



BOARDS & COMMISSIONS APPLICATION

132 North Elmwood Avenue
330-722-9038
www.medinaoh.org

Application Number P24-04

GENERAL	Date of Application <u>12/27/23</u> Property Location <u>433 E LIBERTY ST</u> Description of Project <u>NEW GARAGE</u>
CONTACT INFORMATION	Applicant Name <u>GREG ALBER & JUDY BECKENBACH</u> Address <u>433 E. LIBERTY ST</u> City <u>MEDINA</u> State <u>OH</u> Zip <u>44252</u> Phone <u>216 470 0048</u> Email <u>greg.e.alber@rice.net</u> Property Owner Name <u>SAME</u> Address _____ City _____ State _____ Zip _____ Phone _____ Email _____
APPLICATION TYPE	Planning Commission Site Plan <input type="checkbox"/> Conditional Zoning Certificate <input type="checkbox"/> Code or Map Amendment <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Conditional Sign (EMC/Shopping Ctr) <input type="checkbox"/> Cert. of Appr. (TCOV) <input checked="" type="checkbox"/> Other <input type="checkbox"/> Historic Preservation Board Certificate of Appropriateness <input type="checkbox"/> Conditional Sign <input type="checkbox"/> Board of Zoning Appeals Variance <input checked="" type="checkbox"/> Appeal <input type="checkbox"/>
APPLICANT SIGNATURE	By signing this application, I hereby certify that: 1) The information contained in this application is true and accurate to the best of my knowledge; 2) I am authorized to make this application as the property owner of record or I have been authorized to make this application by the property owner of record; 3) I assume sole responsibility for correspondence regarding this application; and 4) I am aware that all application requirements must be submitted prior to the formal acceptance of my application. Signature <u>[Signature]</u> Date <u>12/27/23</u>
OFFICIAL USE	Zoning District <u>R-3</u> Fee (See Fee Sheet) \$ <u>225</u> Meeting Date <u>2/9/24</u> Check Box when Fee Paid <input type="checkbox"/>

P24-04
East Liberty Street Detached Garage

Property Owner: Greg Alber and Judith Beckenbach
Applicant: Greg Alber
Location: 433 East Liberty Street
Zoning: R-3 (High Density Urban Residential)
Request: Certificate of Appropriateness approval for a rear garage in the TC-OV District

LOCATION AND SURROUNDING USES

The subject site is composed of 0.24 acres located on the north side of East Liberty Street. Adjacent properties are zoned R-3 and contain single-family residences.



BACKGROUND & PROPOSED APPLICATION

In 2022, the applicant received approval for a side addition and exterior alterations on the home. The applicant is currently proposing:

- The construction of a 1,524 sq. ft. three-car garage with a side entry porch and rear storage area
- The demolition of 484 sq. ft. one car garage
- The extension of an existing concrete drive area

DEVELOPMENT STANDARDS

Detached Accessory Building Standards

Section 1113.05 includes several standards for detached accessory buildings. Subsection (l)(2)(A)(7) states that the maximum size is 720 sq. ft. or 10% of the rear yard area, not exceeding 1,032 sq. ft. The proposed rear yard is large, therefore, the maximum size is 1,032 sq. ft. The proposed garage is 1,524 sq. ft. in area.

The applicant has submitted a variance to Section 1113.05(l)(2)(A)(7) regarding detached accessory building size, which will be reviewed by the Board of Zoning Appeals.

Lot Development Standards

The site is located in the R-3 zoning district. The following table indicates general development standard requirements found in Section 1125.05:

	Required	Proposed
Minimum Front Setback	Rear of Principal Building	Rear of Principal Building
Minimum Side Setback	5 ft.	5 ft./14 ft.
Minimum Rear Setback	5 ft.	50 ft.
Maximum Building Height*	15 ft.	15 ft.
Maximum Lot Coverage	60%	65%
*Height is Defined as the average height between the eave and the peak of the roof		

The proposed existing home, garage, and concrete drives exceed the maximum lot coverage by 5%, or approximately 510 sq. ft. The applicant has submitted a variance to Section 1125.05 regarding lot coverage, which will be reviewed by the Board of Zoning Appeals.

TC-OV OVERLAY DEVELOPMENT GUIDELINES

The criteria contained in the Overlay District Development Guidelines shall be used by the Planning Commission to guide their decision. Applicable sections are as follows:

TCOV.6 Location, Orientation, Size, and Shape of Buildings.

- (b) New and remodeled buildings should be compatible with their surroundings. Architectural style, bulk, shape, massing, scale, and form of new and remodeled buildings and the shape between and around buildings should be consistent with the character of the area and be in harmony with neighboring buildings.

TCOV.8 Building Materials and Appurtenances.

- (a) The architectural character and exterior building materials of new and remodeled buildings should be harmonious with surrounding buildings in color and texture, proportion, scale, patterns and opening sizes and shapes.
- (b) Construction materials and colors for walls and fences that are visible from the street should be uniform and compatible with the architectural style, color and building material of the building and its surroundings.
- (c) The original pattern of window and door openings and their shape and configuration should not be altered. Window and door openings should not be reduced, enlarged, or filled-in on street facade. Replacement windows and doors should match the original in size, shape and design.

- (d) Original materials should be repaired, restored, and reused whenever possible. Where necessary missing or deteriorated materials should be replaced with appropriate recycled or new materials which match the original as closely as possible.

The existing home has a pitched roof, partial board and batten siding, and a third story dormer window. The proposed garage will complement the existing structure and incorporates board and batten siding, a pitched roof with an upper floor window, craftsman style garage doors with windows, and an optional cupola.

COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION

Staff recommends **approval** of application P24-04, as submitted, with the condition that the project shall comply with Section 1125.05 regarding maximum lot coverage and Section 1113.05(I)(2)(A)(7) regarding detached accessory building size or a variance shall be approved by the Board of Zoning Appeals.



