



# BOARDS & COMMISSIONS APPLICATION

132 North Elmwood Avenue  
330-722-9038  
www.medinaoh.org

Application Number \_\_\_\_\_

GENERAL

Date of Application 8/22/23  
Property Location 502 East Washington St. Medina  
Description of Project see attached

CONTACT INFORMATION

**Applicant**  
Name James Zweifel  
Address 502 East Washington St. City Medina State Oh Zip 44256  
Phone 330-725-8248 Email D.Zweifel4@gmail.com  
(cell) 330-421-6082  
**Property Owner**  
Name SAME  
Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Email \_\_\_\_\_

APPLICATION TYPE

**Planning Commission** Site Plan  Conditional Zoning Certificate  Code or Map Amendment   
Preliminary Plan  Final Plat  Conditional Sign (EMC/Shopping Ctr)  Cert. of Appr. (TCOV)  Other   
**Historic Preservation Board** Certificate of Appropriateness  Conditional Sign   
**Board of Zoning Appeals** Variance  Appeal

APPLICANT SIGNATURE

By signing this application, I hereby certify that:  
1) The information contained in this application is true and accurate to the best of my knowledge;  
2) I am authorized to make this application as the property owner of record or I have been authorized to make this application by the property owner of record;  
3) I assume sole responsibility for correspondence regarding this application; and  
4) I am aware that all application requirements must be submitted prior to the formal acceptance of my application.  
Signature James I. Zweifel Date 8-22-23

OFFICIAL USE

Zoning District R-2 Fee (See Fee Sheet) \$ 25  
Meeting Date 9/14/23 Check Box when Fee Paid

add 4' to existing deck (to make 14' x 14')

Cover with Roof

Replace windows and door with  
energy - efficient

Cover Shed Roof to match original  
design of house. Add shake shingles  
and siding to new roof line.

add dormer with window

**P23-17**  
**Washington Street Rear Building Alterations**

Property Owner: James and Denise Zweifel  
 Applicant: James Zweifel  
 Location: 502 East Washington Street  
 Zoning: R-2 (Medium Density Urban Residential)  
 Request: Transitional Corridor Overlay (TC-OV) approval for rear building alterations

**LOCATION AND SURROUNDING USES**

The subject site is composed of 0.29 acres located on the southeast corner of East Washington Street and South Harmony Street. Adjacent properties contain the following uses and zoning:

- **North** – Single-Family Residential (R-2)
- **East** – Single-Family Residential (R-2)
- **South** – Single-Family Residential (R-2)
- **West** – Single-Family Residential (R-3)



**BACKGROUND & PROPOSED APPLICATION**

The home currently has a one-story rear addition with a small porch. The low-sloped roof is consistent on the entire existing addition. The applicant is proposing:

- A 4 ft. extension of the porch.
- A gabled roof with asphalt shingles over the porch and the west side of the existing addition. The southern end of the gable will incorporate shake single siding.
- A dormer with a new window also incorporating shake shingle siding.
- An asphalt shingle roof with a steeper pitch over the north side of the existing addition.

### **TC-OV OVERLAY DEVELOPMENT GUIDELINES**

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The criteria contained in the Overlay District Development Guidelines shall be used by the Planning Commission to guide their decision. Applicable sections are as follows:

#### **TCOV.7 Exterior Renovation or Alterations of Existing Structures.**

- (a) The distinguishing original qualities of a building or structure should not be destroyed. The removal or alteration of historic materials or distinctive architectural features should be avoided when possible.
- (b) Architectural elements shall be sensitively designed to reflect detailing associated with the particular style of building.
- (c) The design elements and scale of a building addition shall be compatible with the design elements of the principal structure, in particular, building materials and color, roof lines and shapes and window proportions and alignment.

#### **TCOV.8 Building Materials and Appurtenances.**

- (a) The architectural character and exterior building materials of new and remodeled buildings should be harmonious with surrounding buildings in color and texture, proportion, scale, patterns and opening sizes and shapes.
- (b) Construction materials and colors for walls and fences that are visible from the street should be uniform and compatible with the architectural style, color and building material of the building and its surroundings.
- (c) The original pattern of window and door openings and their shape and configuration should not be altered. Window and door openings should not be reduced, enlarged, or filled-in on street facade. Replacement windows and doors should match the original in size, shape and design.
- (d) Original materials should be repaired, restored, and reused whenever possible. Where necessary missing or deteriorated materials should be replaced with appropriate recycled or new materials which match the original as closely as possible.

