

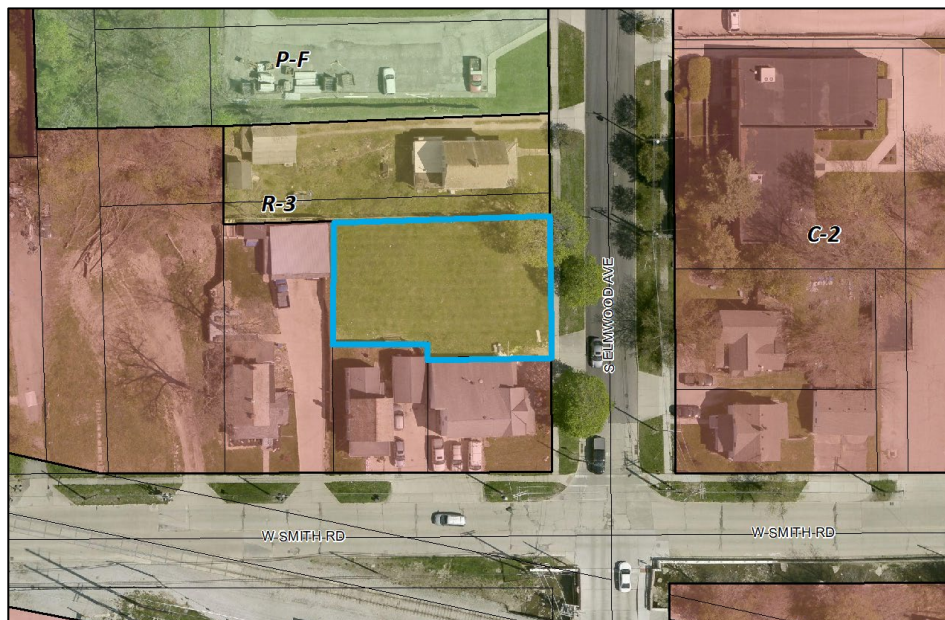
P24-07
South Elmwood Avenue New Home

Property Owners: Habitat for Humanity of Medina, Inc.
Applicant: Tom O'Connell
Location: 247 South Elmwood Avenue
Zoning: R-3 (High Density Urban Residential)
Request: Approval for a new single-family home determined to be in conflict with Infill Development Standards

LOCATION AND SURROUNDING USES

The subject site is composed of 0.19 acres located on the west side of South Elmwood Avenue. Adjacent properties contain the following uses and zoning:

- North – Single-Family Residential (R-3)
- East – Single Residential and Personal Service (C-2)
- South – Single-Family Residential (C-2)
- West – Single-Family Residential (C-2)



BACKGROUND & PROPOSED APPLICATION

The existing vacant site previously contained a 1 ½ story single-family home and a rear detached garage.

The applicant has submitted a proposal to construct a single-story 1,216 sq. ft. single-family slab home on the property. The home includes:

- 3 bedrooms and one bathroom
- Horizontal siding
- A front-loaded two car garage
- A gabled asphalt shingle roof
- A small covered front porch

The site plan indicates a front setback of 20 ft., which is consistent with code requirements and structures in the area. The site plan also shows increased side setbacks of 21 ft. and 10 ft., which exceed the minimum side setback of 5 ft.

AREA HOMES AND OTHER USES

On the west side of South Elmwood Avenue, existing structures are two-story single-family homes that are over 100 years old. Most have larger front porches, enclosed front porches, and rear detached garages.

Properties on the east side of South Elmwood area are commercial uses which are one and two story. In addition, a city parking lot exists to the north of the subject site.

INFILL DEVELOPMENT STANDARDS

Section 1113.07 requires new homes in an existing neighborhood to comply with the following standards:

- (a) **Compatibility.** All new single and two family residential development shall reflect, complement, and preserve the nature and character of existing adjacent residential development.
- (b) **Building Placement and Mass.** All new homes shall conform in street orientation and massing to adjacent homes.
- (c) **Harmonious Aesthetics.** The following is a list of objectives to achieve infill development that is characteristic of the existing structures:
 - (1) New infill development shall be compatible with the neighboring structures in terms of proportion, size, mass and height.
 - (2) Similar materials, colors, architectural details and roof pitch shall be used on all sides and on all structures on the site and shall be harmonious with adjacent properties.
 - (3) The creation of a vertical canyon effect between structures shall be minimized. For instance, when a one story structure is proposed next to a two story structure, the space between the two buildings shall increase as wall height increases.
- (d) Any improvement which is determined by the Planning Director to be in conflict with this section shall be forwarded to the Planning Commission for review.

The Planning Director has found that the proposal is not compatible with existing adjacent residential development (a), does not have similar building massing to adjacent homes (b), and is not compatible with existing structures in terms of proportion, size, and height (c)(1). Therefore, the Planning Director has found that the proposal is in conflict with Section 1113.07.

It should be noted that the home does have a similar street orientation and front setback as area homes. In addition, side setbacks have been increased so as to not create a “vertical canyon effect”.

For reference, an infill home with the same design and layout at 425 West Friendship Street was approved by the Planning Commission on March 9th, 2023.

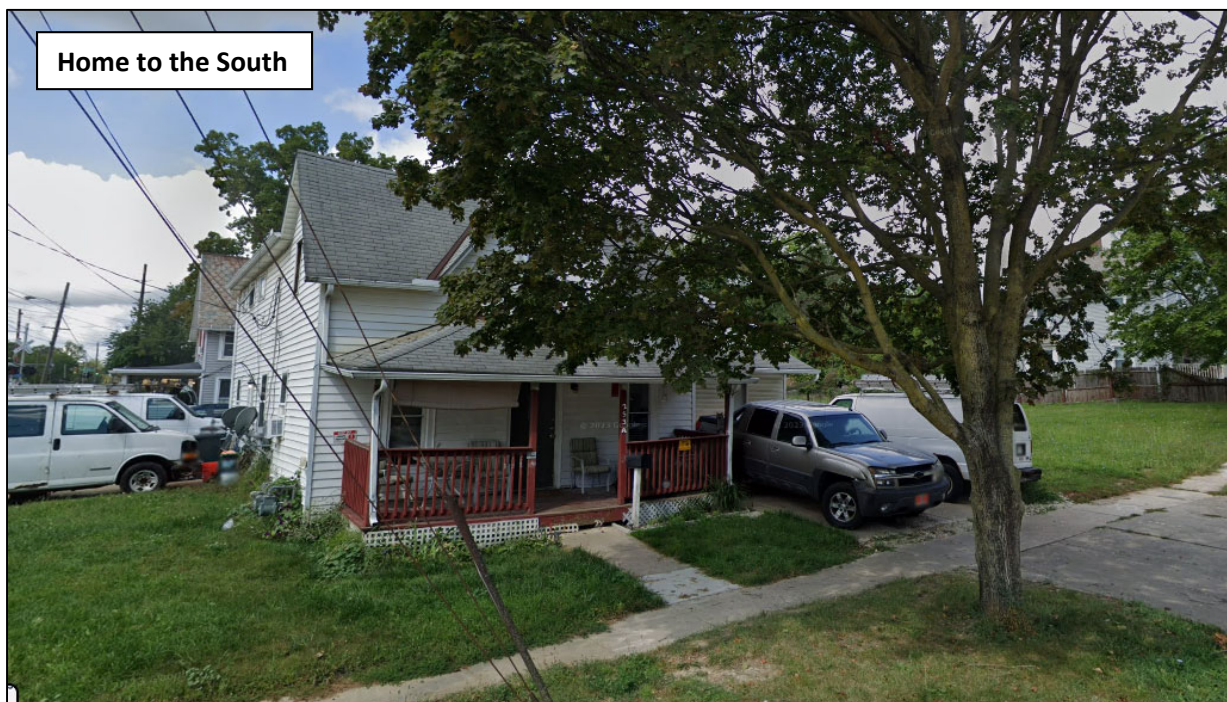
PLANNING COMMISSION ACTION

As noted above in Section 1113.07(d), as the Planning Director has determined that the proposal is in conflict with Infill Development Standards, the application is forwarded to the Planning Commission for review. The Planning and Zoning Code does not provide any additional information regarding the review process or additional criteria to evaluate the request. The Planning Commission will therefore need to review the application and make a decision on whether the proposed home is appropriate for the existing neighborhood.

Homes Across the Street



Home to the South



**Homes to the North
and City Lot**



**Commercial Property
Across the Street**





**Habitat
for Humanity
of Medina County**

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**BOARD
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City of Medina Planning Commission – March 14, 2024

Habitat for Humanity of Medina County is dedicated to the vision of seeing a world where everyone has a decent place to live. On behalf of our Board of Directors, I want to thank the City of Medina for your continued support of this vision here in this city. Through your support Habitat has dedicated 16 homes in Medina and this home we are discussing tonight would be Habitat's 17th home in the City of Medina.

I believe all of us are aware of the growing need for more affordable housing units here in Medina County. Habitat is here before you tonight because of our continued efforts to meet this need by providing safe, decent, and affordable homes to families. The families in our homeownership program have met three general qualifications. Need for better housing, willingness to partner with Habitat through 'sweat equity' or volunteer hours, helping other family's homes be built before the construction of their home begins. Lastly, they must have the ability to pay. Habitat homes are not free, but homeowners purchase the home through a 0% 30-year affordable mortgage.

