

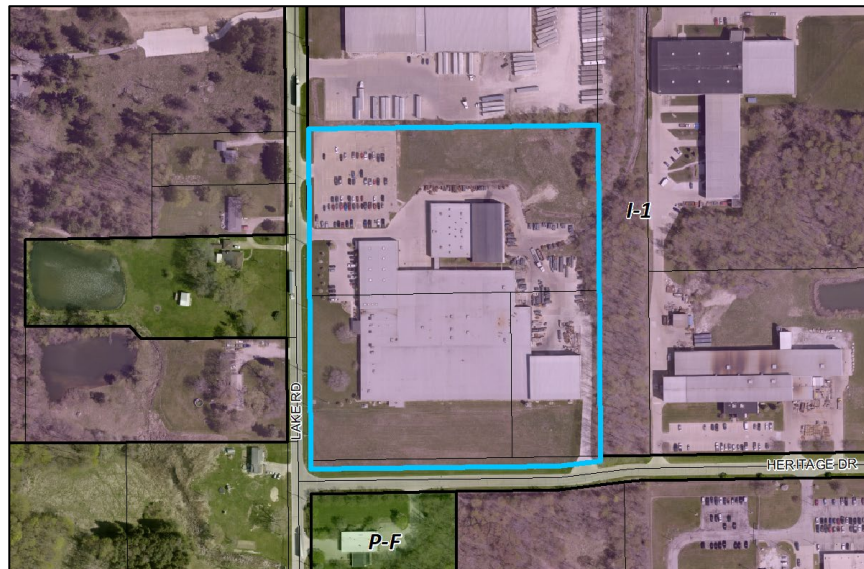
P23-15 Tru-Fit Addition

Property Owner: Reagan Land Company LLC
Applicant: Bob Workman
Location: 460 Lake Road
Zoning: I-1 (Industrial)
Request: Site Plan approval for a building addition and parking expansion

LOCATION AND SURROUNDING USES

The subject site is composed of 13.3 acres located on the northeast corner of Lake Road and Heritage Drive. Adjacent properties contain the following uses and zoning:

- **North** – Industrial (I-1)
- **East** – Industrial (I-1)
- **South** – Fire Station (P-F) and Vacant (I-1)
- **West** – Single-Family Residential (I-1 and Unincorporated)



BACKGROUND & PROPOSED APPLICATION

The existing Tru-Fit building is approximately 168,085 sq. ft. in area with parking located on the northwest side of the site and outdoor storage areas on the east side of the site. The site has two access points off Lake Road and one access point off Heritage Drive.

The applicant is proposing to construct a 69,882 sq. ft. addition on the north side of the building, bringing the total building size to 237,967 sq. ft. The project includes the reconfiguration of parking to accommodate loading areas on the west side of the addition and the expansion of parking along Lake Road.

DEVELOPMENT STANDARDS

The proposed building is located in the I-1 zoning district. The following table indicates general development standard requirements in the zoning district:

	Required	Proposed
Minimum Lot Frontage	100 ft.	810 ft.
Minimum Front Setback	25 ft.	220 ft.
Minimum Side Setback	25 ft.	59 ft.
Minimum Rear Setback	25 ft.	47 ft.
Maximum Building Height	50 ft.	37 ft.

The project meets the applicable development standards.

PARKING, ACCESS, AND CIRCULATION

Access and Circulation – The site has currently has two access points off Lake Road and one access point off of Heritage Drive. Proposed plans add one additional access point off Lake Road to service the expanded passenger vehicle parking area. The access drive meets minimum and maximum width requirements.

Required Off-Street Spaces – Though a portion of the existing building includes office areas, the vast majority of the existing and proposed buildings are fall under the classifications of “Light Manufacturing” and “Warehousing”. These two uses required “enough (parking) to satisfy all the parking needs of the proposed use”.

The current site includes 127 parking spaces. The proposed plan removes parking spaces in the northwest corner of the site and extends an existing parking area to the south along Lake Road. The proposed site includes a total of 147 parking spaces. Though the addition is significant, the proposed parking appears to be adequate.

Parking Dimensions – Ninety-degree parking spaces must be 9 ft. in width and 19 ft. in length with a 24 ft. wide drive aisle. The proposed site meets this standard.

Loading Zones – Seven loading zone spaces are incorporated on the west side of the addition, facing Lake Road, which are accessed by overhead doors. As noted, parking was removed in this are to accommodate the proposed loading zones

Sidewalk – A public sidewalk is not proposed and a does not exist on Lake Road or Heritage Drive in the area. The Planning Commission may waive the requirement to install a public sidewalk in the I-1 zoning district.

LANDSCAPING, SCREENING, AND BUFFERING

Parking Lot Landscaping – Landscape features or other visual barriers are required between parking and the right-of-way. Plans show landscaping between parking and the right-of-way.

Interior parking lot landscaping is provided at the required 5 sq. ft. per 100 sq. ft. of parking area.

Buffering and Screening – Landscape features or other visual barriers are required between the site and residentially zoned properties. Residences on the west side of Lake Road are zoned I-1 (Industrial) in the city and LM (Light Manufacturing) in Lafayette Township. Though not required, a mix of plantings has been proposed along Lake Road to provide a light buffer.

A buffer is required between loading zones and public streets. Plans incorporate landscaping between the loading zoned and Lake Road, providing a buffer.

ENGINEERING AND FIRE DEPARTMENT COMMENTS

The Engineering Department has indicated that the applicant and the City will be required to enter into a Storm Water Operations and Maintenance Agreement (SWOMA) in which the applicant will be required to prepare and submit a Storm Water Maintenance Plan to the City for review and approval.

At this time, the Fire Departments has not provided comments regarding the project.

UTILITIES AND STORMWATER

The site has access to public water and sanitary sewer service. A large stormwater detention basin is indicated on the south side of the site.

BUILDING ELEVATIONS AND LIGHTING

Architectural building elevations indicate a metal-sided addition, which will match the existing building. As noted, overhead doors are incorporated on the west building elevation, facing Lake Road.

Lighting must comply with Section 1145.09(c) including a photometric plan, full cut-off fixtures, and a maximum lighting height of 25 ft. A lighting plan has been submitted, including a compliant photometric plan, fixtures, and height.

SITE PLAN REVIEW STANDARDS

The Planning Commission's review and action shall be based on the following Standards per Section 1109.02(c):

- (1) The site plan shows that a proper relationship does exist between thoroughfares, service roads, driveways and parking areas to encourage pedestrian and vehicular traffic safety.
- (2) All the development features including the principal buildings, open spaces, service roads, driveways and parking areas are so located and related as to minimize the possibility of any adverse effects upon adjacent development.
- (3) The site plan includes adequate provision for the screening of parking areas, service areas and active recreation areas from surrounding properties by landscaping and/or ornamental walls or fences. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (4) Grading and surface drainage provisions are reviewed and approved by the City Engineer.
- (5) The design and construction standards of all private streets, driveways and parking areas are to be built following approval of plans by the City Engineer according to construction standards specified in the Codified Ordinances.
- (6) Maximum possible privacy for multi-family dwellings and surrounding residential properties shall be provided through good design and use of proper building materials and landscaping. Visual privacy should be provided through structural screening and landscaping treatment. Auditory privacy in multi-family dwellings should be provided through soundproofing. All trees planted shall be as found in specifications approved by the Shade Tree Commission.