ANTHONY P. CAPRETTA

MEDINA COUNTY AUDITOR

[Tax Bill](#) [Aerial Imagery](#) [Parcel Viewer](#) [Transfers](#) [Tax Distribution](#) [Tax Map](#)

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Parcel Information

Parcel Number	028-19B-21-099
Owner Name	CANTRELL ROBERT A
Location	425 E LIBERTY ST 028 - Medina City (Medina City SD)
Property Class	530 Property Class Codes
Acreage	0.384300
Legal Description	LOT 223 W PT LOT 216 E PT .000A
Tax Mailing Address	CANTRELL ROBERT 425 E LIBERTY ST MEDINA, OH 44256 USA

Value

Land Value	93,450
CAUV Value	0
Building Value	244,550
Total Value	338,000

Taxable Value

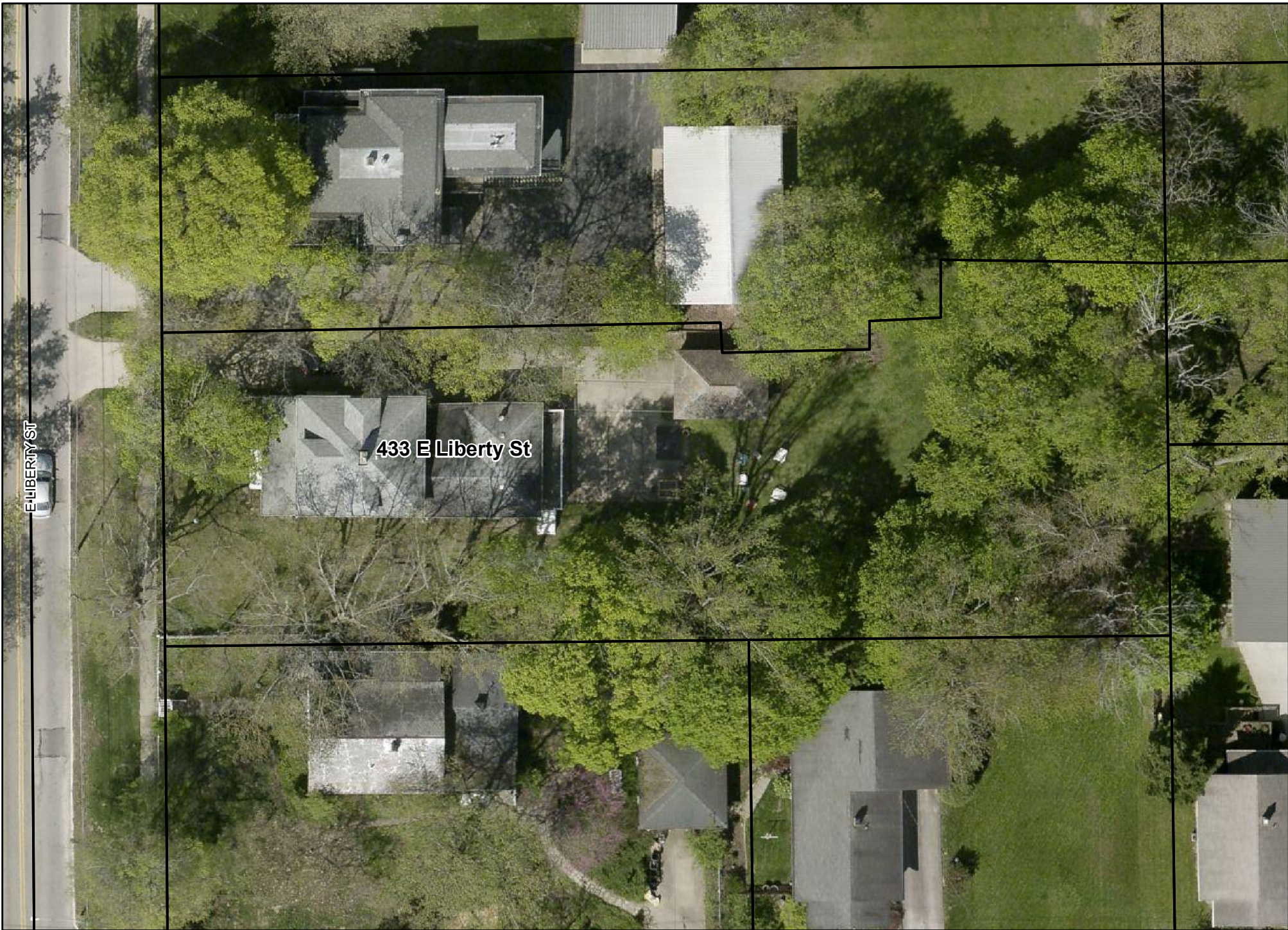
Taxable Land Value	32,710
Taxable CAUV Value	0
Taxable Building Value	85,590
Taxable Total Value	118,300

Dwelling Information

Card Number	001
Year Built	1880
Story Height	2.00000
Extension Walls	Siding-Wide
Fireplace Openings	1
Heating	Forced Hot Air
Central Air	No
Full Baths	4
Half Baths	0
Bedrooms	4

Dwelling Information

Attic	None
Attic Area	0
Second Floor Area	1384
Upper Floor Area	0
First Floor Area	1541
Basement	Full Basement
Basement Area	1482
ALC	2
APB	2
Open Frame Porch Area	21
Open Frame Porch Area	180
Wood Deck Area	100
Open Frame Porch Area	28
Wood Deck Area	65
Wood Deck Area	16
Open Frame Porch Area	42