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DIRECTORS**

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In June of 2023 Habitat for Humanity was able to purchase 247 S. Elmwood Ave here in Medina. The house plans that have been submitted have been completed with one of Habitat's partner families in mind. The individual that will call this location home currently lives here in Medina and since November of 2022 has completed over 100 'sweat equity' hours.

The house plans before you are a 'typical' Habitat home for our affiliate here in Medina County. The single story, ranch style construction allows us to build this home with volunteers completing most of the work.

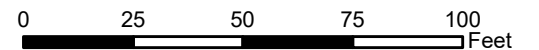
Thank you for your consideration of our request before you tonight.



A world where **everyone** has a decent place to live



Site Location





247 S. Elmwood Ave. -
Previous Home

PROPOSED GRADE
existing grade

SWALE = DRAINAGE FLOW/SWALE

DENOTES: CONSTRUCT CLAY BULKHEAD DAM IN ALL UTILITY TRENCHES

PR.=PROP.=PROPOSED
EX.=EXISTING
FFL=FINISHED FLOOR

CITY OF MEDINA
R-3 HIGH DENSITY URBAN RESIDENTIAL
FRONT SETBACK - 40'
SIDE SETBACK - 5'
REAR SETBACK - 30'

BENCHMARK:
5/8" IRON PIN
ELEV.=1061.78'

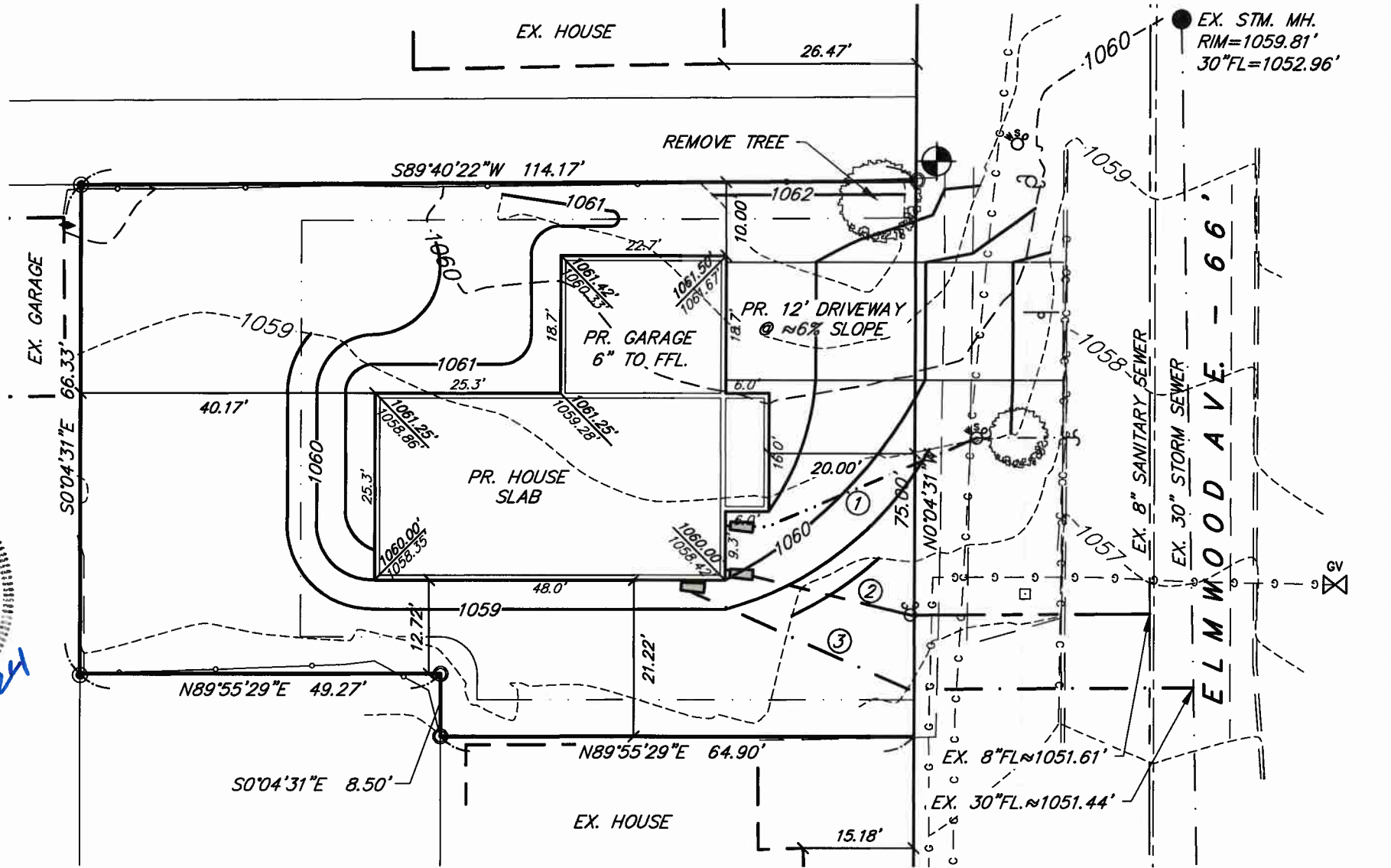
FIN 1st FLR. = 1061.75'
TOP/WALL = 1061.75'
GARAGE FLR. = 1061.25'
BASEMENT FLR. = N/A
BOTTOM/FOOTER ≈ 1058.25'

CONTRACTOR NOTE:
EXCAVATING CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR ACTUAL DIMENSIONS BETWEEN FLOORS & BOTTOM OF FOOTER, WALL SECTIONS, UNEXCAVATED AREAS, & FOUNDATION WINDOW OPENINGS.

*UTILITY CONNECTION NOTE:
CONTRACTOR SHALL LOCATE EXISTING UTILITY LATERALS THAT SERVICED PREVIOUS HOME ON THIS PARCEL. CONTRACTOR SHALL USE EXISTING LATERALS IF FOUND IN ACCEPTABLE CONDITION. IF LATERAL IS NOT FOUND, FOLLOW CONNECTIONS SHOWN ON PLAN. CONNECTIONS SHALL FOLLOW CITY OF MEDINA AND MCSE REQUIREMENTS.

Lewis Land Professionals Inc. (LLP) does not guarantee the location of utilities shown as LLP does not perform subsurface investigations for underground utilities or structures. All utilities are shown per OUPS field markings found on site at time of topographic survey or per plans provided. It is the contractors responsibility to verify location of connections prior to excavation. Dimensions to property lines are shown to foundation wall only and do not include overhangs or footer locations. Foundation dimensions shown are for rough field layout only, see Architectural House Plans for all dimensions. The Contractor/Owner must verify all foundation dimensions & proposed grades shown on this topographic survey. Cuts between hubs shall be compared for discrepancies. Any error resulting from failure to check shall not be the responsibility of Lewis Land Professionals, Inc.

- GRADES SHALL COMPLY WITH THE APPROVED GRADING PLAN ON FILE WITH CORRESPONDING GOVERNMENT OFFICE, ALL UTILITIES ARE PER DESIGN PLAN.
- MAINTAIN POSITIVE YARD DRAINAGE (TO SWALE, YARD DRAIN, NATURAL WATER COURSES OR STREET) ACROSS ENTIRE LOT.
- ALL SWALES MUST MAINTAIN A MINIMUM SLOPE OF 1%.
- CONTRACTOR TO DETERMINE DEPTHS OF EXISTING LATERALS AND VERIFY IF PROPER CONNECTIONS CAN BE MADE TO HOUSE. CONTACT CORRESPONDING GOVERNMENT OFFICE IF DISCREPANCIES EXIST.
- CONTRACTOR TO NOTIFY UTILITIES PROTECTION SERVICES PRIOR TO CONSTRUCTION.
- NO LAWN AREAS TO BE MOWED SHALL HAVE A SLOPE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL.
- SUMP PUMP RECOMMENDED, DESIGN & LOCATION TO BE DETERMINED BY BUILDER.
- NO DETERMINATION OF THE PRESENCE OF WETLAND AREAS WAS PERFORMED BY LEWIS LAND PROFESSIONALS.
- THIS DRAWING DOES NOT CONSTITUTE A BOUNDARY SURVEY.
- A SOLID CLAY BULKHEAD AROUND THE PIPE SHALL BE PLACED WITHIN THE STORM & SANITARY CONNECTION TRENCH TO THE LEVEL OF THE STONE BACKFILL ABOVE THE PIPE.
- CONTRACTOR TO INSTALL SILT FENCE PRIOR TO BEGINNING CONSTRUCTION.