- (7) The architectural design of buildings should be developed with consideration given to the relationship of adjacent development in terms of building height, mass, texture, materials, line and pattern and character.
- (8) Building location and placement should be developed with consideration given to minimizing removal of trees and change of topography. Any trees to be removed which are planted in a public right-of-way or on municipal property shall be reviewed by the Shade Tree Commission.
- (9) In multi-family developments, television and other antennas shall be centralized.
- (10) On-site circulation shall be designed to make possible adequate fire and police protection.
- (11) Off-street parking facilities shall be provided in accordance with Chapter 1145. In large parking areas, visual relief shall be provided through the use of tree planted and landscaped dividers, islands and walkways. In multi-family developments no parking or service areas shall be permitted between any street and the main building. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (12) Signs shall be provided in accordance with these Codified Ordinances.
- (13) Any trees planted on site shall be on approved list of Shade Tree Commission and planted in accordance with Commission standards.

COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION

Staff recommends **approval** of application P23-15 as submitted.

Andrew Dutton

From: Patrick Patton
Sent: Tuesday, August 1, 2023 3:43 PM
To: Andrew Dutton
Cc: Fred Himmelreich
Subject: FW: Site Plan Review
Attachments: P23-15 File 8-10-23.pdf; Engineering Checklist for Commercial Site Plan.pdf

Andrew-

My comments:

1. Please refer to the attached engineering checklist for site plan approval.
2. Due to the size of the disturbed area associated with this project, the applicant and the City will be required to enter into a Storm Water Operations and Maintenance Agreement (SWOMA). As part of this agreement, the applicant will be required to prepare and submit the Storm Water Maintenance Plan to the City for review and approval.

Thanks,

Patrick Patton, PE
City Engineer
City of Medina, Ohio

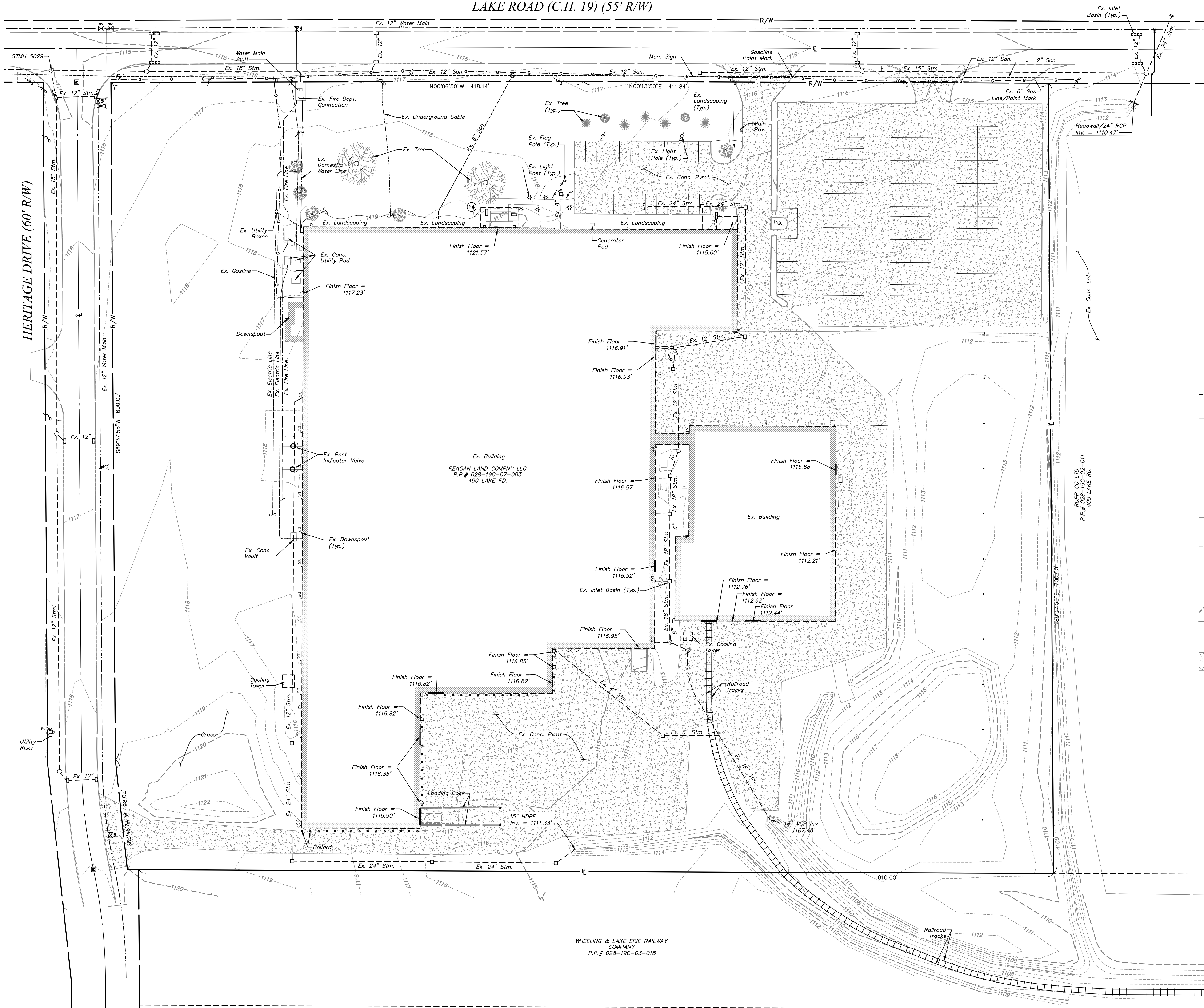
Phone: (330) 721-4721
Email: ppatton@medinaoh.org
Website: www.medinaoh.org

Medina City Hall / 132 N. Elmwood Avenue / Medina, Ohio 44256



From: Sarah Tome <stome@medinaoh.org>
Sent: Thursday, July 20, 2023 11:20 AM
To: Larry Walters <lwalters@medinaoh.org>; Medina Forestry <medinaforestry@medinaoh.org>; Patrick Patton <ppatton@medinaoh.org>; Edward Kinney <ekinney@medinaoh.org>; Sharon Garrison <sgarrison@medinaoh.org>; Nino Piccoli <npiccoli@medinaoh.org>; Jansen Wehrley <jwehrley@medinaoh.org>; Daniel Gladish <dgladish@medinaoh.org>; Kimberly Marshall <kmarshall@medinaoh.org>; Mark Crumley <mcrumley@medinaoh.org>
Cc: Andrew Dutton <adutton@medinaoh.org>
Subject: Site Plan Review

LAKE ROAD (C.H. 19) (55' R/W)