The home currently has a front dormer window and shake shingle siding on the second story. The front of the home, facing East Washington Street, is not being altered in any way.

### **COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION**

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Staff recommends **approval** of application P23-17, as submitted.

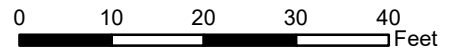
# Map

RECEIVED  
AUG 21 2023  
BY: 23-929





S-HARMONY-ST





S HARMONY ST

Dormer

Pitched  
Roof

Change  
Roof Line

4' Addition



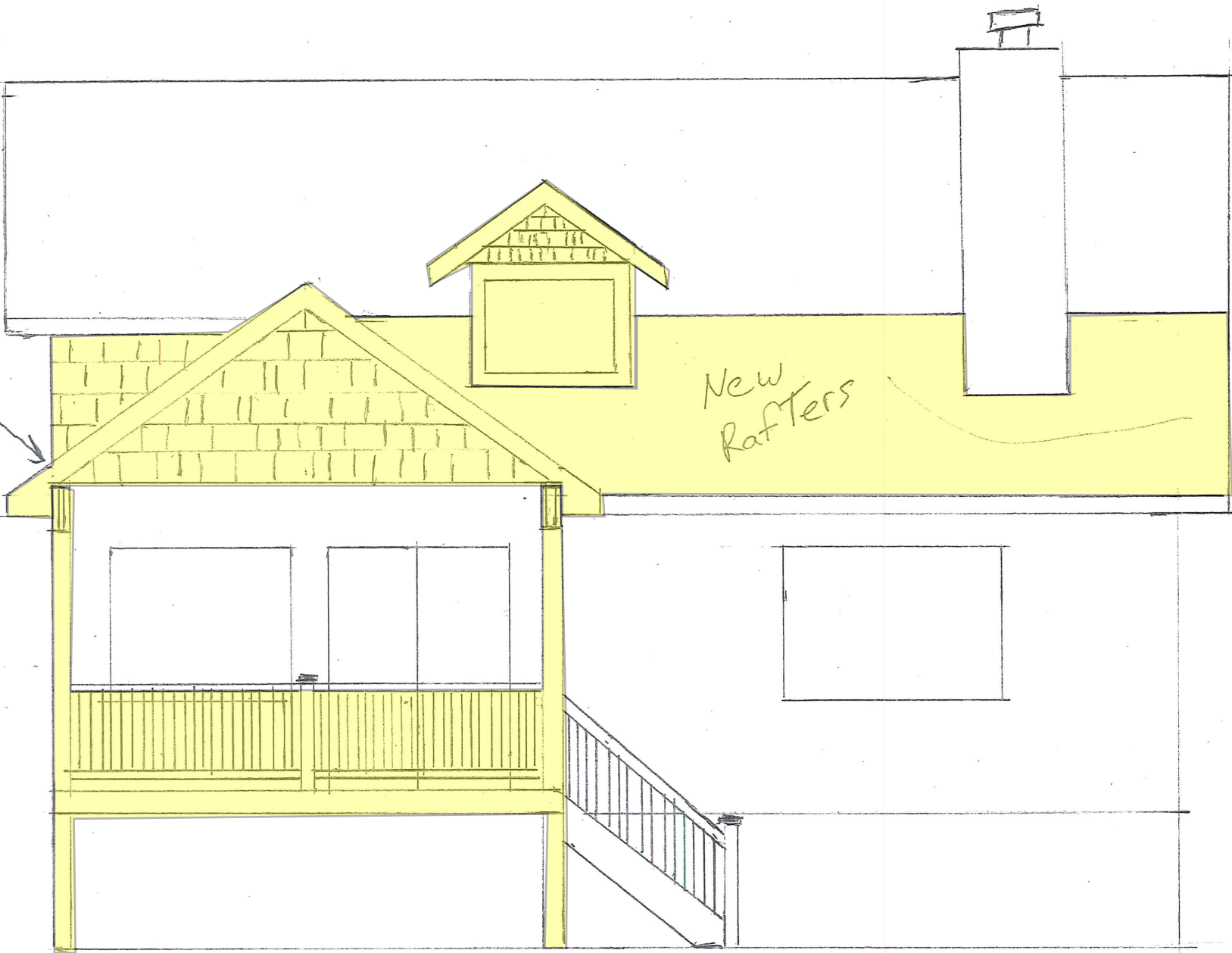
0 10 20 30 40 Feet

© 2021 Google





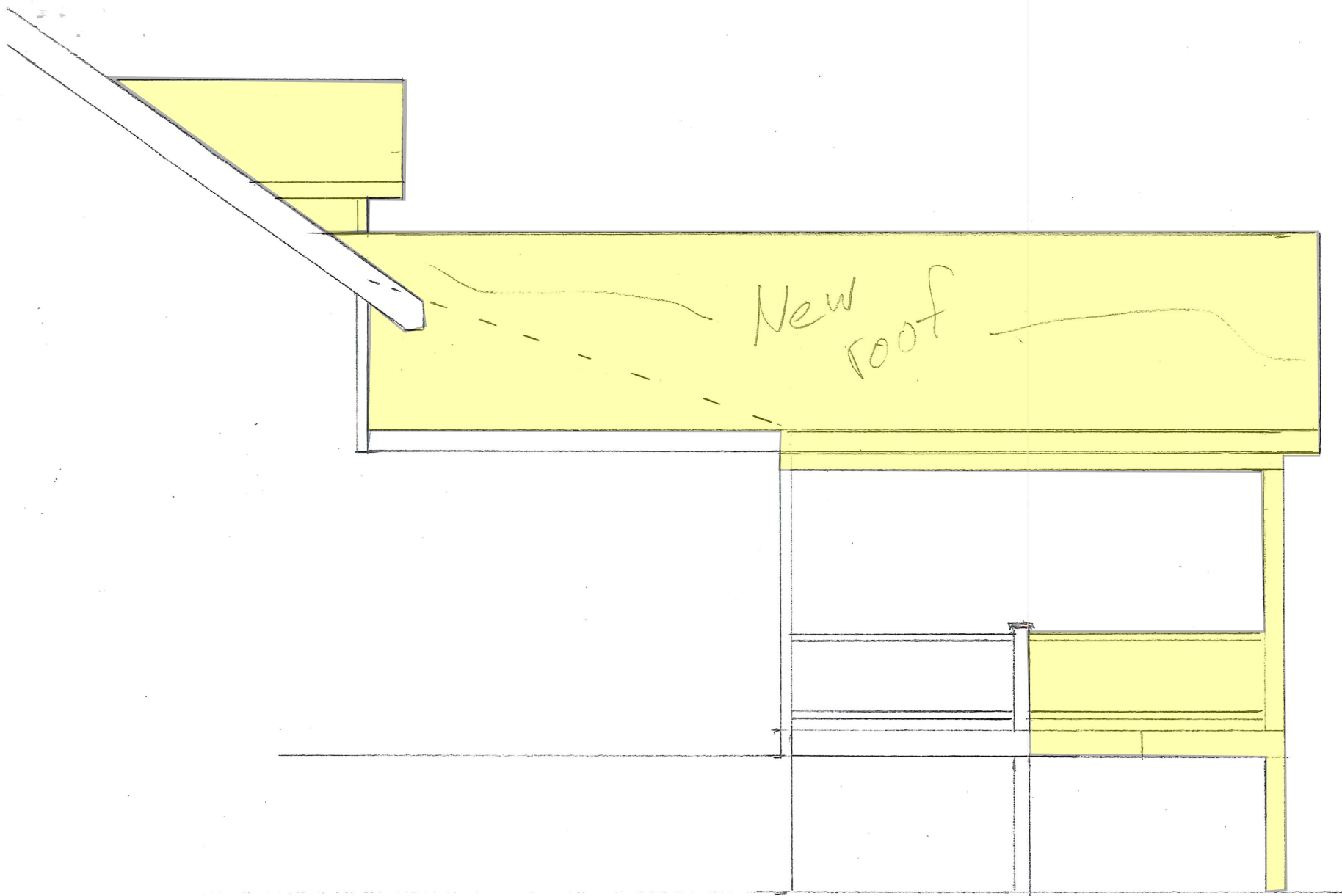
New  
Roof



New  
Rafters

Joe Buehner 330-730-3130

South Elevation  
Zweifel Res.  
1/4" = 1' 8-19-23  
1.011



West Elevation  
Zweifel Res.  
1/4" = 1' 8-19-23

30 yr. shingle on  
30lb. felt on  
1/2" OSB sheathing on  
2x6 rafter 16" o.c.