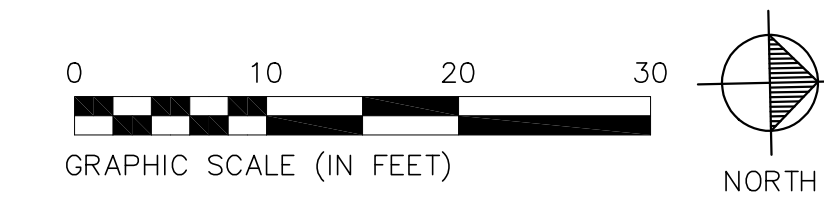


E LIBERTY ST

433 E Liberty St

0 10 20 30 40 Feet

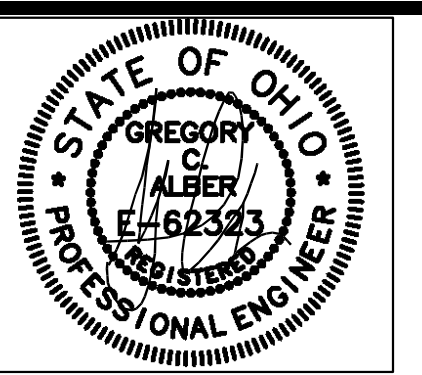




Proposed



ALBER & RICE
SURVEYING + CIVIL + STRUCTURAL
31813 Cook Road | North Ridgeville | Ohio | 44039



Gregory C. Alber, License #62323
Expiration Date 12/31/2023

PROJECT:

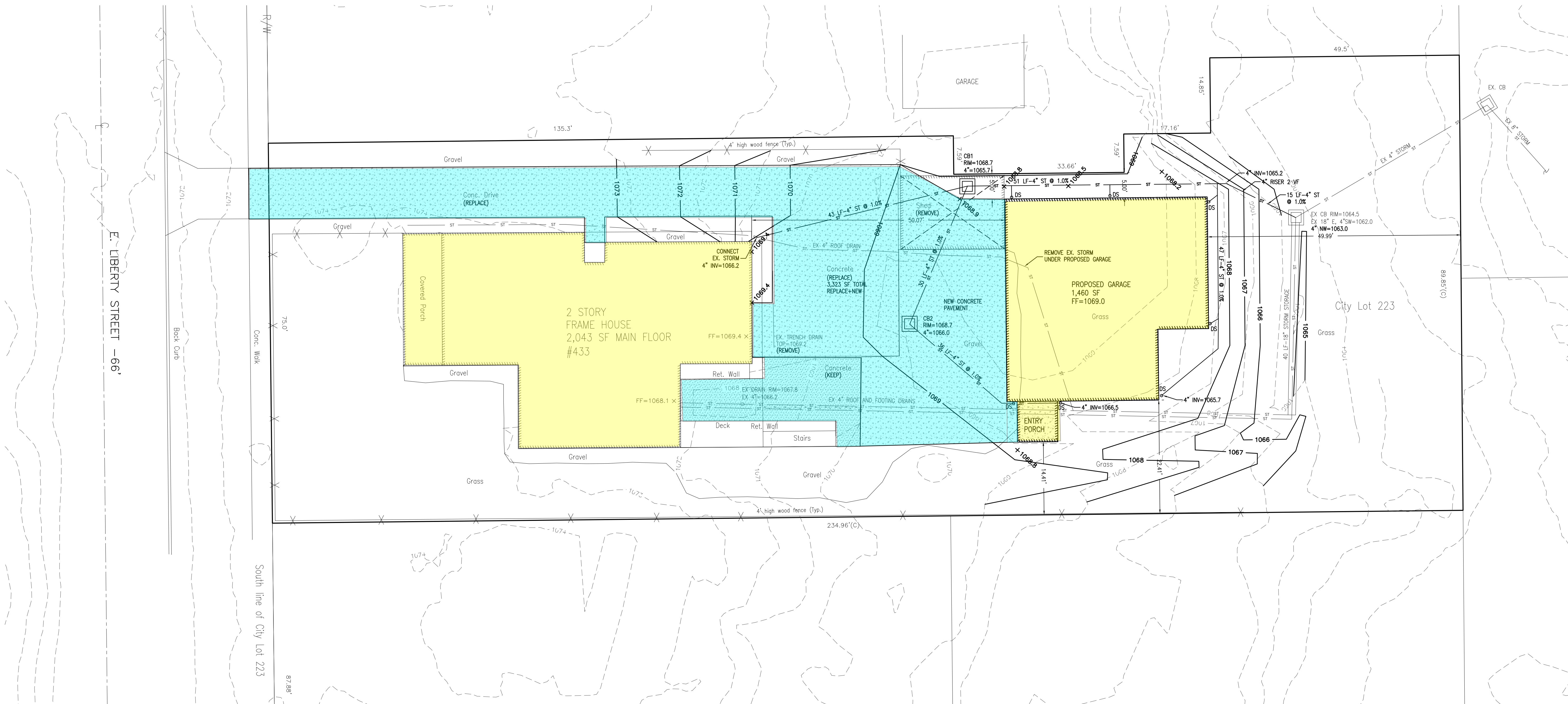
**NEW GARAGE
433 E LIBERTY ST
MEDINA, OH 44256**

