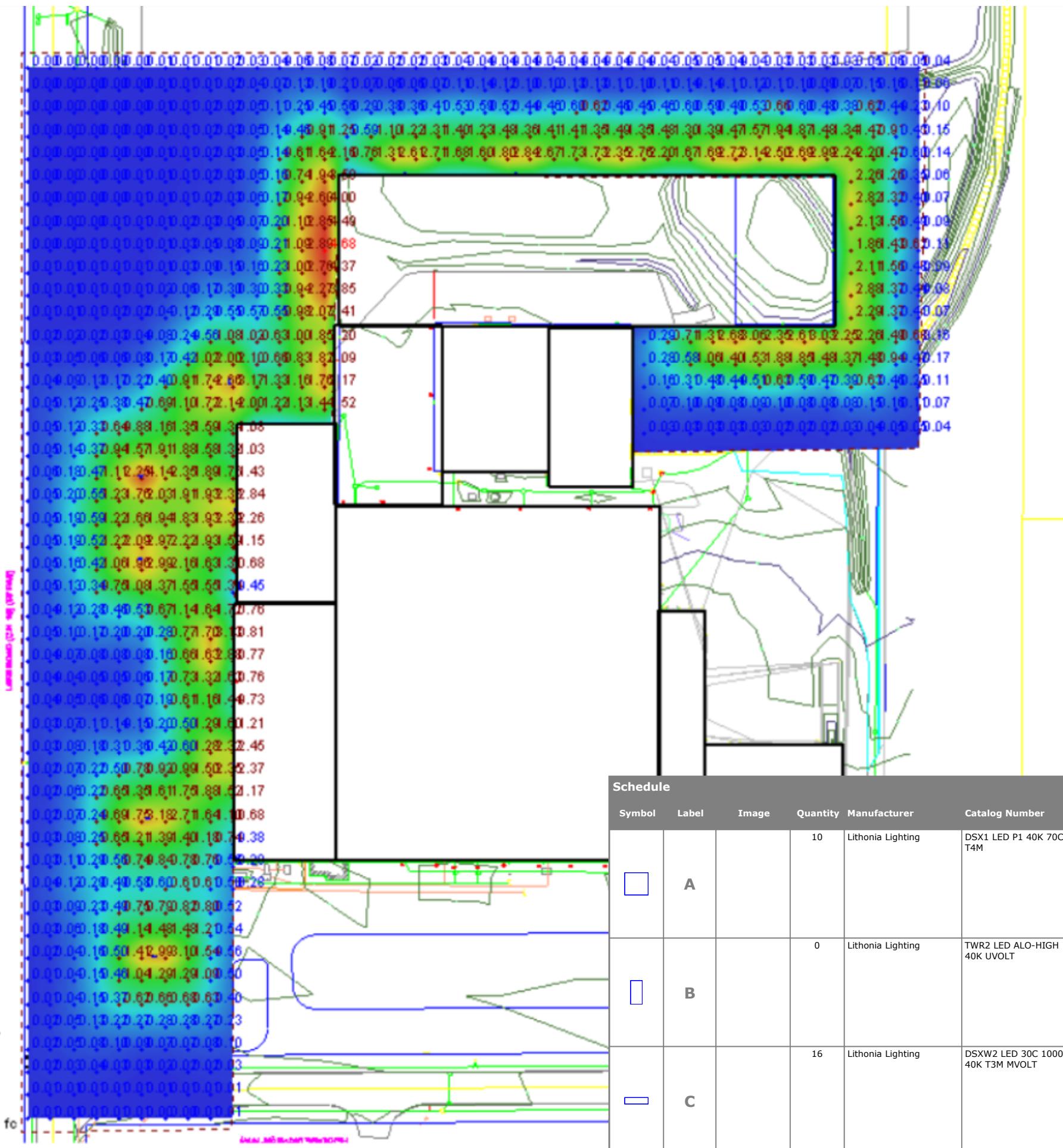
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...TFP 2023 BLDG ADDITION AND SITE WORK
MEDINA, OHIO



1 of 1

Designer
Simonson Construction, Inc.
Date
07/19/2023
Scale
Not to Scale
Drawing No.