REVISIONS	DESCRIPTION	DATE

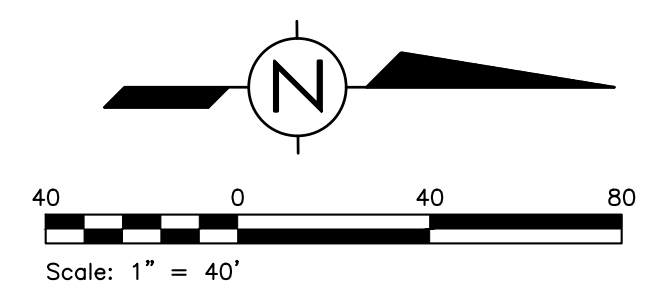
TRU-FIT BUILDING & PARKING EXPANSION
 LOCATED IN
 COUNTY OF MEDINA
CUNNINGHAM & ASSOCIATES, INC.
 CIVIL ENGINEERING and SURVEYING
 203 W. LIBERTY ST., MEDINA, OHIO 44256 330-725-5980

EXISTING CONDITIONS PLAN

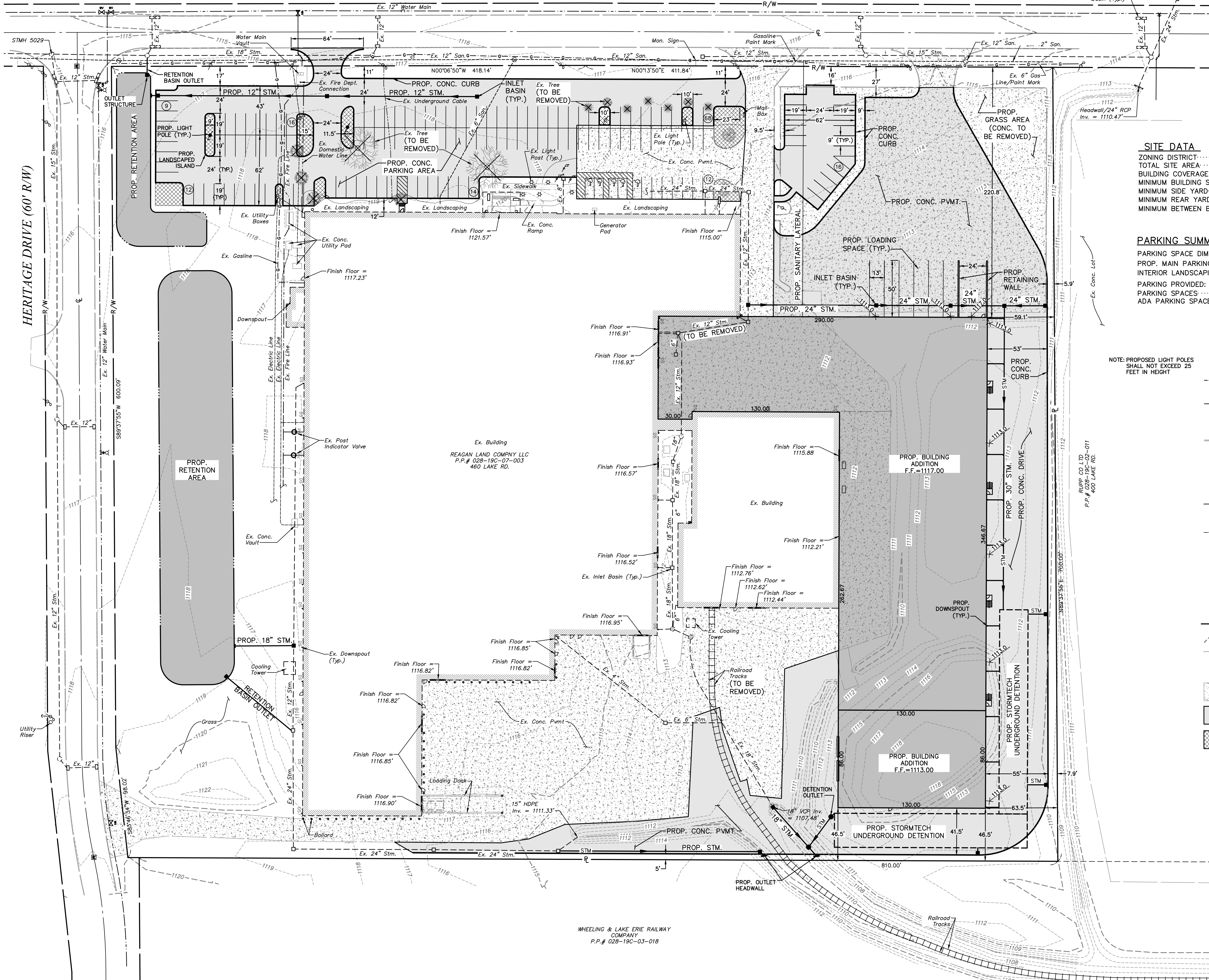
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 DATE: 07/18/2023
 CHECKED BY: _____
 DATE: _____
 PROJECT No. 22-301
 ACAD FILE No. 22-301 SP2
 SCALE: PLAN- 1"=40'

SHEET NO.
1
3

WHEELING & LAKE ERIE RAILWAY COMPANY
 P.P.# 028-19C-03-018



LAKE ROAD (C.H. 19) (55' R/W)



SITE DATA

ZONING DISTRICT	1-1 (INDUSTRIAL)
TOTAL SITE AREA	13.314 ACRES
BUILDING COVERAGE	237,967 S.F. (41%)
MINIMUM BUILDING SETBACK	25 FT.
MINIMUM SIDE YARD	25 FT.
MINIMUM REAR YARD	25 FT.
MINIMUM BETWEEN BUILDINGS	50 FT.

PARKING SUMMARY:

PARKING SPACE DIMENSIONS	9 FEET x 19 FEET
PROP. MAIN PARKING AREA	54,296 S.F.
INTERIOR LANDSCAPING	3,415 S.F. (6%)
PARKING PROVIDED:	
PARKING SPACES	142 SPACES
ADA PARKING SPACES	5 SPACES
TOTALS:	147 SPACES

NOTE: PROPOSED LIGHT POLES SHALL NOT EXCEED 25 FEET IN HEIGHT

LEGEND

	EX. SANITARY SEWER
	EX. SANITARY MANHOLE
	EX. STORM SEWER
	EX. STORM MANHOLE
	EX. STORM INLET MANHOLE
	EX. CURB INLET BASIN
	EX. 2-2-B INLET BASIN
	EX. WATER MAIN
	EX. HYDRANT ASSEMBLY
	EX. POST INDICATOR VALVE
	EX. GAS LINE
	EX. GAS LINE MARKER
	EX. ELECTRIC LINE
	EX. LIGHT POLE
	EX. POWER POLE
	EX. SIGN
	PROP. INLET BASIN
	PROP. MANHOLE
	PROP. STORM SEWER
	EX. CONTOUR
	EX. CREEK
	EXISTING TREE
	EXISTING CONCRETE PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED LANDSCAPING

