

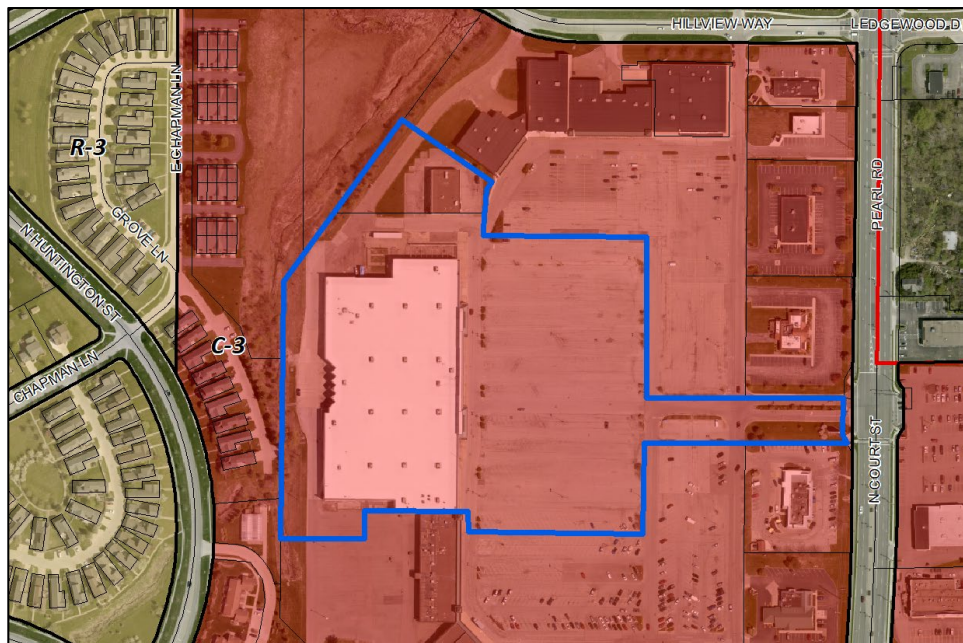
Z23-09 Meijer Redevelopment

Property Owner: DEL 570 II LLC & TKMO LLC
Applicant: Crisman Jones
Location: 1105 North Court Street
Zoning: C-3 (General Commercial)
Request: An area variance to Section 1109.04(c)(16) regarding design guidelines for large retail establishments and sign variance to Section 1147.14 to allow nonpermitted projecting signs, Section 1147.14(c) to allow a Shopping Center sign within required setbacks, and Section 1147.14(d) to allow more and larger building signs than permitted

LOCATION AND SURROUNDING USES

The subject site is composed of 14.7 acres located on the west side of North Court Street. Adjacent properties are zoned C-3 and contain the following uses and zoning:

- **North** – Retail
- **East** – Retail and Restaurant
- **South** – Retail
- **West** – Single-Family Residential



BACKGROUND & PROPOSED APPLICATION

The existing site was previously home to the Medina Super Kmart and has been vacant for an extended period of time. The applicant is proposing to demolish the existing 158,827 sq. ft. building on the site and construct a 160,621 sq. ft. Meijer. The proposed Meijer includes a drive through pharmacy and outdoor sales area on the south side of the building and customer pickup area and loading docks on the north side of the building. The site layout remains similar to the existing site with the building located on the west side of the site, parking in the central portion, and access to the north, south, and east.

SECTION 1109.04 – SITE PLAN DESIGN GUIDELINES

Section 1109.04(c) includes design guidelines for Site Plan review. Subsection (16) includes the following requirements applicable to Large Retail Establishments:

- A. Facades greater than 100 feet in horizontal length shall incorporate wall plane projects or recesses having a depth of at least three percent (3%) of the length of the façade and extending at least twenty percent (20%) of the façade. No uninterrupted length of any façade shall exceed 100 horizontal feet. Facades that have no customer entrance are only visible from service areas and are screened from abutting properties and customer parking are exempt from this requirement.
- B. Facades that face a public street shall have arcades, display windows, entry areas, awning or other such features along no less than sixty percent (60%) of their horizontal length.
- C. Each large parking lot must be divided into smaller lots through the incorporation of landscaping and/or pedestrian walkways.

The front facade of the building is subject to subsections A. and B. above and has a length of approximately 145 ft. without a wall projection and incorporates approximately 30% of feature areas. Though the facade does not meet the specific numerical requirements, it incorporates numerous concrete wall designs (wood, brick, stucco), color variations, and has prominent entrance features. Landscaping has also been incorporated adjacent to the building to soften the appearance of larger wall sections.

The parking lot is not divided into smaller lots per subsection C. above. However, the existing parking lot includes very little landscaping and the proposed parking lot exceeds the required internal parking lot landscaping. Landscaping also provides traffic control by dispersing vehicles entering the site from North Court Street and separating the site from the adjacent shopping center.

STANDARDS FOR VARIANCES AND APPEALS (SECTION 1107.08(i)) – AREA VARIANCE

Factors applicable to area or size-type variances ("practical difficulty"). The applicant shall show by a preponderance of the evidence that the variance is justified, as determined by the Board. The Board shall weigh the following factors to determine whether a practical difficulty exists and an area or size-type variance should be granted:

- A. Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance;
- B. Whether the variance is substantial;
- C. Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer substantial detriment as a result of the variance;
- D. Whether the variance would adversely affect the delivery of governmental services (e.g., water, sewer, garbage);
- E. Whether the property owner purchased the property with knowledge of the zoning restrictions;
- F. Whether the property owner's predicament feasibly can be obviated through some method other than a variance; and/or
- G. Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting a variance.