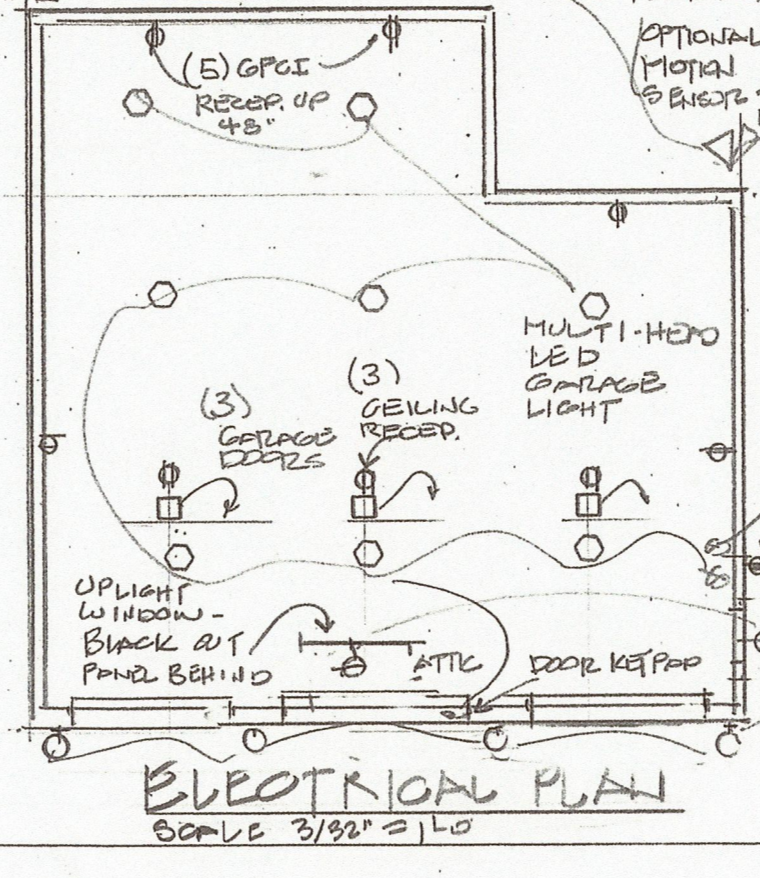
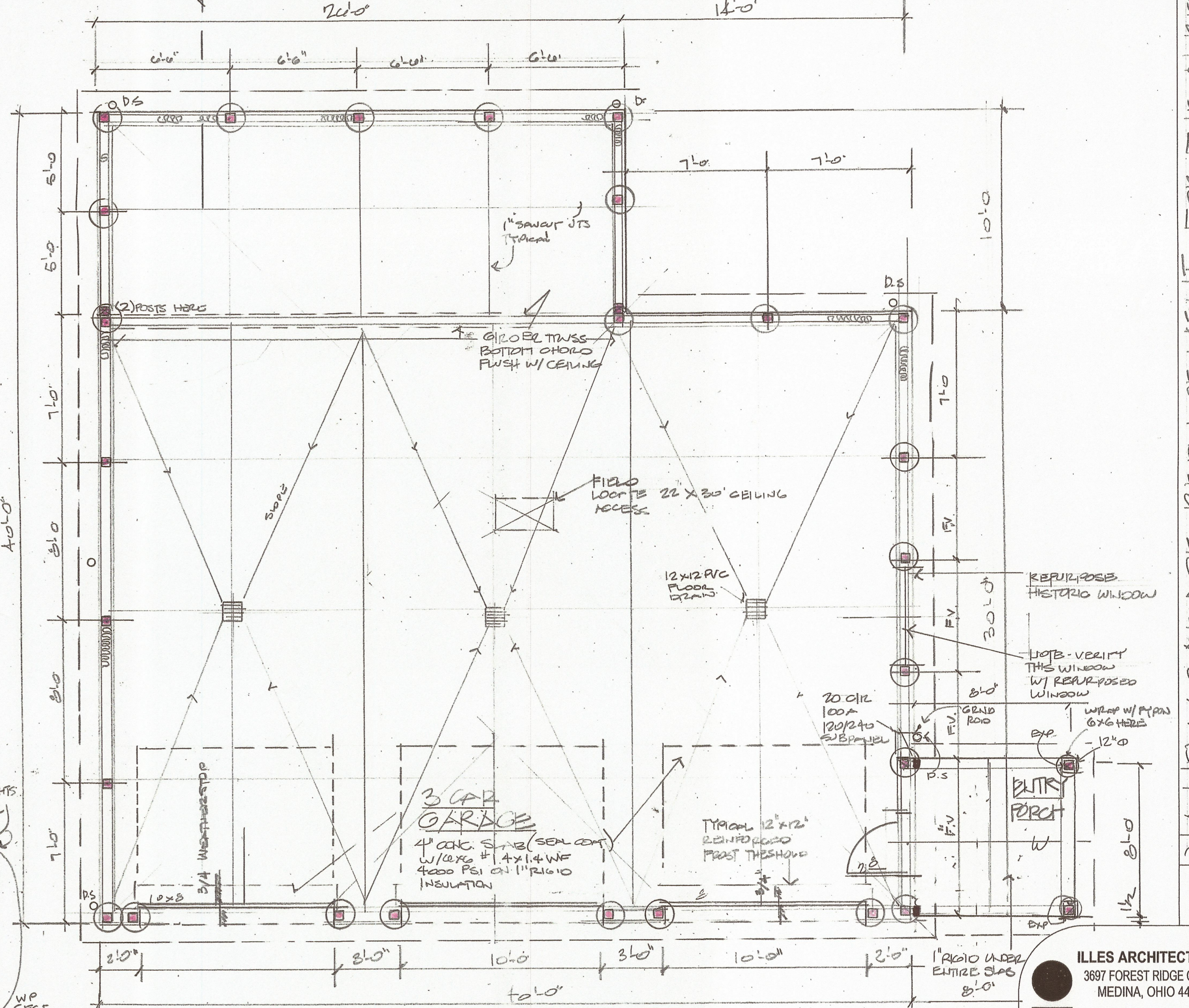
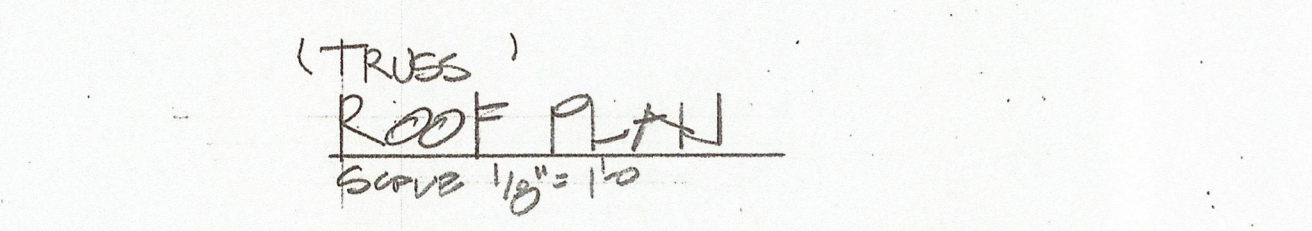