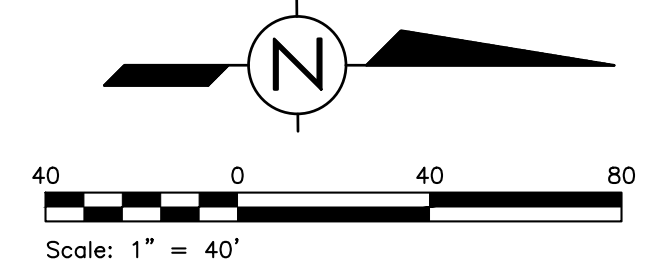
REVISIONS	DATE	DESCRIPTION	INT.	LAWS
	7/2/23			

TRU-FIT BUILDING & PARKING EXPANSION
 COUNTY OF MEDINA
CUNNINGHAM & ASSOCIATES, INC.
 CIVIL ENGINEERING and SURVEYING
 203 W. LIBERTY ST., MEDINA, OHIO 44256 330-725-5980

SITE PLAN

DRAWN BY: CAH
DATE: 07/18/2023
CHECKED BY:
DATE:
PROJECT No. 22-301
ACAD FILE No. 22-301 SP2
SCALE: PLAN- 1"=40'

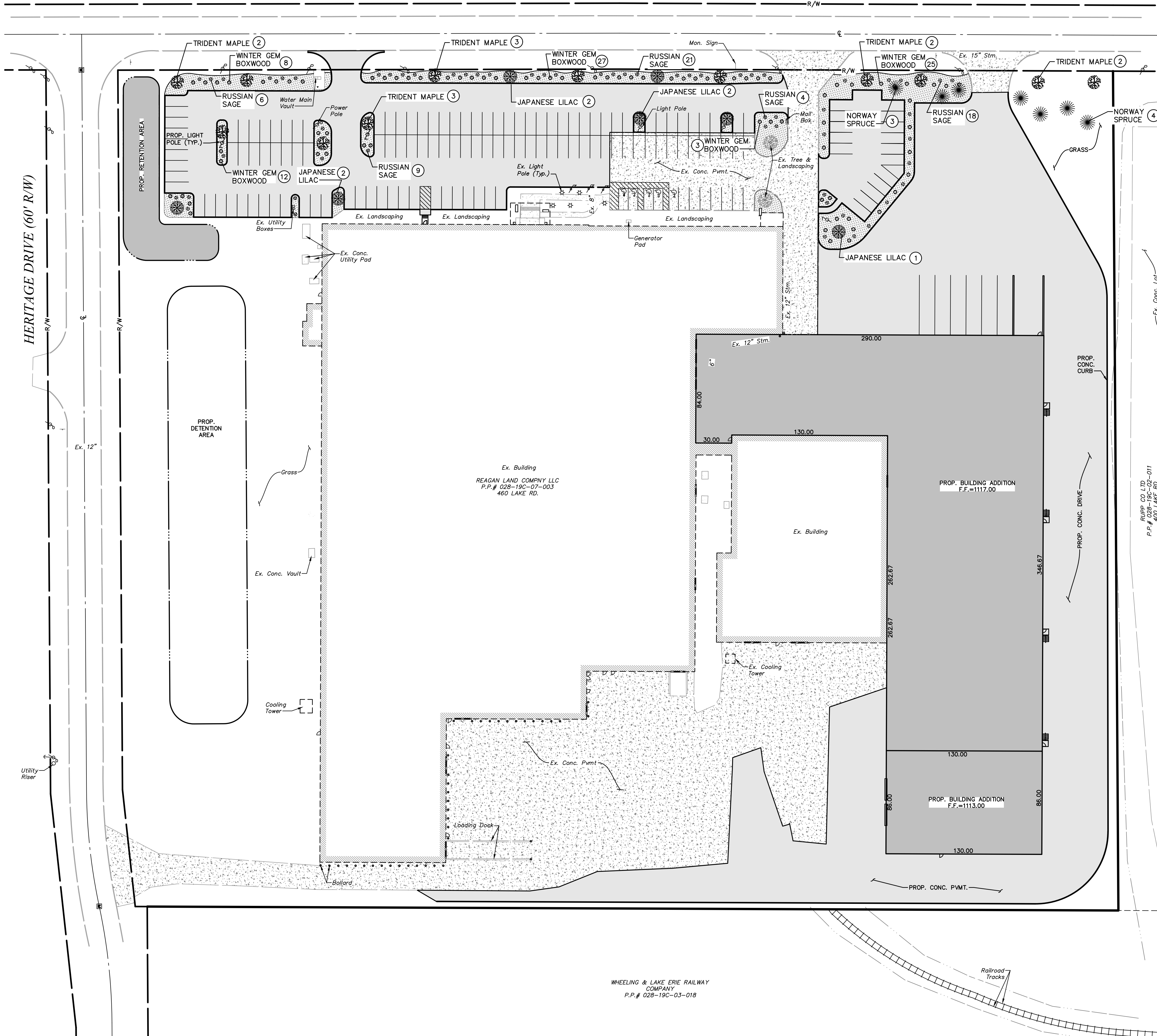
SHEET NO.
2 / 3



WHEELING & LAKE ERIE RAILWAY COMPANY
 P.P.# 028-19C-03-018

Ex. Building
 REAGAN LAND COMPANY LLC
 P.P.# 028-19C-07-003
 460 LAKE RD.

LAKE ROAD (C.H. 19) (55' R/W)



PLANT MATERIALS LIST			
QTY.	COMMON NAME	BOTANICAL NAME	SIZE
DECIDUOUS TREES			
12	TRIDENT MAPLE	Acer Buergerianum	2" Cal.
8	JAPANESE TREE LILAC	Syringa Reticulata	2" Cal.
EVERGREEN TREES			
7	NORWAY SPRUCE	Picea Abies	6' Hgt.
SHRUBS			
75	WINTER GEM BOXWOOD	Buxus Microphylla Japonica 'winter gem'	12" Hgt.
58	RUSSIAN SAGE	Perovskia Atriplicifolia	12" Hgt.

- GENERAL NOTES - PLANTING**
- EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
 - EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
 - CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
 - ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD BARK MULCH BED.
 - CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
 - FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
 - CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION, SEE PLAN.
 - ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
 - ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
 - LANDSCAPING MUST CONFORM TO THE CITY OF MEDINA PLANNING AND ZONING CODE CHAPTER 1149.
 - BACKFILL WITH TOPSOIL AS REQUIRED TO BRING FINISHED GRADE FLUSH WITH GRADE ADJACENT, INSURING POSITIVE DRAINAGE OVER ALL SURFACE.
 - LAWN AREA, FILL WITH TOPSOIL, MINIMUM DEPTH SHALL BE 6". MEET ADJACENT SURFACES FLUSH. MOUND TO PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
 - LANDSCAPE AREA, FILL WITH TOPSOIL, MINIMUM DEPTH SHALL BE 24". MEET ADJACENT SURFACES FLUSH. MOUND TO PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.