Summary



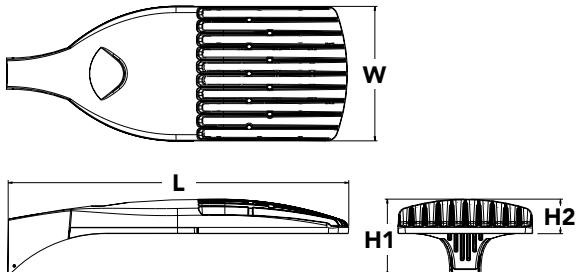
D-Series Size 1

Legacy LED Area Luminaire



Specifications

EPA:	1.01 ft ² (0.09 m ²)
Length:	33"
Width:	13" (33.0 cm)
Height H1:	7-1/2" (19.0 cm)
Height H2:	3-1/2"
Weight (max):	27 lbs (12.2 kg)



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD G1

DSX1 LED						
Series	LEDs	Color temperature	Distribution	Voltage	Mounting	
DSX1 LED	Forward optics P1 P4 ¹ P7 ¹ P2 P5 ¹ P8 P3 P6 ¹ P9 ¹ Rotated optics P10 ² P12 ² P11 ² P13 ^{1,2}	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I short (Automotive) T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium	T5VS Type V very short ³ T5S Type V short ³ T5M Type V medium ³ T5W Type V wide ³ BLC Backlight control ⁴ LCCO Left corner cutoff ⁴ RCCO Right corner cutoff ⁴	MVOLT ⁵ XVOLT (277V-480V) ^{6,7,8} 120 ⁹ 208 ⁹ 240 ⁹ 277 ⁹ 347 ⁹ 480 ⁹	Shipped included SPA Square pole mounting RPA Round pole mounting ¹⁰ WBA Wall bracket ³ SPUMBA Square pole universal mounting adaptor ¹¹ RPUMBA Round pole universal mounting adaptor ⁹ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ¹²

Control options	Other options	Finish (required)	Generation (required)
Shipped installed NLTAIR2 nLight AIR generation 2 enabled ¹³ PIRHN Network, high/low motion/ambient sensor ¹⁴ PER NEMA twist-lock receptacle only (controls ordered separate) ¹⁵ PERS Five-pin receptacle only (controls ordered separate) ^{15,16} PER7 Seven-pin receptacle only (controls ordered separate) ^{15,16} DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹⁷ DS Dual switching ^{18,19,20}	PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ^{20,21} PIRH High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ^{20,21} PIR1FC3V High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{20,21} PIRH1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{20,21} FAO Field adjustable output ^{20,22}	Shipped installed HS House-side shield ²³ SF Single fuse (120, 277, 347V) ⁹ DF Double fuse (208, 240, 480V) ⁹ L90 Left rotated optics ² R90 Right rotated optics ² HA 50° ambient operations ¹ BAA Buy America(n) Act Compliant Shipped separately BS Bird spikes ²⁴ EGS External glare shield	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white
			G1 Generation 1

d²series

D-Series Size 2 LED Wall Luminaire

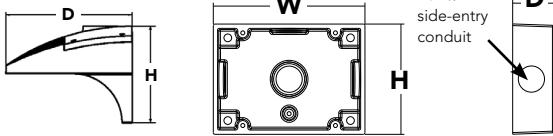
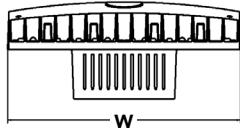


BAA

Specifications

Luminaire

Width:	18-1/2" (47.0 cm)	Weight:	21 lbs (9.5 kg)
Depth:	10" (25.4 cm)		
Height:	7-5/8" (19.4 cm)		



A+ Capable options indicated by this color background.