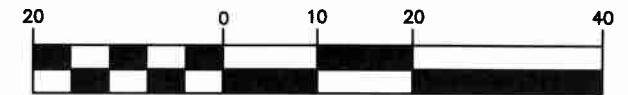
- *PR. 37' WATER CONN. TO EX. W.S.O. INSTALL PER MCSE REQUIREMENTS
- *PR. 59'-4" SDR35 PVC SANITARY CONN. @ 1.0% MIN INSTALL PER MCSE REQUIREMENTS
- *PR. 74'-4" PVC STORM CONN. @ 1.0% MIN INSTALL PER CITY REQUIREMENTS

EX. SAN. MH. RIM=1057.70' FL=1046.35'
EX. STM. MH. RIM=1054.85' 30"FL=1050.35'

TOP OF BLOCK CERTIFICATION

I CERTIFY TO THE CITY OF MEDINA THAT THE AS-BUILT TOP/BLOCK ELEV.= _____

Joseph A. Burgoon, Date
Professional Surveyor No. S-8325



(IN FEET)
1 inch = 20 ft.

REVISION TABLE			
NO.	DATE	DESCRIPTION	BY
2	2/28/24	REVISED - NEW HOUSE PLAN	MBK
1	2/12/24	FINAL LOT IMPROVEMENT PLAN	MBK

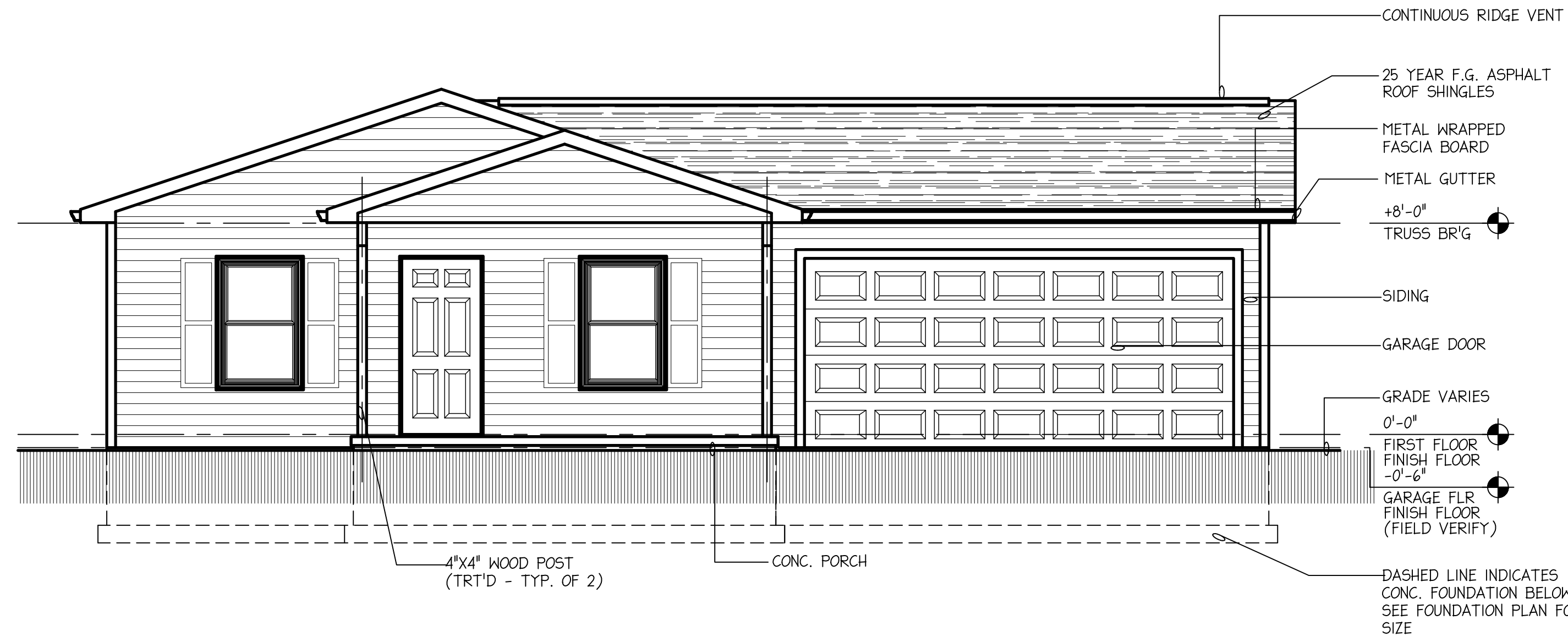
OUPS TICKET NUMBER:
A403702448-00A
A403702450-00A



LOT IMPROVEMENT PLAN
247 S. Elmwood Avenue
Situated in the City of Medina
County of Medina and State of Ohio
PPN: 028-19A-21-269
Builder: Habitat for Humanity

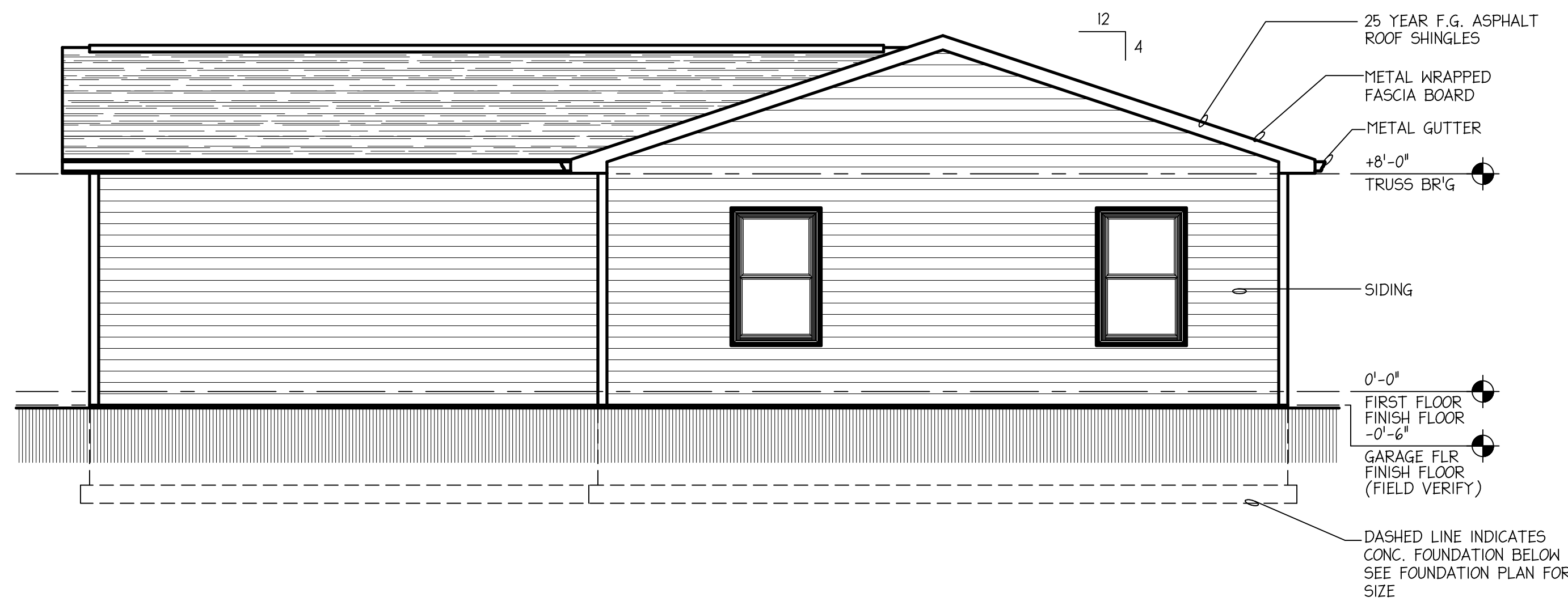
SHEET 1 OF 1
PLOT DATE: 02/28/24
PROJ. No. 24-018
DRAWING FILE:
24-018 LIP.DWG

Lewis Land Professionals, Inc.
Civil Engineering & Surveying
8691 Wadsworth Rd. Suite 100 Wadsworth, Ohio 44281
Phone: (330) 335-8232
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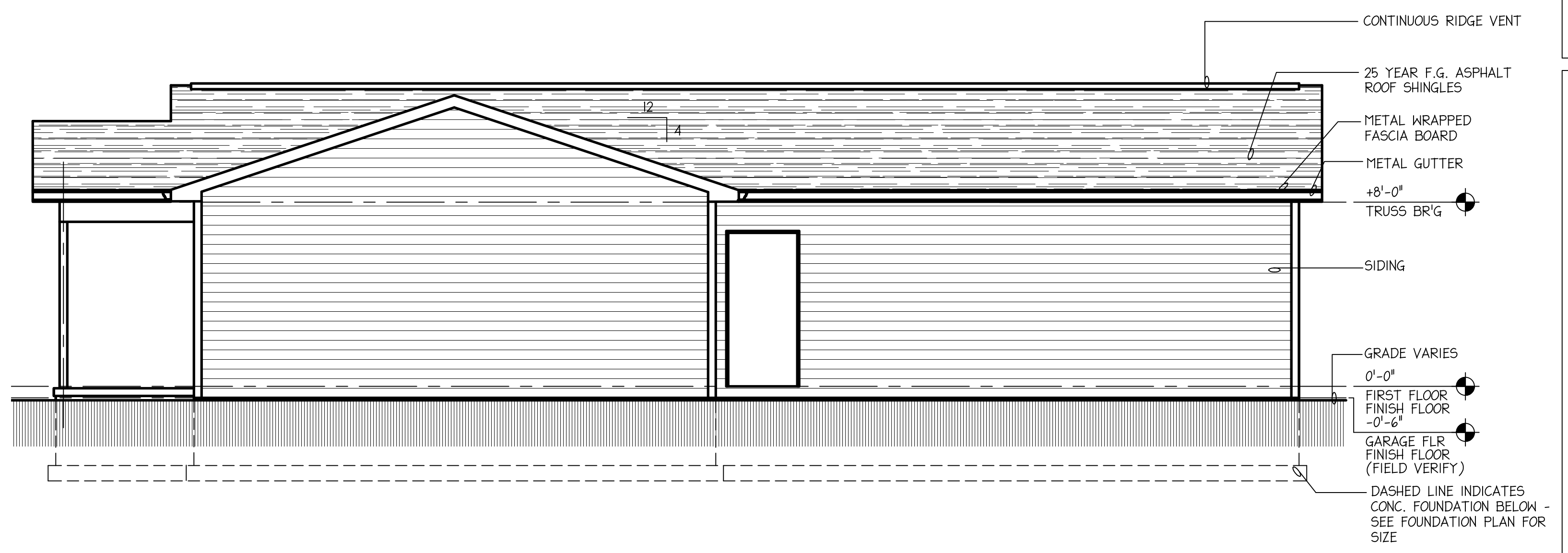