LEGEND

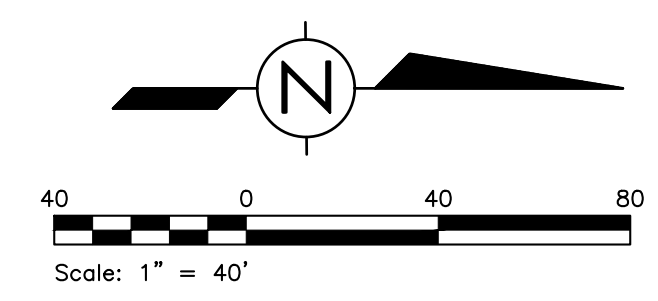
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	EX. POWER POLE
	EX. SIGN
	TRIDENT MAPLE
	JAPANESE TREE LILAC
	NORWAY SPRUCE
	WINTER GEM BOXWOOD
	RUSSIAN SAGE
	EXISTING CONCRETE PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED GROUND COVER

TRU-FIT BUILDING & PARKING EXPANSION
 COUNTY OF MEDINA
CUNNINGHAM & ASSOCIATES, INC.
 CIVIL ENGINEERING and SURVEYING
 203 W. LIBERTY ST., MEDINA, OHIO 44256 330-725-5980

SITE PLAN

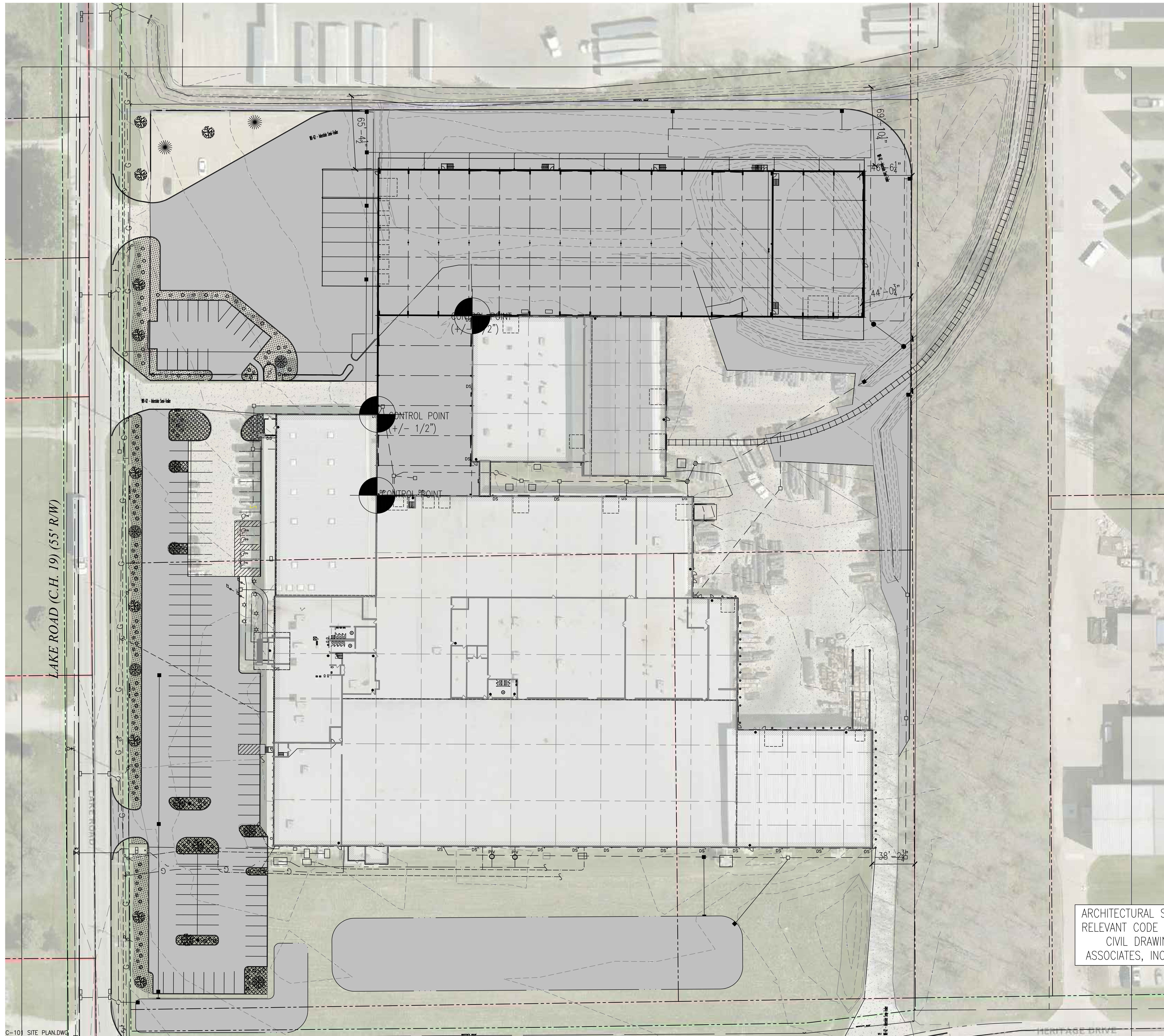
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 PROJECT No. 22-301
 ACAD FILE No. 22-301 LS
 SCALE: PLAN- 1"=40'

SHEET NO.
 3 / 3

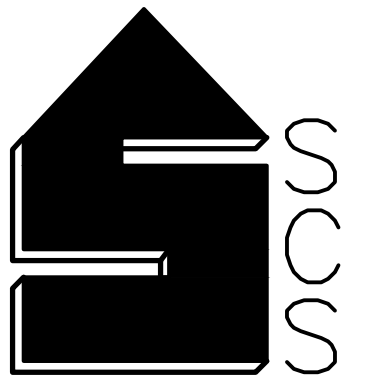


WHEELING & LAKE ERIE RAILWAY COMPANY
 P.P.# 028-19C-03-018

R/W OF CO. RD. 400 LAKE RD.
 P.P.# 028-19C-03-018



ARCHITECTURAL SITE PLAN FOR REFERENCE AND RELEVANT CODE REVIEW ONLY. SEE ENGINEERED CIVIL DRAWINGS FROM CUNNINGHAM & ASSOCIATES, INC FOR ADDITIONAL INFORMATION



Simonson Construction Services, Inc.
 2112 Troy Rd, Ashland, OH 44805
 Phone: (419) 281-8299
 Fax: (419) 281-6150

PROFESSIONAL SEAL:

JOB NUMBER:
23-00-0000

DRAWN BY:
A.DEARTH

CHECKED BY:
R.PASA

TFP ADDITION
 460 LAKE RD, MEDINA, OH

TRU-FIT PRODUCTS
 460 LAKE RD, MEDINA, OH

PROJECT INFO:

OWNER INFO:

REVISIONS

No.	DATE	DESCRIPTION
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SET NAME

PLANNING SUBMITTAL

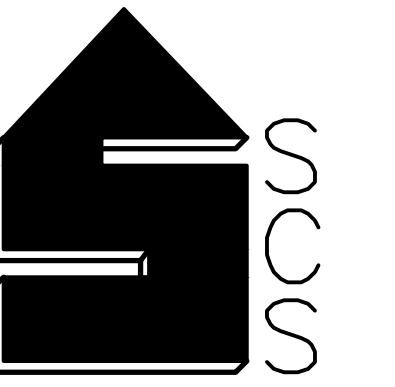
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DRAWING TITLE

SITE PLAN

SHEET NO. **C-101**

SHEET: -- OF: --



Simonson
Construction
Services, Inc.