Back Box (BBW)

Width:	5-1/2" (14.0 cm)	BBW Weight:	1 lbs (0.5 kg)
Depth:	1-1/2" (3.8 cm)		
Height:	4" (10.2 cm)		

Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background¹

To learn more about A+, visit www.acuitybrands.com/aplus.

- See ordering tree for details.
- A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

Ordering Information

EXAMPLE: DSXW2 LED 30C 700 40K T3M MVOLT DDBTXD

DSXW2 LED								
Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options	
DSXW2 LED	20C 20 LEDs (two engines)	350 350 mA	30K 3000 K	T2S Type II Short	MVOLT ³	Shipped included	Shipped installed	
	530 530 mA	40K 4000 K	T2M Type II Medium	120 ⁴	(blank) Surface mounting bracket	PE Photoelectric cell, button type ⁷		
	700 700 mA	50K 5000 K	T3S Type III Short	208 ⁴	PER NEMA twist-lock receptacle only (control ordered separate) ⁸	PER Five-wire receptacle only (control ordered separate) ^{8,9}		
	1000 1000 mA ¹ (1 A)	AMBPC Amber phosphor converted ²	T3M Type III Medium	240 ⁴	PER5 Seven-wire receptacle only (control ordered separate) ^{8,9}	PER7 Seven-wire receptacle only (control ordered separate) ^{8,9}		
			T4M Type IV Medium	277 ⁴	DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)	DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)		
			TFTM Forward Throw Medium	347 ^{4,5}	PIR 180° motion/ambient light sensor,<15' mtg ht ^{10,11}	PIR 180° motion/ambient light sensor,<15' mtg ht ^{10,11}		
				480 ^{4,5}	PIRH 180° motion/ambient light sensor, 15-30' mtg ht ^{10,11}	PIRH Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{11,12}		
					PIR1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{11,12}	PIR1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{11,12}		

Other Options	Finish (required)			
Shipped installed	Shipped separately ¹³	DDBXD	Dark bronze	DSSXD Sandstone
SF Single fuse (120, 277, 347V) ³	BSW Bird-deterrent spikes	DBLXD	Black	DDBTXD Textured white
DF Double fuse (208, 240, 480V) ³	VG Vandal guard	DNAXD	Natural aluminum	DSSTXD Textured sandstone
HS House-side shield ⁴		DWHXD	White	DNATXD Textured natural aluminum
SPD Separate surge protection ¹³				