New Covered Porch

Ice + water shield  
on ENTIRE roof

2x8 rafter

Rais roof To  
Top of House wall

old roof line

2-14"x14' LVL Notched  
in 6x6 post + Bolted

2x10 Joist  
5/4 Decking

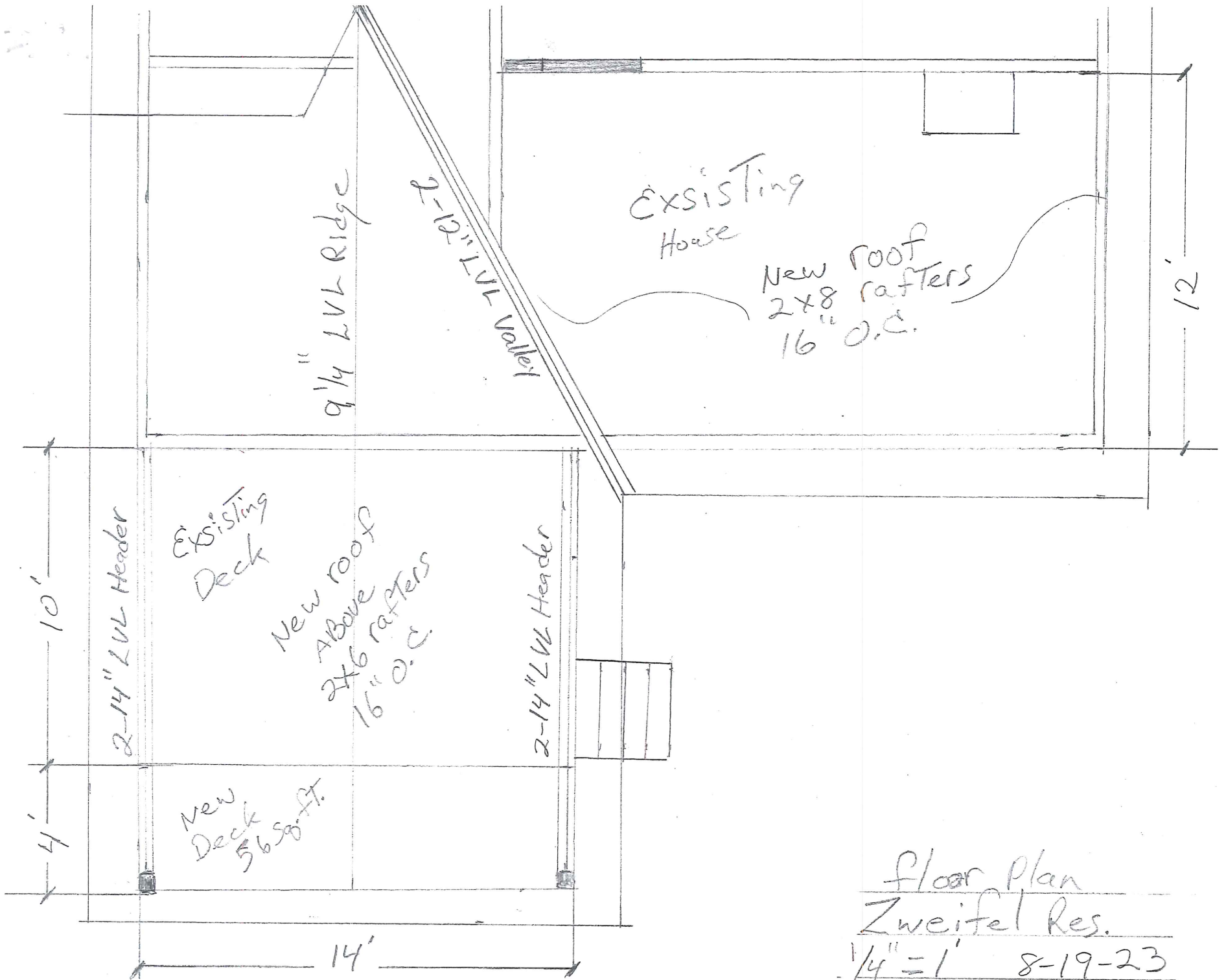
6x6  
Treated  
Post

Existing Deck

36" min.  
Below  
Grade

12"  
x 8"  
Footer

East Elevation  
Zweifel Res.  
1/4" = 1' 8-19-23



floor Plan  
 Zweifel Res.  
 1/4" = 1' 8-19-23  
 4 of 4