2112 Troy Rd. Ashland, OH 44805
Phone: (419) 281-8299
Fax: (419) 281-6150

PROFESSIONAL SEAL:

JOB NUMBER:
23-00-0000

DRAWN BY:
A.DEARTH

CHECKED BY:
R.PASA

TFP ADDITION

460 LAKE RD, MEDINA, OH

TRU-FIT PRODUCTS

460 LAKE RD, MEDINA, OH

PROJECT INFO:

OWNER INFO:

REVISIONS

No.	DATE	DESCRIPTION
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SET NAME

PLANNING SUBMITTAL

SET DATE: 07-19-23
REV. No.: 0

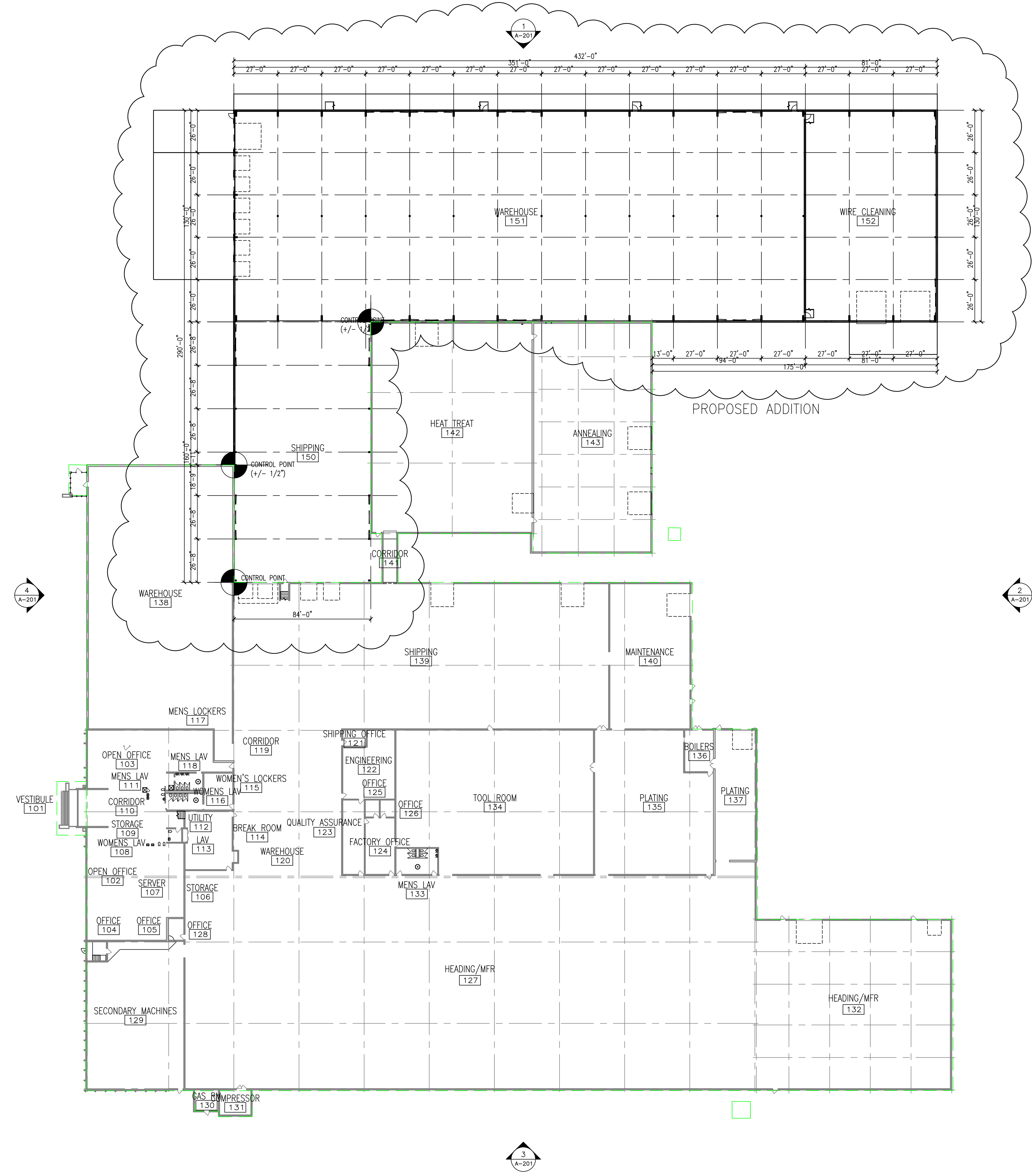
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OVERALL FLOOR PLAN

SHEET NO.