A EXTERIOR 'FRONT' ELEVATION
 A100 SCALE: 1/4"=1'-0"

SIDING NOTE:
 10" VINYL SIDING W/ 3" RIB AND 4" VINYL CORNER TRIM



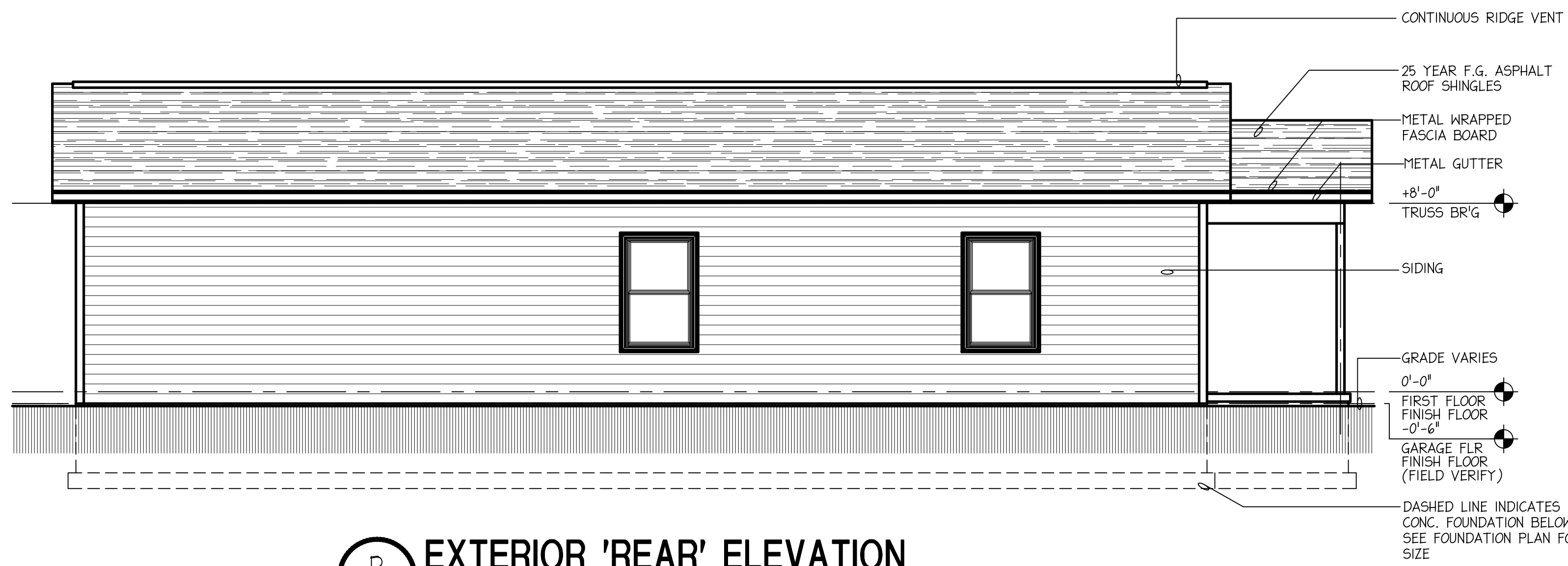
B EXTERIOR 'SIDE' ELEVATION
 A100 SCALE: 1/4"=1'-0"



C EXTERIOR 'SIDE' ELEVATION
 A100 SCALE: 1/4"=1'-0"

WINDOW NOTE:
 WINDOW MANUFACTURER TO BE DETERMINED BY HABITAT FOR HUMANITY AND SIZES TO BEDROOMS TO COMPLY WITH NOTE BELOW

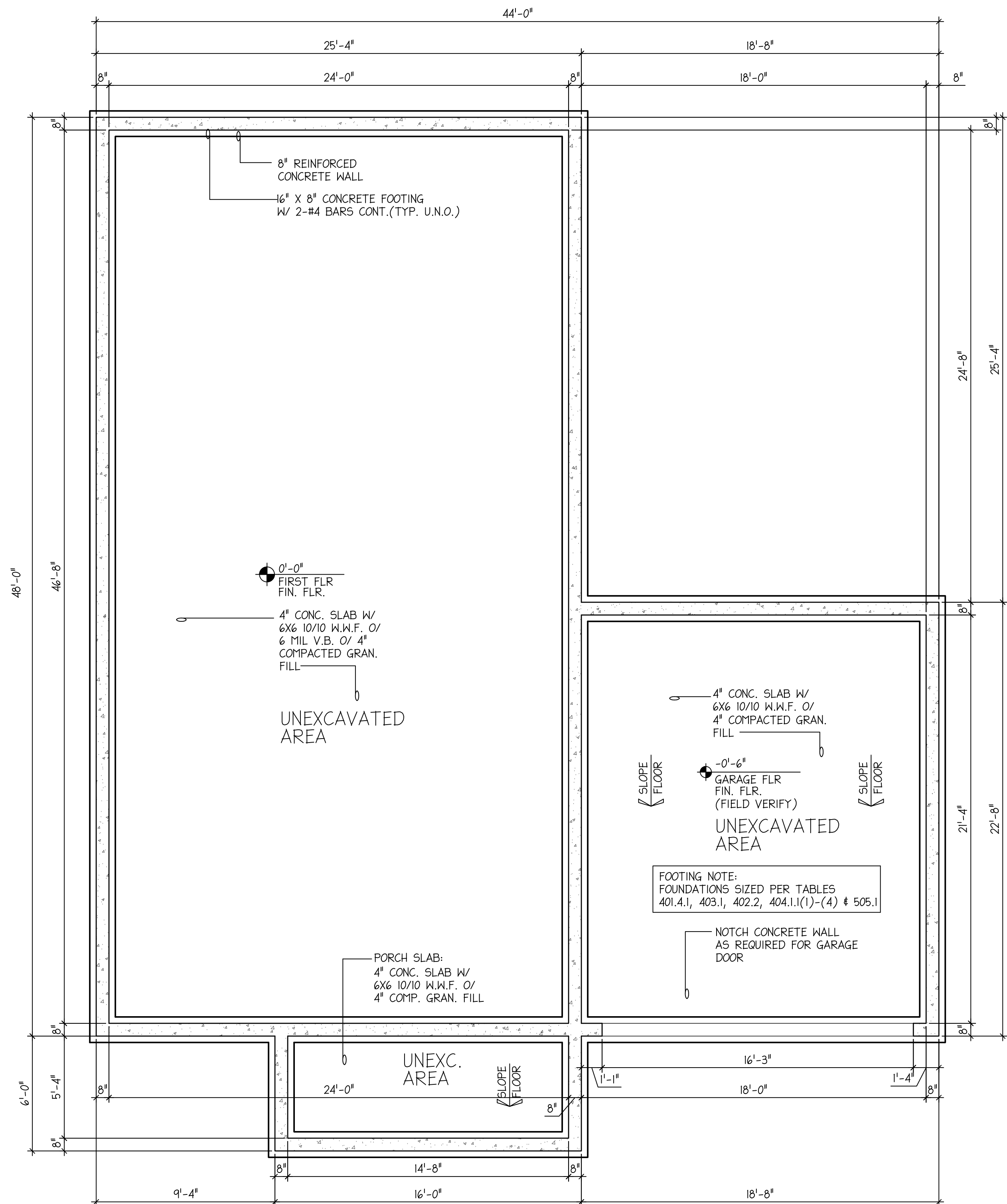
WINDOW EGRESS NOTE:
 SIZE WINDOWS IN BEDROOM AREAS FOR EGRESS - (5.7 SQ. FT. CLEAR OPENING - 20" MIN. WIDTH & 24" MIN. HEIGHT W/ 44" MAX. SILL HEIGHT A.F.F.)