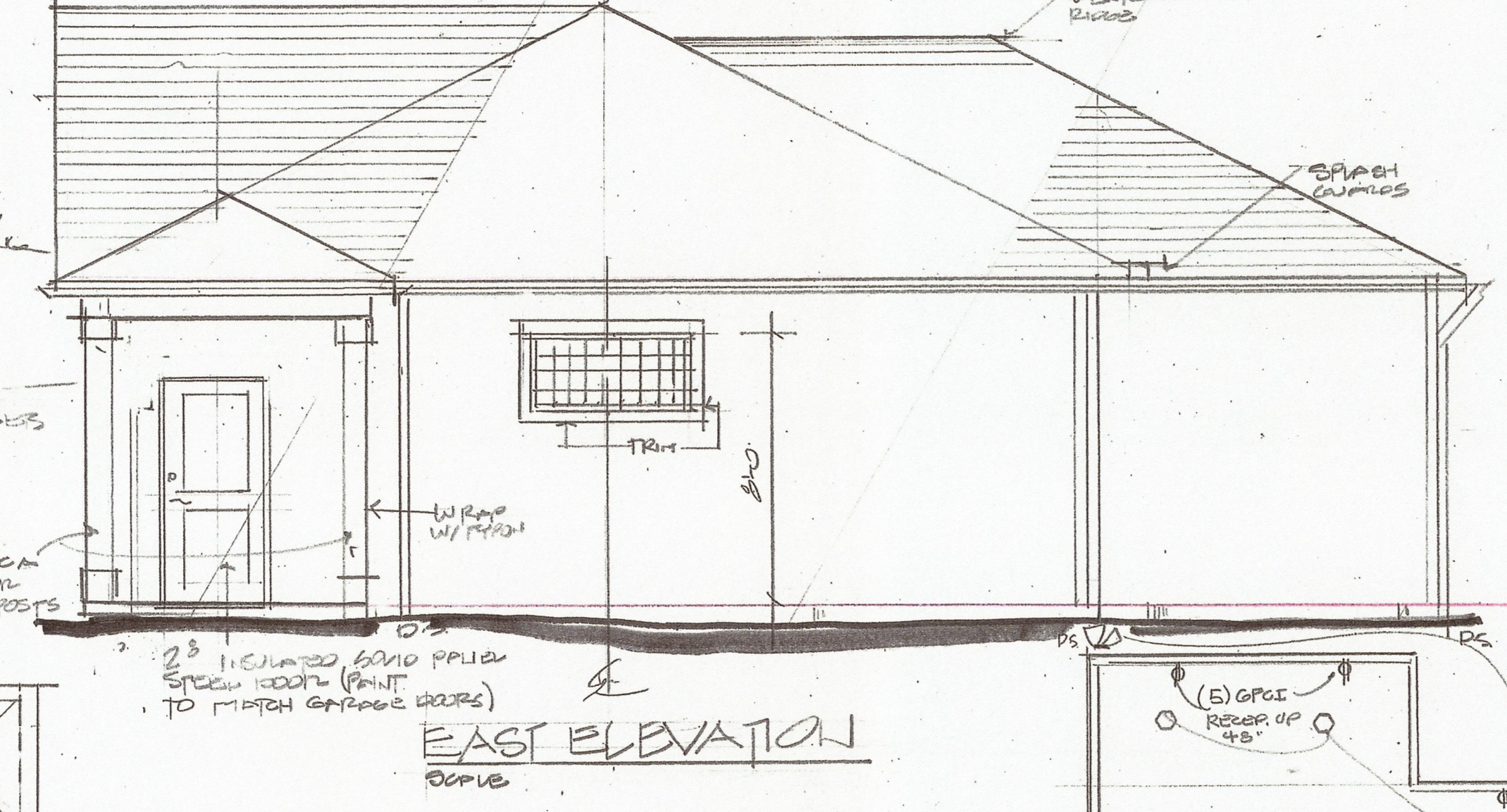
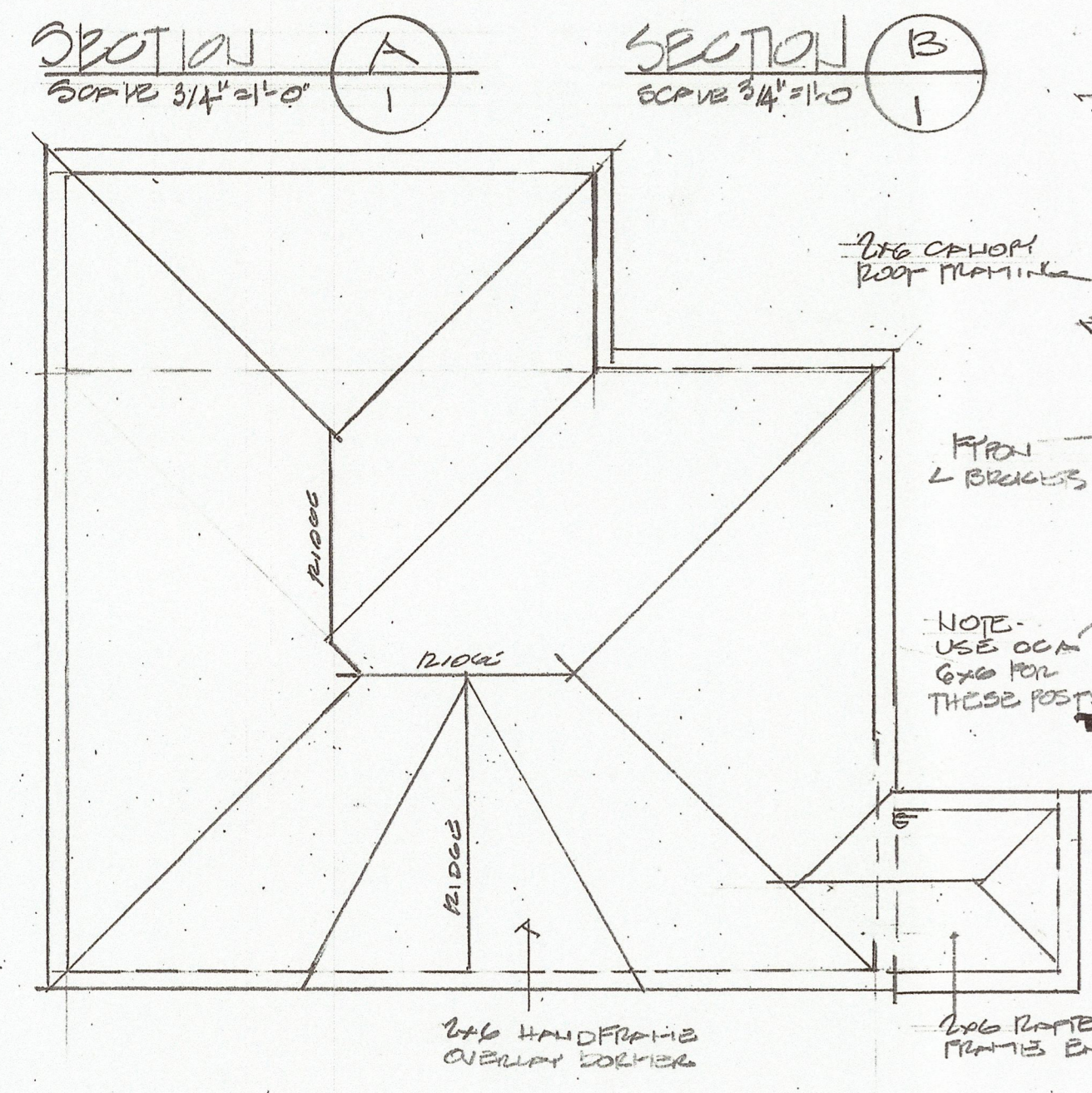
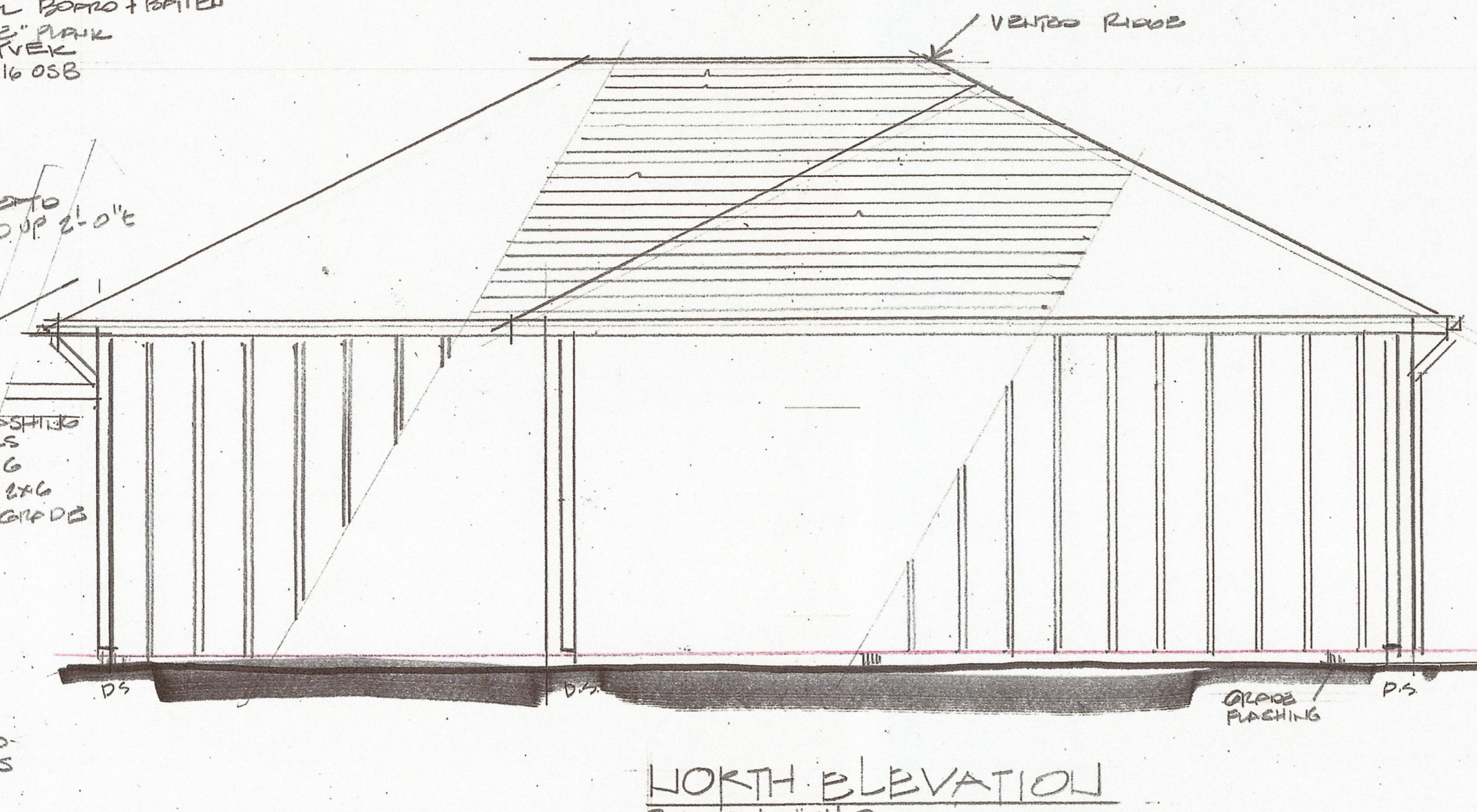