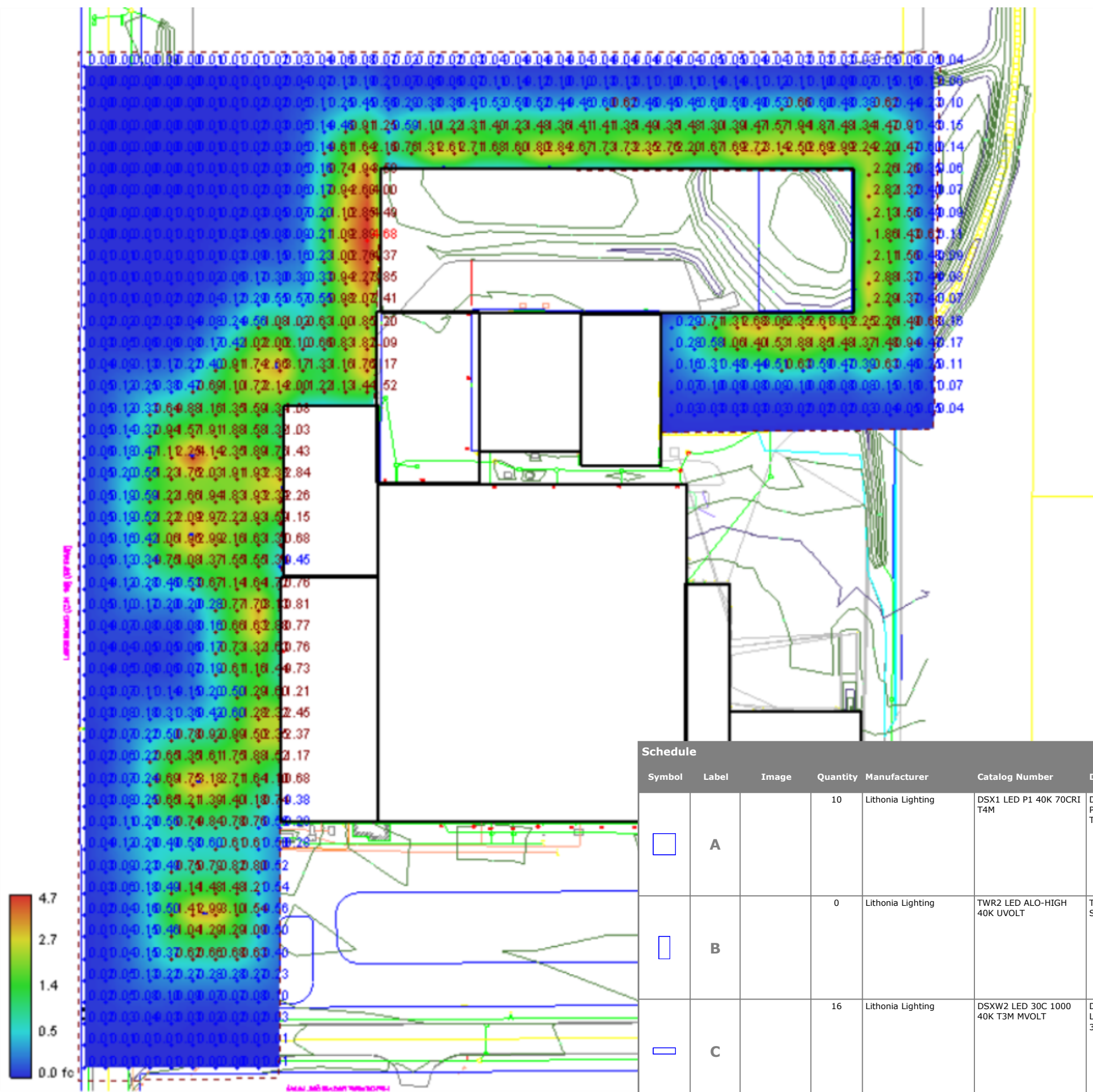
A-101

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...TFP 2023 BLDG ADDITION AND SITE WORK
MEDINA, OHIO



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.70 fc	4.68 fc	0.00 fc	N/A	N/A

Schedule											
Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
	A		10	Lithonia Lighting	DSX1 LED P1 40K 70CRI T4M	D-Series Size 1 Area Luminaire P1 Performance Package 4000K CCT 70 CRI Type 4 Medium	1	7707	1	50.9	 Max: 6166cd
	B		0	Lithonia Lighting	TWR2 LED ALO-HIGH 40K UVOLT	TWR2 LED, High Lumen Setting, 4000K Setting, 120-347V	1	16270	1	111	 Max: 7207cd
	C		16	Lithonia Lighting	DSXW2 LED 30C 1000 40K T3M MVOLT	DSXW2 LED WITH 3 LIGHT ENGINES, 30 LED's, 1000mA DRIVER, 4000K LED, TYPE 3 MEDIUM OPTIC	1	11279	1	109	 Max: 7380cd

Designer
Simonson Construction, Inc.
Date
07/19/2023
Scale
Not to Scale
Drawing No.
Summary

Current View



d^{series}

D-Series Size 1

Legacy LED Area Luminaire

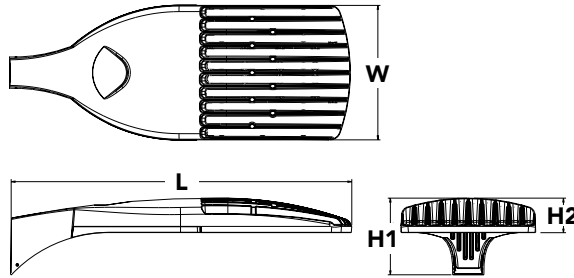


Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

EPA:	1.01 ft ² (0.09 m ²)
Length:	33" (83.8 cm)
Width:	13" (33.0 cm)
Height H1:	7-1/2" (19.0 cm)
Height H2:	3-1/2"
Weight (max):	27 lbs (12.2 kg)



Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD G1

Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX1 LED	Forward optics P1 P4 ¹ P7 ¹ P2 P5 ¹ P8 P3 P6 ¹ P9 ¹ Rotated optics P10 ² P12 ² P11 ² P13 ^{1,2}	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I short (Automotive) T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium T5VS Type V very short ³ T5S Type V short ³ TSM Type V medium ³ TSW Type V wide ³ BLC Backlight control ⁴ LCCO Left corner cutoff ⁴ RCCO Right corner cutoff ⁴	MVOLT ⁵ XVOLT (277V-480V) ^{6,7,8} 120 ⁹ 208 ⁹ 240 ⁹ 277 ⁹ 347 ⁹ 480 ⁹	Shipped included SPA Square pole mounting RPA Round pole mounting ¹⁰ WBA Wall bracket ³ SPUMBA Square pole universal mounting adaptor ¹¹ RPUMBA Round pole universal mounting adaptor ⁹ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ¹²

Control options	Other options	Finish (required)	Generation (required)
Shipped installed NLTAIR2 nLight AIR generation 2 enabled ¹³ PIRHN Network, high/low motion/ambient sensor ¹⁴ PER NEMA twist-lock receptacle only (controls ordered separately) ¹⁵ PER5 Five-pin receptacle only (controls ordered separate) ^{15,16} PER7 Seven-pin receptacle only (controls ordered separate) ^{15,16} DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹⁷ DS Dual switching ^{18,19,20}	Shipped installed HS House-side shield ²³ SF Single fuse (120, 277, 347V) ⁹ DF Double fuse (208, 240, 480V) ⁹ L90 Left rotated optics ² R90 Right rotated optics ² HA 50°C ambient operations ¹ BAA Buy America(n) Act Compliant Shipped separately BS Bird spikes ²⁴ EGS External glare shield	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white	G1 Generation 1





D-Series Size 2 LED Wall Luminaire



d⁺series

Specifications Luminaire

Width: 18-1/2" (47.0 cm) **Weight:** 21 lbs (9.5 kg)

Depth: 10" (25.4 cm)

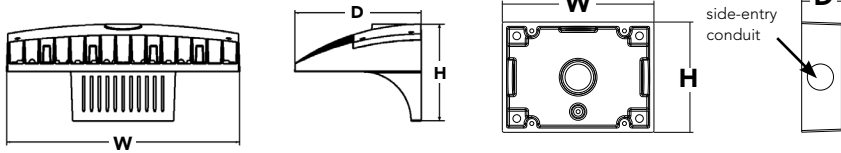
Height: 7-5/8" (19.4 cm)

Back Box (BBW)

Width: 5-1/2" (14.0 cm) **BBW Weight:** 1 lbs (0.5 kg)

Depth: 1-1/2" (3.8 cm)

Height: 4" (10.2 cm)



Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background¹

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

A+ Capable options indicated by this color background.