D EXTERIOR 'REAR' ELEVATION
 A100 SCALE: 1/4"=1'-0"

DRAWING INDEX:

- A100 EXTERIOR ELEVATIONS
- A101 FOUNDATION PLAN
- A102 FIRST FLOOR PLAN
- A103 ROOF PLAN W/ SECTIONS
- A104 FRAMING / ELECTRICAL PLANS



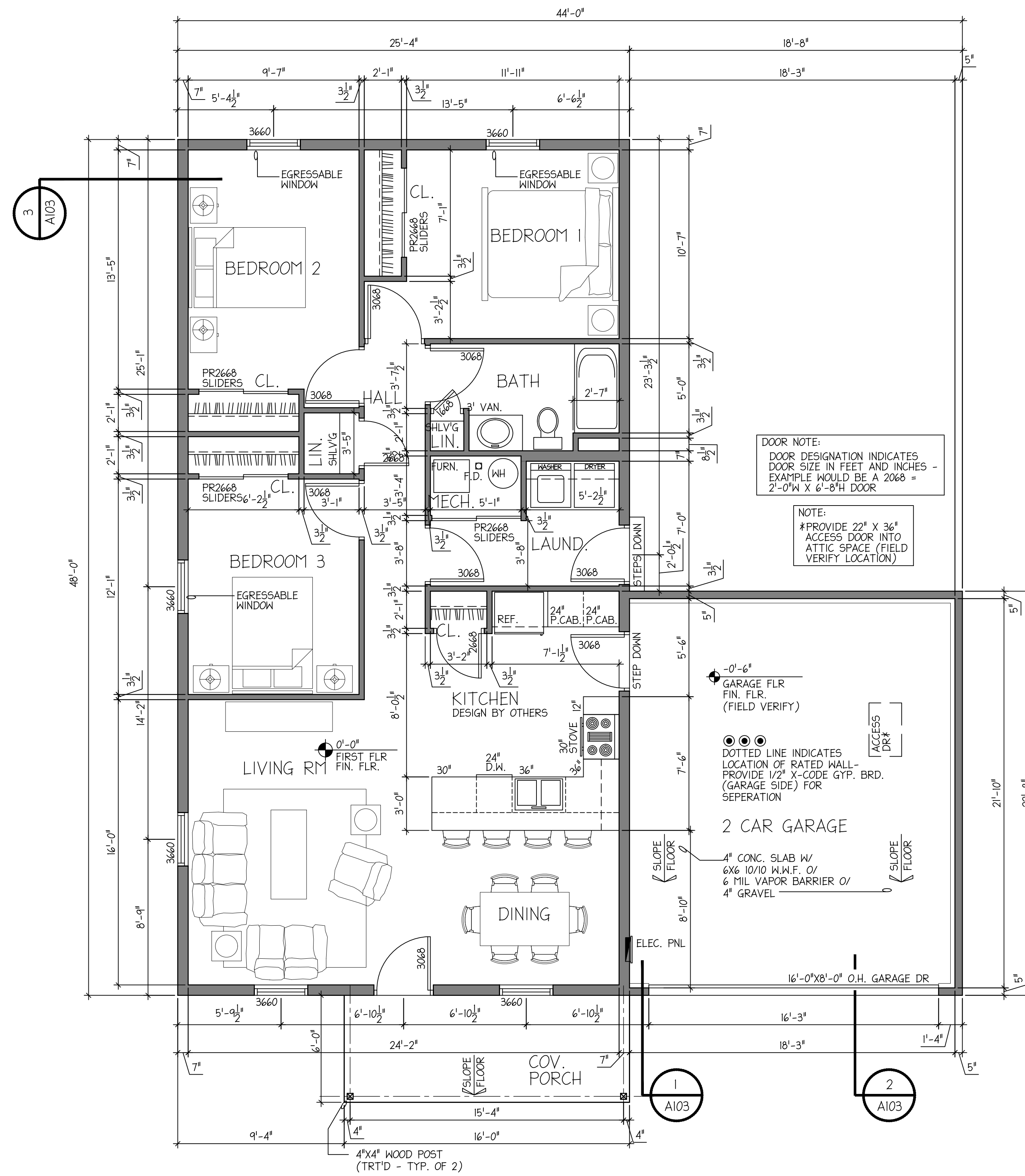
FOUNDATION PLAN
 SCALE: 1/4"=1'-0"

Draftec, Inc.
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 CAD Drafting Services
 455 Palm Ave Akron, Ohio 44301
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 Email: draftec@gmail.com

Habitat for Humanity of Medina County
 342 East Smith Road/Medina, Ohio 44256

498 DURLING HOME PLANS
 498 DURLING DRIVE / WADSWORTH, OHIO

Foundation Plan
Date: 05-10-2021
Revisions:
Project No.:
Sheet: A101
Scale: See Plan



DOOR NOTE:
DOOR DESIGNATION INDICATES DOOR SIZE IN FEET AND INCHES - EXAMPLE WOULD BE A 2068 = 2'-0" W X 6'-8" H DOOR

NOTE:
*PROVIDE 22" X 36" ACCESS DOOR INTO ATTIC SPACE (FIELD VERIFY LOCATION)

●●● DOTTED LINE INDICATES LOCATION OF RATED WALL - PROVIDE 1/2" X-CODE GYP. BRD. (GARAGE SIDE) FOR SEPERATION

GENERAL NOTES

- STRUCTURAL WOOD IS TO BE SELECT GRADE WITH FC= 2,400 PSI MINIMUM.
- TO MEET ENERGY CODE REQUIREMENTS, THE FOLLOWING MINIMUM THERMAL INSULATION VALUES ARE TO BE INSTALLED.
CEILING = R-49
WALLS = R-19
- INSULATION IS TO BE INSTALLED AT INTERIOR PARTITIONS AS DIRECTED BY HABITAT FOR HUMANITY.
- ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING LESS THAN 25 AND A SMOKE DENSITY RATING LESS THAN 450.
- GLASS WITHIN DOORS OR SIDELIGHTS ARE TO BE TEMPERED/SHOCK RESISTANT AS PER CODE.
- VERIFY FINISH HARDWARE AND CABINET HARDWARE WITH HABITAT FOR HUMANITY.
- WALLS ARE TO BE PAINTED DRYWALL. VERIFY PAINT COLORS WITH HABITAT FOR HUMANITY.
- VERIFY ANY WALL COVERING WITH HABITAT FOR HUMANITY.
- PROVIDE VINYL TILE FLOORING WHERE LABELED 'TILE'.
- VERIFY MATERIAL AND COLOR WITH HABITAT FOR HUMANITY.
- PROVIDE CARPET WHERE LABELED 'CARPET'. VERIFY CARPET WITH HABITAT FOR HUMANITY.
- 1/2" GYPSUM BOARD TYPICAL FOR WALLS AND 5/8" F.C. FOR CEILINGS. GYPSUM BOARD IS TO BE PRIMED AND PAINTED FOR A SMOOTH, PROFESSIONAL FINISH. WALL AND CEILING MATERIALS ARE TO HAVE A FLAME SPREAD RATING OF LESS THAN 200.
- PROVIDE AND INSTALL NECESSARY LOUVERS AND VENTS.
- PROVIDE AND INSTALL A MAILBOX AS DIRECTED BY HABITAT FOR HUMANITY.
- LOCATE TELEPHONE JACKS AS PER ELECTRICAL PLAN.
- LOCATE SMOKE DETECTORS PER ELECTRICAL PLAN.
- THERE WILL BE NO DEVIATION FROM THESE PLANS OR SPECIFICATIONS UNLESS SUBMITTED IN WRITING AND APPROVED BY HABITAT FOR HUMANITY.

B FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

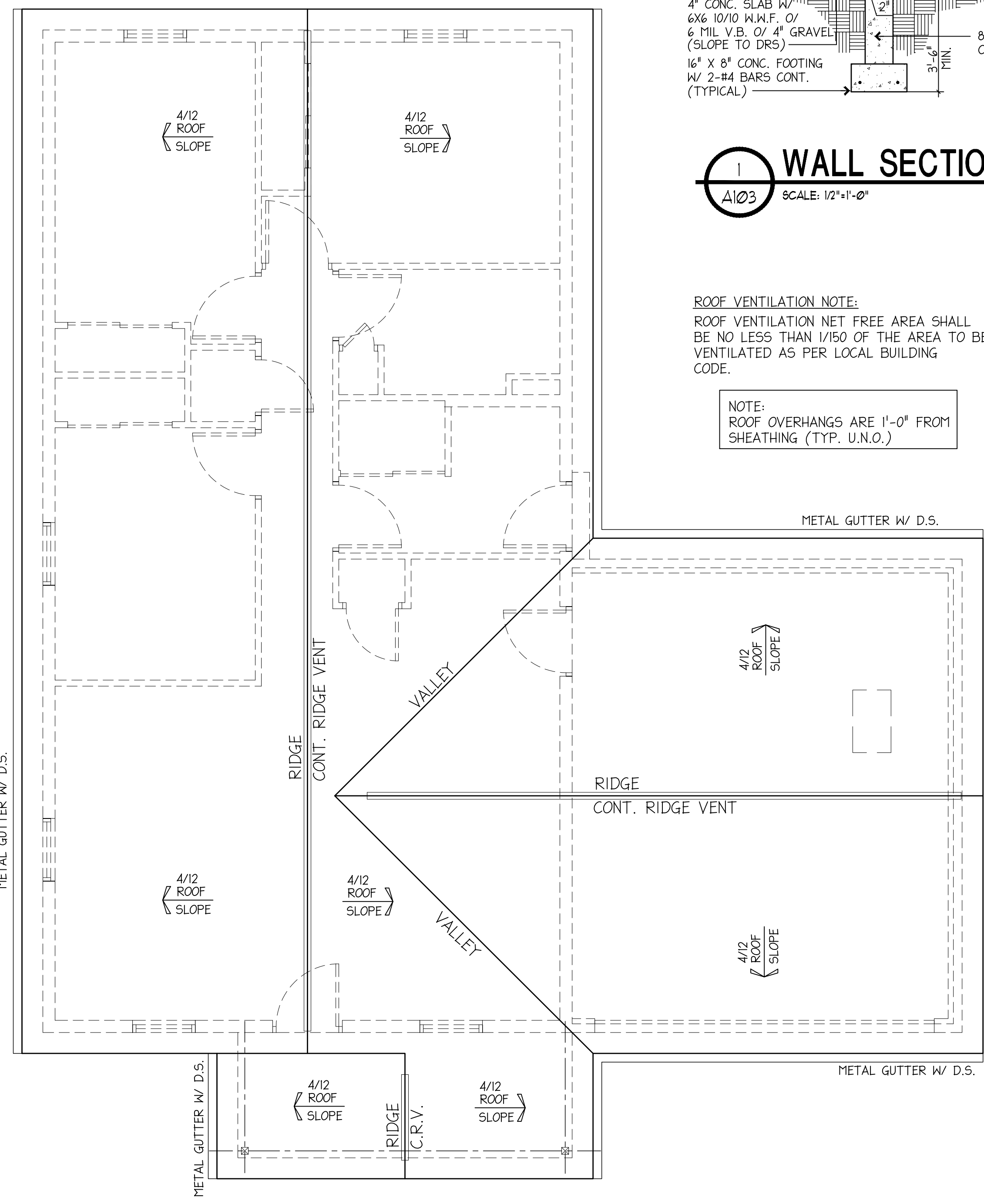
BUILDING AREAS:	
FIRST FLOOR LIVING AREA	1,216 S.F.
2 CAR GARAGE	423 S.F.
PORCH	96 S.F.

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Email: draftec@gmail.com

Habitat for Humanity of Medina County
342 East Smith Road/Medina, Ohio 44256

498 DURLING HOME PLANS
498 DURLING DRIVE / WADSWORTH, OHIO

First Floor Plan
Date: 05-10-2021
Revisions:
Project No.:
Sheet: A102
Scale: See Plan



A ROOF PLAN
SCALE: 1/4"=1'-0"

1 WALL SECTION
SCALE: 1/2"=1'-0"

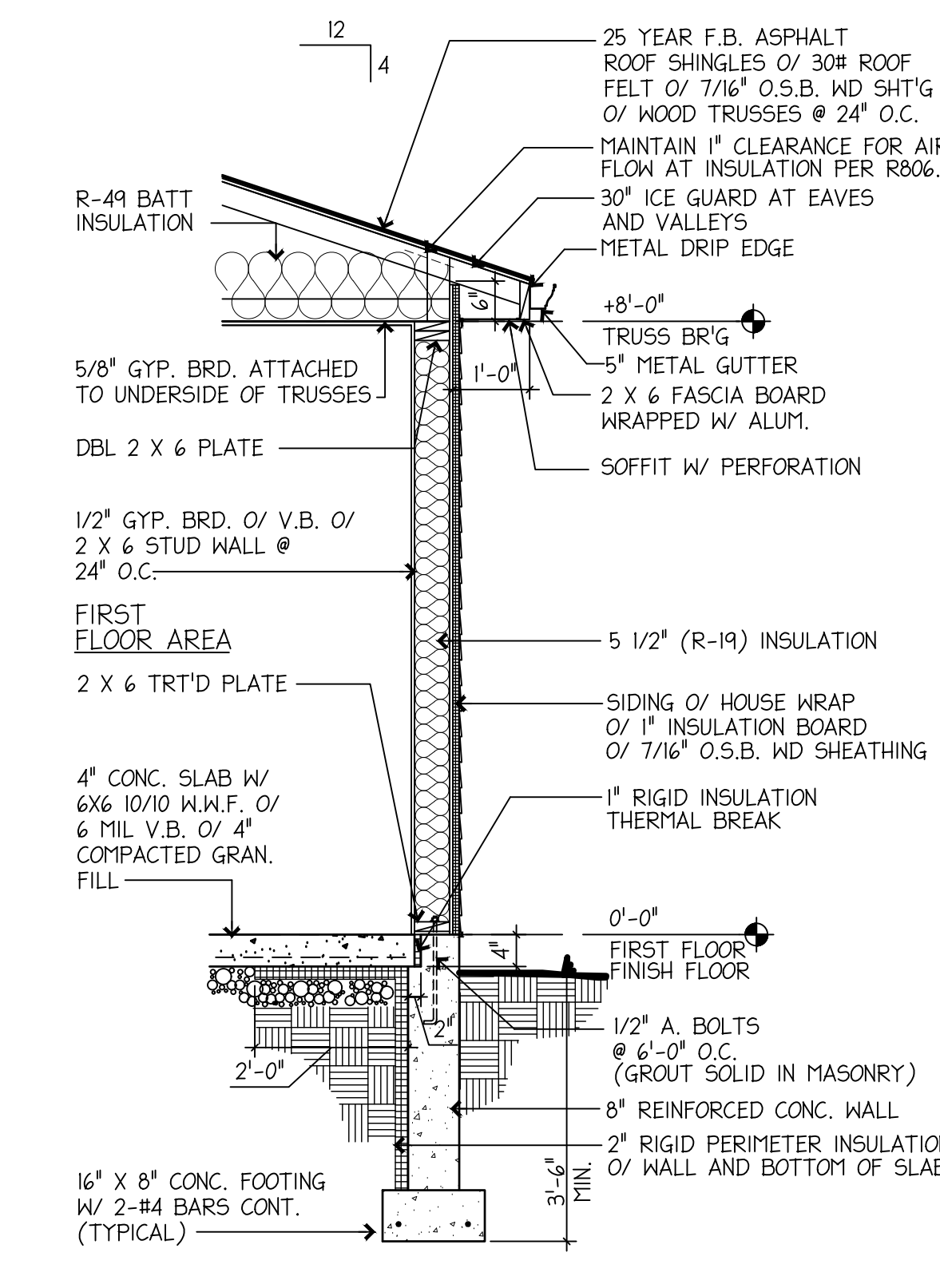
ROOF VENTILATION NOTE:
ROOF VENTILATION NET FREE AREA SHALL BE NO LESS THAN 1/150 OF THE AREA TO BE VENTILATED AS PER LOCAL BUILDING CODE.

NOTE:
ROOF OVERHANGS ARE 1'-0" FROM SHEATHING (TYP. U.N.O.)