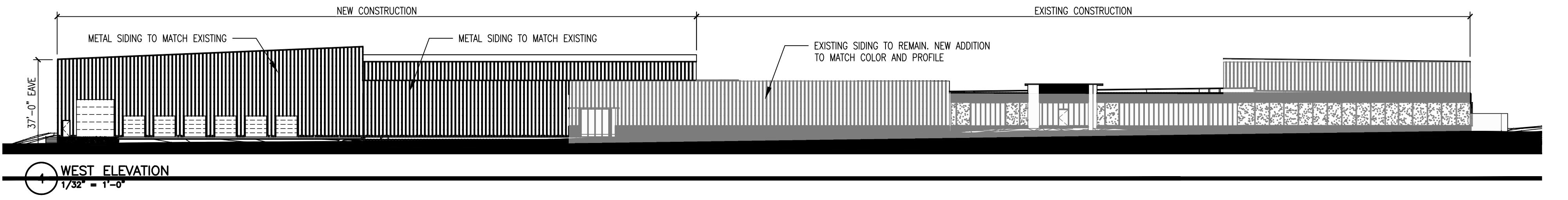
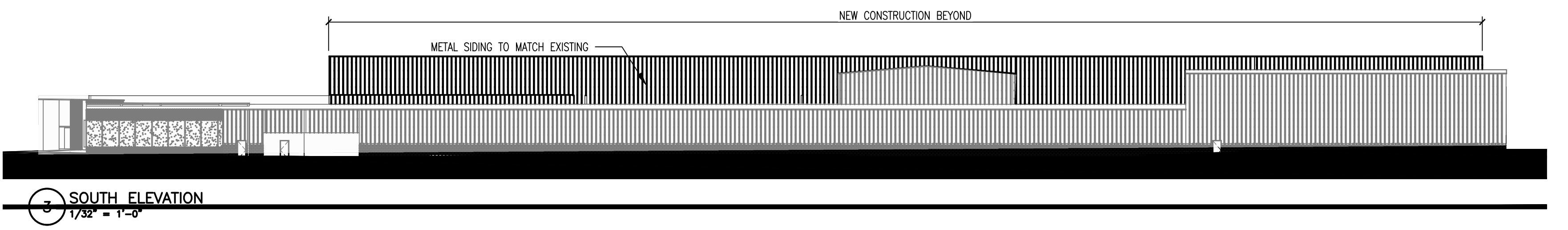
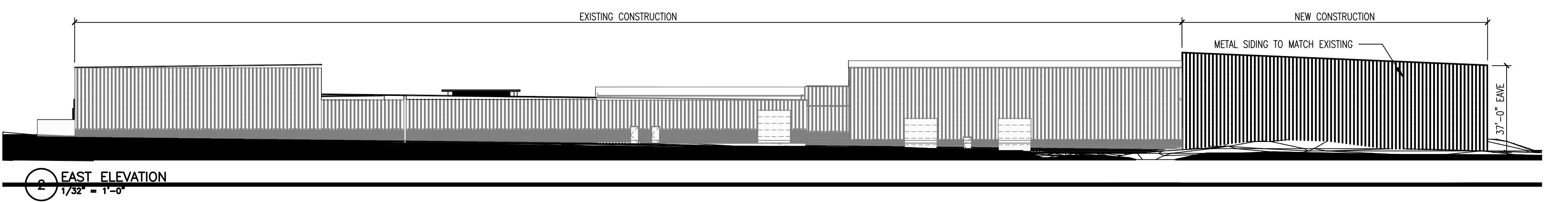
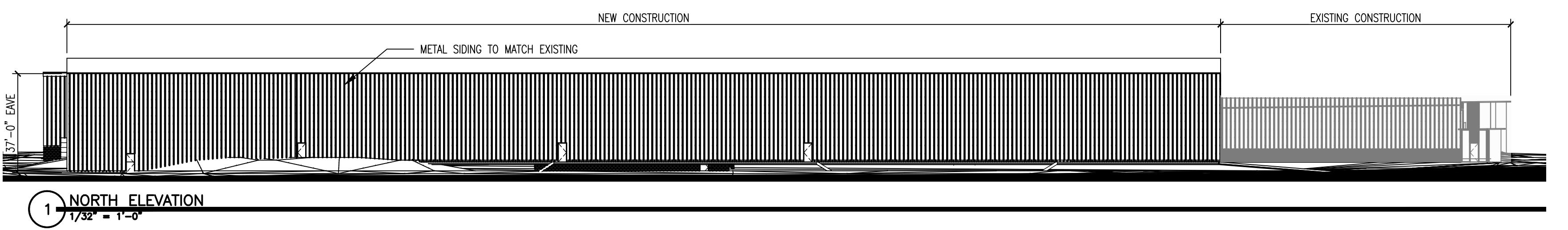
COMMERCIAL OUTDOOR



Simonson
Construction
Services, Inc.

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Phone: (419) 281-8299
Fax: (419) 281-6150

PROFESSIONAL SEAL:



TRU-FIT PRODUCTS
460 LAKE RD, MEDINA, OH
460 LAKE RD, MEDINA, OH

PROJECT INFO:
OWNER INFO:
OWNER INFO:

REVISIONS		
No.	DATE	DESCRIPTION
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PLANNING SUBMITTAL

SET DATE	REV. No.
07-19-23	0

DRAWING TITLE

EXTERIOR ELEVATIONS

SHEET NO.
A-201
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