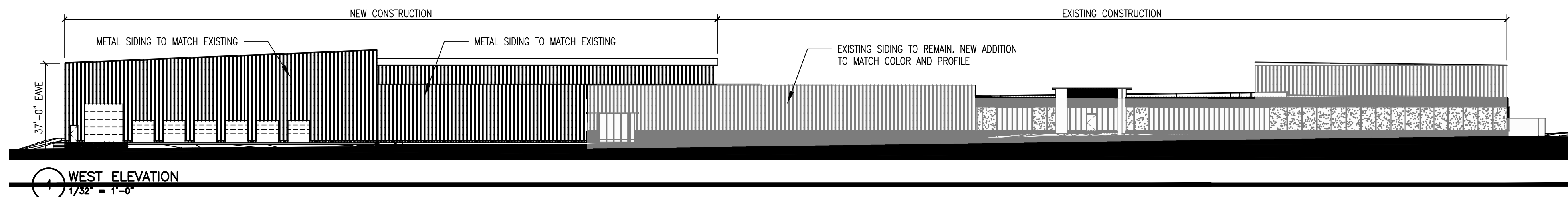
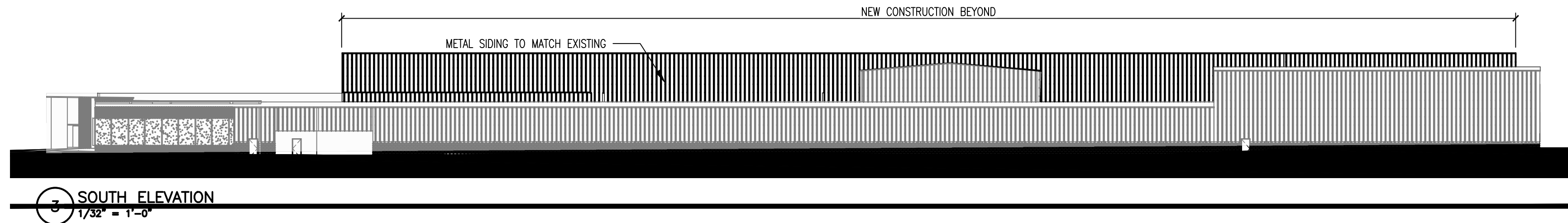
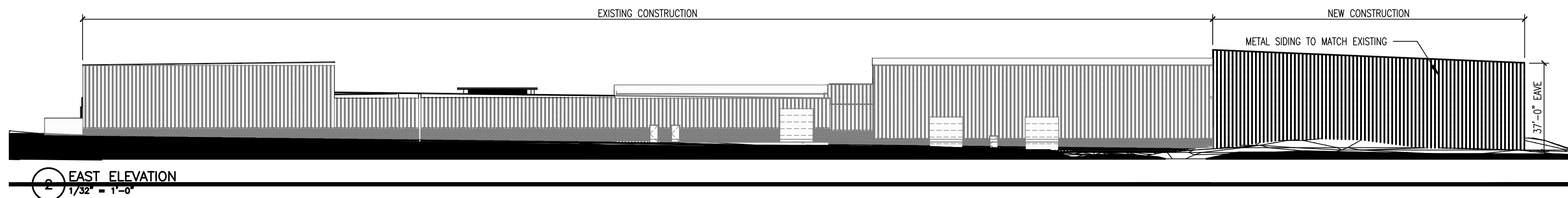
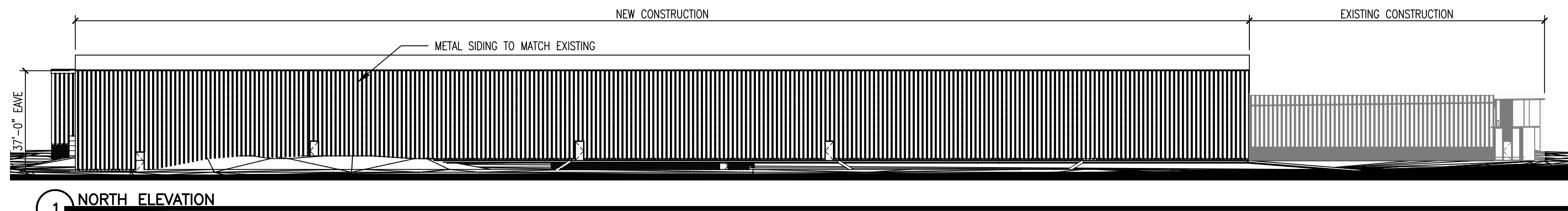
Ordering Information

EXAMPLE: DSXW2 LED 30C 700 40K T3M MVOLT DDBTXD

DSXW2 LED										
Series	LEDs	Drive Current		Color temperature		Distribution	Voltage	Mounting	Control Options	
DSXW2 LED	20C	20 LEDs (two engines)	350	350 mA	30K	3000 K	T2S	MVOLT ³	Shipped included (blank) Surface mounting bracket	Shipped installed PE Photoelectric cell, button type ⁷
	30C	30 LEDs (three engines)	530	530 mA	40K	4000 K	T2M			
			700	700 mA	50K	5000 K	T3S	208 ⁴		PER5 Five-wire receptacle only (control ordered separately) ^{8,9}
		1000	1000 mA ¹ (1 A)	AMBPC	Amber phosphor converted ²	T3M	240 ⁴		PER7 Seven-wire receptacle only (control ordered separately) ^{8,9}	
						T4M	277 ⁴			DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)
						TFTM	347 ^{4,5}		PIR 180° motion/ambient light sensor, <15' mtg ht ^{10,11}	
							480 ^{4,5}			PIRH 180° motion/ambient light sensor, 15-30' mtg ht ^{10,11}
									PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{11,12}	
										PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{11,12}

Other Options	Finish (required)
Shipped installed	
SF Single fuse (120, 277, 347V) ³	DDBXD Dark bronze
DF Double fuse (208, 240, 480V) ³	DBLXD Black
HS House-side shield ⁴	DNAXD Natural aluminum
SPD Separate surge protection ¹³	DWHXD White
	DSSXD Sandstone
	DDBTXD Textured dark bronze
	DBLBXD Textured black
	DNATXD Textured natural aluminum
	DWHGXD Textured white
	DSSTXD Textured sandstone





Simonson
Construction
Services, Inc.

2112 Troy Rd, Ashland, OH 44805
Phone: (419) 281-8299
Fax: (419) 281-6150

PROFESSIONAL SEAL:

JOB NUMBER:
23-00-0000

DRAWN BY:
A.DEARTH

CHECKED BY:
R.PASA

TFP ADDITION
460 LAKE RD, MEDINA, OH

TRU-FIT PRODUCTS
460 LAKE RD, MEDINA, OH

PROJECT INFO:

OWNER INFO:

REVISIONS

No.	DATE	DESCRIPTION
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SET NAME

PLANNING SUBMITTAL

SET DATE	REV. No.
07-19-23	0

DRAWING TITLE
EXTERIOR ELEVATIONS

SHEET NO.

A-201

SHEET: -- OF: --