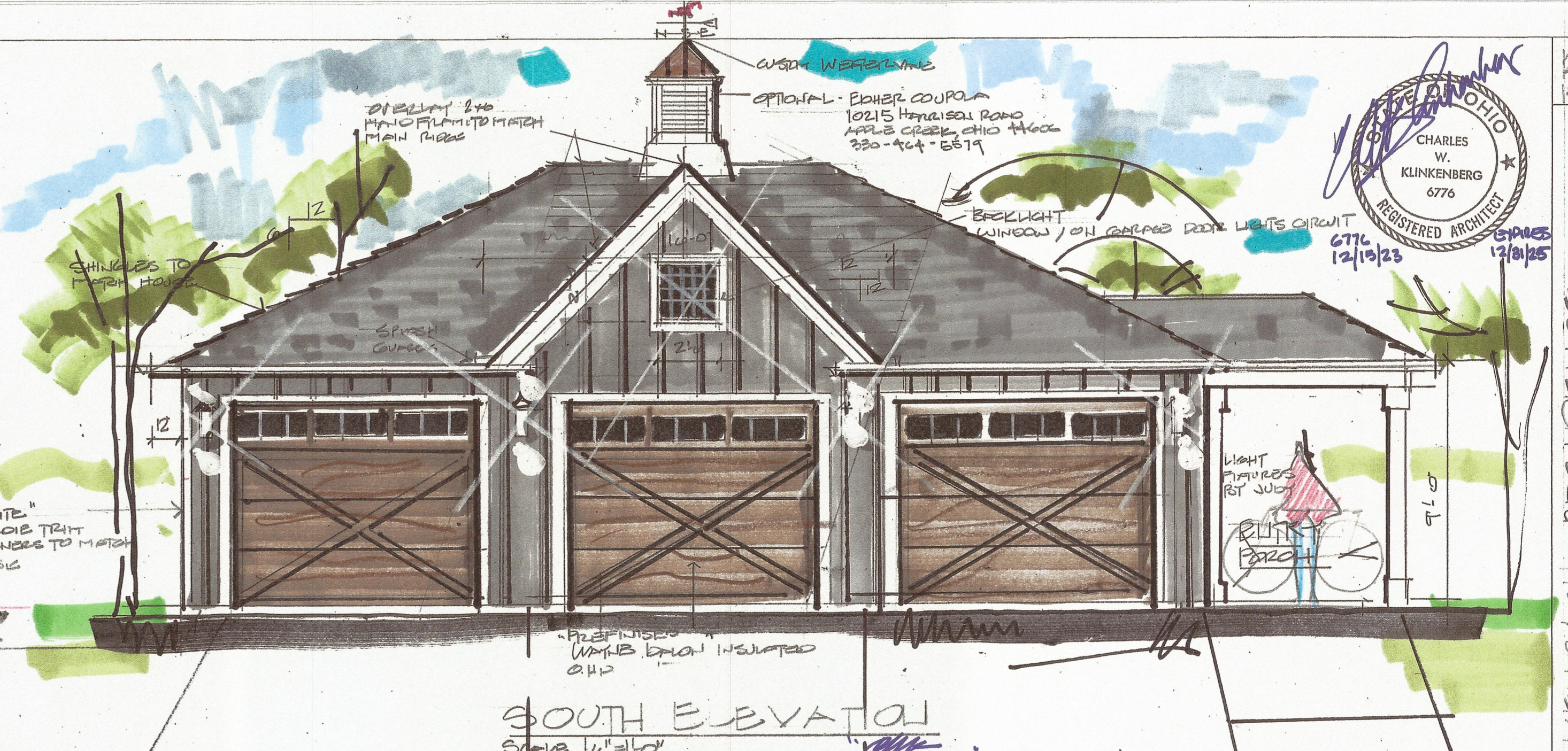
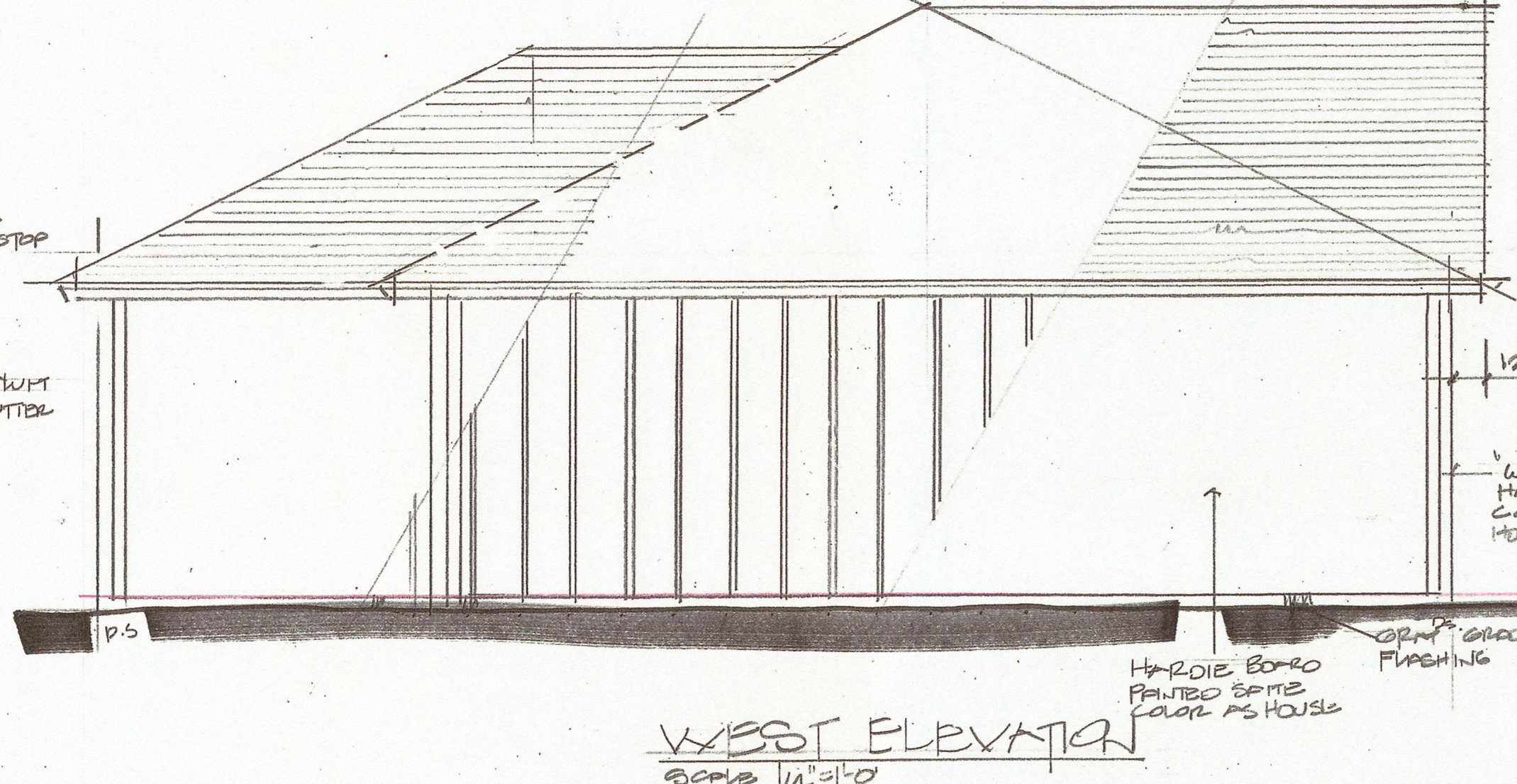
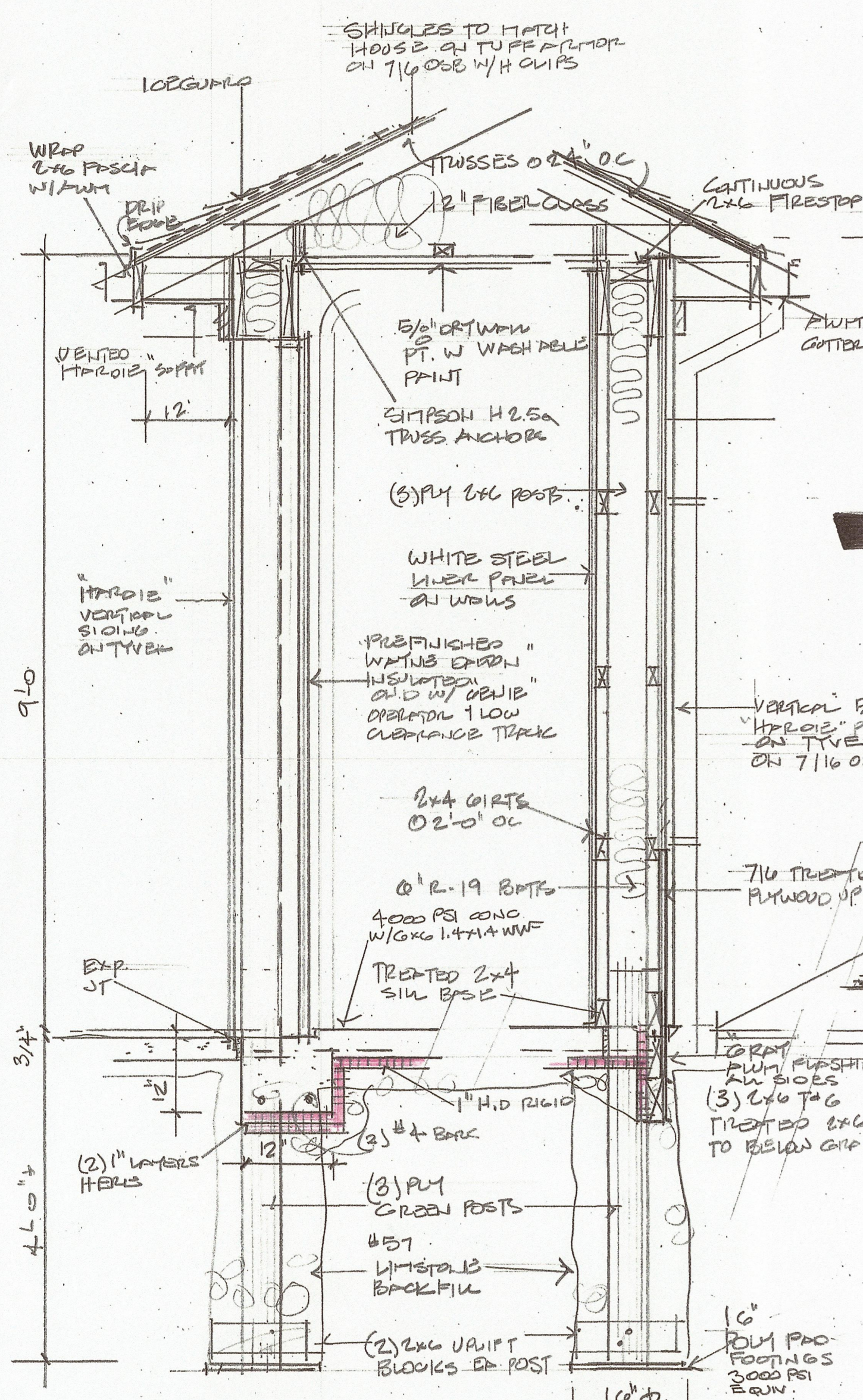
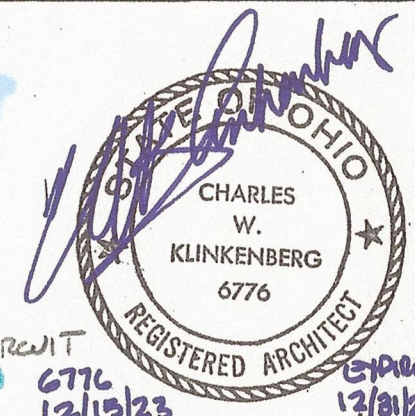
ISSUE:	DATE:
PERMIT	12-27-23
A&R PROJECT NO.	2312-00

SITE PLAN

SHEET NO.

c101





A NEW GARAGE REPLACEMENT FOR THE AUBER / BREKELBACH RESIDENCE
403 E. LIBERTY



PH: 330.725.6262