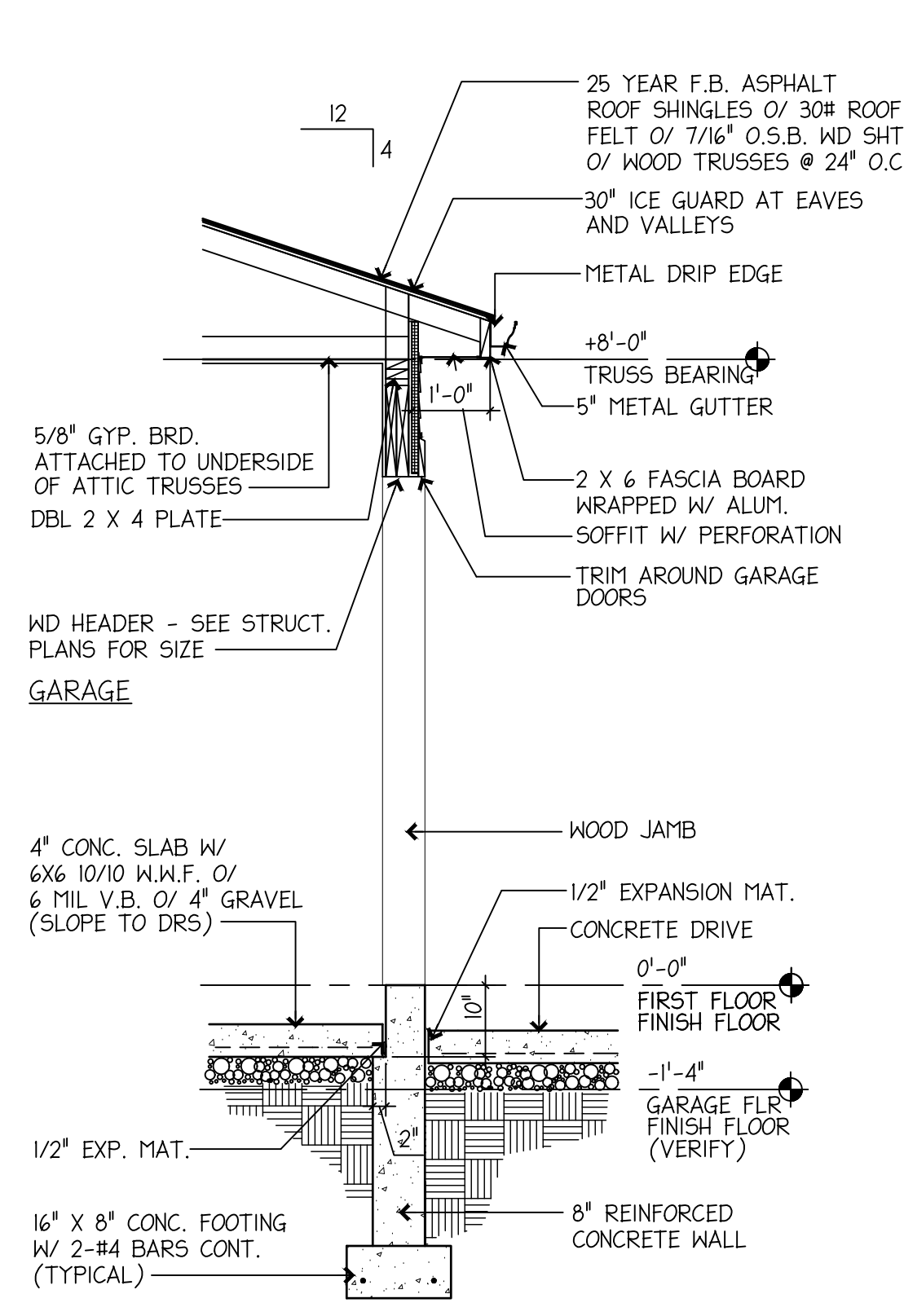
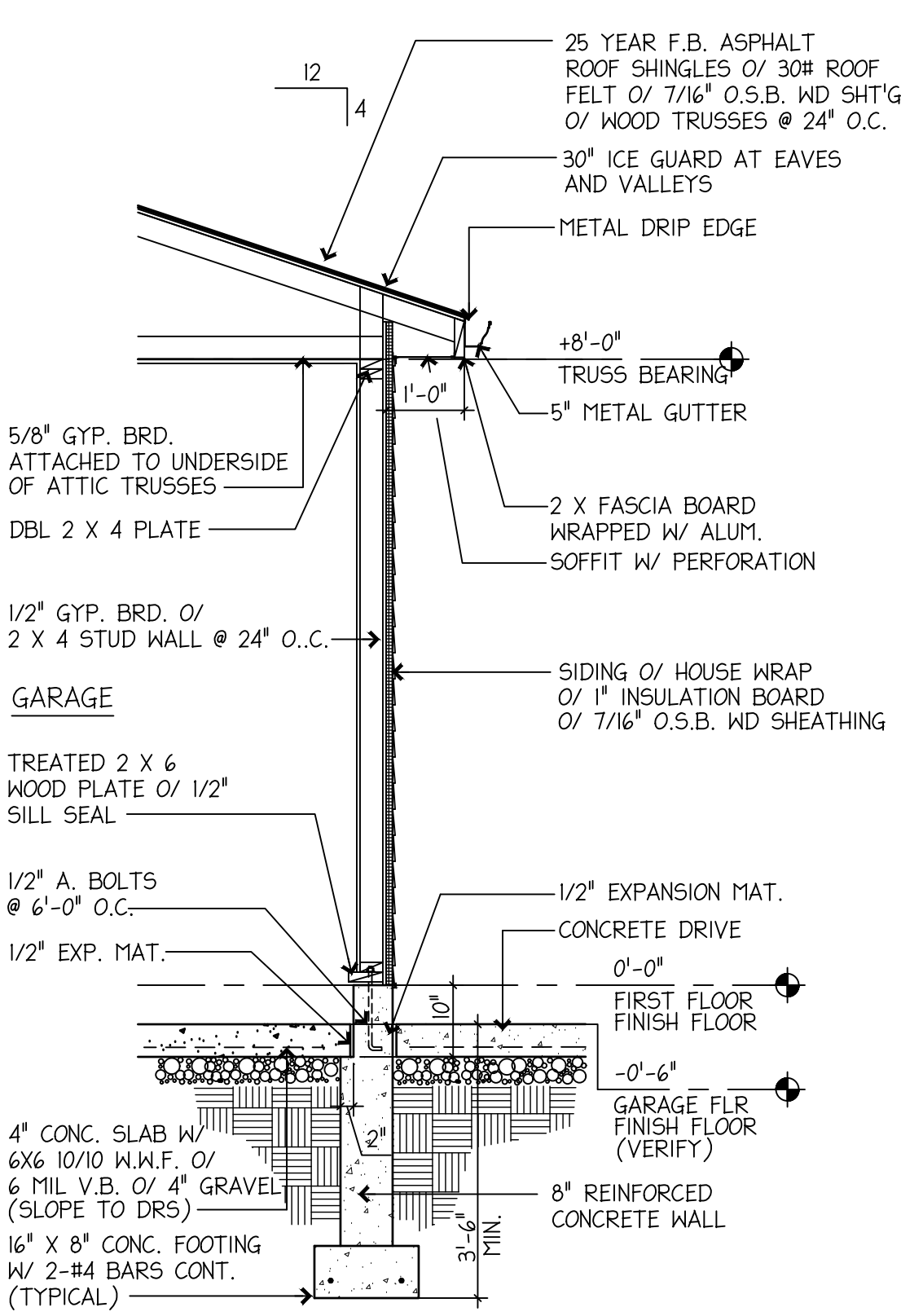
2 WALL SECTION
SCALE: 1/2"=1'-0"

SECTION NOTES:

- TRUSSES TO BE ENGINEERED BY TRUSS MANUFACTURER
- FIREBLOCK WALLS AS PER R602.8
- FOUNDATION DRAINS TO DISCHARGE TO DAYLIGHT OR APPROVED SYSTEM
- PROVIDE GROUNDING ELECTRODE TO FOOTING & ATTACH AS PER NEC 250.50 & 250.52 (A)(3). CONNECTION MUST BE INSPECTED PRIOR TO CONCRETE POUR



3 WALL SECTION
SCALE: 1/2"=1'-0"



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342 East Smith Road/Medina, Ohio 44256

498 DURLING HOME PLANS
498 DURLING DRIVE / WADSWORTH, OHIO

Roof Plan and Sections

Date: 05-10-2021
Revisions:

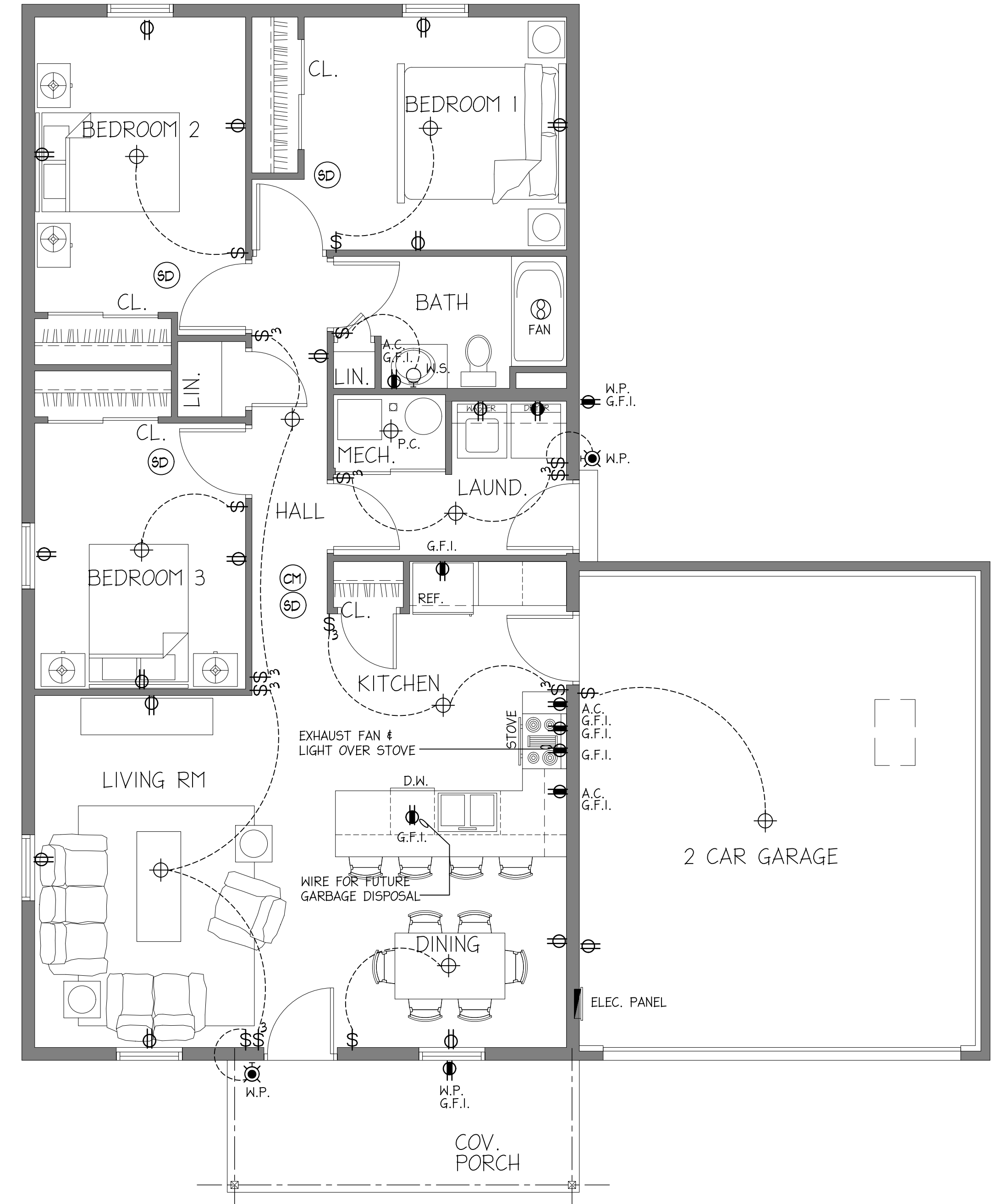
Project No.:

Sheet:

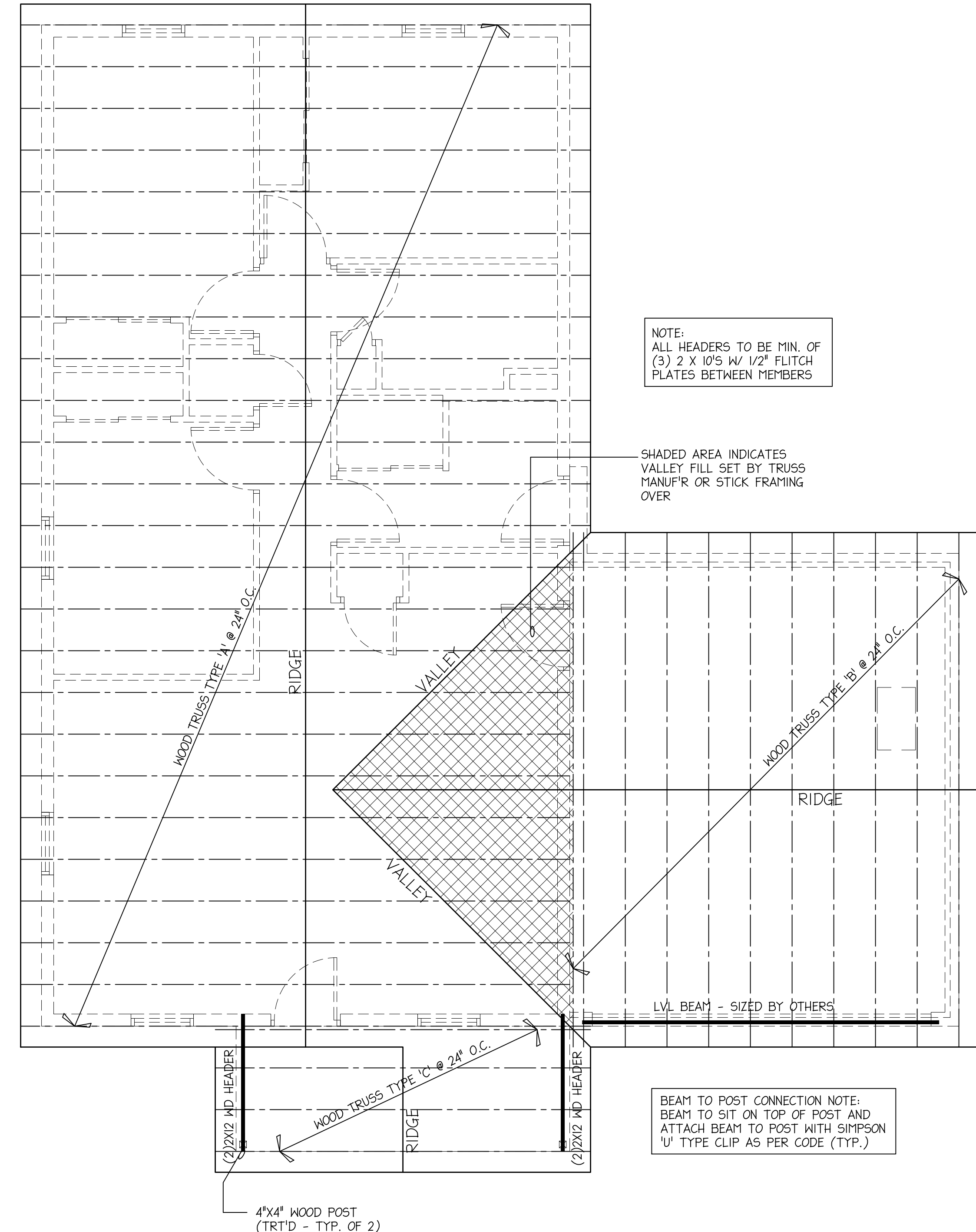
A103

Scale: See Plan

STRUCTURAL LOADS:
 ROOF LOADS:
 TOP LIVE LOAD ——— 40 PSF
 TOP DEAD LOAD ——— 10 PSF
 BOTTOM DEAD LOAD ——— 1 PSF



B ELECTRICAL FLOOR PLAN
 SCALE: 1/4"=1'-0"



A ROOF FRAMING PLAN
 SCALE: 1/4"=1'-0"
 TRUSS NOTE:
 THE WOOD TRUSS MANUFACTURER IS TO FURNISH CERTIFIED ENGINEERING TRUSS DRAWINGS WHICH INDICATE MEMBER AND JOIST SIZE, LOADING, LUMBER STRENGTH, AND BRACING REQUIREMENTS FOR THE BUILDERS & BUILDING DEPT. APPROVAL.

- ELECTRICAL NOTES:**
- DRAWINGS INDICATED THE MINIMUM DESIGN REQUIREMENTS. IN ADDITION, ALL NATIONAL, STATE, LOCAL AND NATIONAL ELECTRICAL CODES SHALL BE FOLLOWED. THE CONTRACTOR SHALL INCLUDE THE COST OF SATISFYING SUCH CODE IN THERE WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY POWER AND THE COST THEREOF.
 - A WRITTEN DIRECTORY SHALL BE PROVIDED IN PANEL BOX.
 - GROUND ALL CONDUITS, CABINETS, PANELS AND OTHER EXPOSED NON-CURRENT CARRYING METAL PARTS OF ELECTRICAL EQUIPMENT IN ACCORDANCE WITH ALL PROVISIONS OF ARTICLE 250 OF THE NATIONAL ELECTRIC CODE OR LOCAL CODES THAT MAY APPLY.
 - TEST GROUNDS, SHORT CIRCUITS AND PROPER FUNCTION OF ALL EQUIPMENT AFTER INSTALLATION IS COMPLETE. FAULTS IN INSTALLATION SHALL BE CORRECTED.
 - PRE WIRE HOUSE FOR PHONE IN KITCHEN AND ALL BEDROOMS.
 - INSTALL A MINIMUM OF ONE (1) HARDWIRED SMOKE DETECTOR (WITH BATTERY BACKUP) AT EACH BEDROOM, FLOOR AND BASEMENT AND/OR AS REQUIRED BY CODE.
 - INSTALL A HARDWIRED CARBON MONOXIDE DETECTOR (WITH BATTERY BACKUP) AT ALL BEDROOMS/BONUS ROOM ABOVE GARAGE PER LOCAL CODES.
 - 220V OUTLET AT DRYER LOCATION.
 - PROVIDE A 100 AMP SERVICE WITH MINIMUM 10% SPARE CIRCUITS.

- ELECTRICAL LEGEND:**
- Ⓜ - MOTOR
 - Ⓜ - ELECTRICAL PANEL
 - ▲ - TELEPHONE OUTLET
 - Ⓛ - DUPLEX (110 V) CONVENIENCE OUTLET - 16" AFF.
 - Ⓛ - DUPLEX (220 V) OUTLET
 - Ⓛ - GROUND FAULT (110 V) CIRCUIT INTERRUPTOR
 - Ⓛ - GROUND FAULT (110 V) CIRCUIT INTERRUPTOR - WEATHERPROOF
 - Ⓛ - SINGLE POLE SWITCH
 - Ⓛ - THREE WAY SWITCH
 - Ⓛ - CARBON MONOXIDE DETECTOR - HARD WIRED
 - Ⓛ - SMOKE DETECTOR - HARD WIRED W/ BATTERY BACK-UP (DUAL SENSOR PHOTOELECTRIC & IONIZATION TYPE)
 - Ⓛ - EXHAUST FAN
 - Ⓛ - OVERHEAD LIGHT FIXTURE
 - Ⓛ - EXTERIOR WALL MTD LIGHT FIXTURE
 - - INDICATES ELECTRICAL WIRE