The applicant has indicated the following regarding the Standards for Variances and Appeals:

- The variance is necessary for the property to yield a reasonable return as it is suited for a large scale retail building.
- The variance is not substantial as the footprint of the building will largely remain the same.
- The proposed building will not alter or change the character of the neighborhood.

- The spirit and intent of the zoning requirement will be observed by providing an attractive redevelopment of the site.

SECTION 1147.14 – SIGNS IN COMMERCIAL AND INDUSTRIAL DISTRICTS

Section 1147.14 allows only wall, awning, or canopy signs on buildings in the C-3 district. The section does not allow projecting signs on a building in the C-3 district.

The applicant has proposed a 16 sq. ft. projecting sign with a pickup logo on the north side of the building and a 16 sq. ft. “Rx” sign on the south side of the building. The projecting signs identify locations for vehicular product pick area and the drive through pharmacy.

SECTION 1147.14(c) – SHOPPING CENTER SIGN REQUIREMENTS

Section 1147.14(c) allows for a single large freestanding Shopping Center sign in commercial developments. The sign requires a Conditional Sign Permit, which is reviewed by the Planning Commission. For the size of the subject shopping center, a sign is permitted to be 30 ft. tall, 500 sq. ft. in area, and setback 50 ft. from property lines and the right-of-way.

The proposed sign is compliant with height and size requirements at 30 ft. tall and 374 sq. ft. in area. However, the proposed sign is setback 5 ft. from the right-of-way and 24 ft. from the south property line in a similar location as the existing sign.

It should be noted that the right-of-way at the signalized intersection was expanded by 20 ft. in 2016 to accommodate the North Court Street reconstruction project.

SECTION 1147.14(d) – PERMANENT BUILDING SIGN REQUIREMENTS

Section 1147.14(d) allows one permanent building sign (wall, awning, or canopy) on the primary frontage of the building at a size of 1 sq. ft. per 1 linear foot of building frontage. The building is therefore permitted one building sign at up to 469 sq. ft. in area on the east side of the building.

The applicant has proposed the following building signs which exceed size requirements, exceed the maximum number, and are located on non-frontage building elevations:

Sign	Side of Building	Size
Meijer	East	800.5
Pharmacy	East	51.9
Pickup	East	34.6
Licensee	East	40.0
Licensee	East	40.0
Pharmacy Drive Up	South	44.8
Pickup	North	34.6
Total	-	1,046.4

“Home”, “Fresh”, and “Welcome” signs are considered window signs and meet code requirements.

STANDARDS FOR VARIANCES AND APPEALS (SECTION 1107.08(i)) – SIGN VARIANCE

The applicant shall show by a preponderance of the evidence that the variance is justified, as determined by the Board. The Board shall weigh the following factors to determine whether a practical difficulty exists and a sign variance should be granted:

- A. Construction of a conforming sign would obstruct the vision of motorists or otherwise endanger public health or safety;
- B. A conforming sign would be blocked from the sight of passing motorists due to existing buildings, trees or other obstructions;
- C. Construction of a conforming sign would require removal or severe alteration to significant features on the site, such as removal of trees, alteration of the natural topography, obstruction of a natural drainage course, or alteration or demolition of significant historical features or site amenities;
- D. A sign that exceeds the allowable height or area standards of this Ordinance would be more appropriate in scale because of the large size or frontage of the premises or building;
- E. The exception shall not adversely impact the character or appearance of the building or lot or the neighborhood;
- F. The variance sought is the minimum necessary to allow reasonable use, visibility, or readability of the sign; and/or
- G. The variance will be consistent with the general spirit and intent of this Ordinance.

The applicant has indicated the following regarding the Standards for Variances and Appeals:

Section 1147.14 – Projecting Signs

- The signs are appropriate in scale due to the large size and frontage of the building and assist vehicular traffic in wayfinding.
- The signs do not adversely impact the character or appearance of the building and have been designed to enhance the aesthetics of the structure.
- The variance sought is the minimum necessary to assist vehicular wayfinding on the site.

Section 1147.14(c) – Shopping Center Sign

- A conforming sign would hinder public health and safety and would be blocked from the sight of passing motorists due to existing buildings, trees, and other obstructions.
- Construction of a conforming sign would require the removal of significant features, such as trees.
- The sign will not adversely impact the character or appearance of the building, lot, or neighborhood and has been designed to be harmonious with the development.
- The variance is the minimum necessary for the content to be visible to drivers.

Section 1147.14(d) – Building Signs

- A conforming sign would hinder public health and safety and would be blocked from the sight of passing motorists due to the distance and existing buildings, trees, and other obstructions between the building and the right-of-way.
- The signs do not adversely impact the character or appearance of the building and have been designed to enhance the aesthetic of the development.
- The variance is the minimum necessary for the content to be visible to drivers.

Section 1109.04(c)(16) - Design Guidelines

FACTORS APPLICABLE TO AREA OR SIZE-TYPE VARIANCES ("PRACTICAL DIFFICULTY")

The applicant shall show by a preponderance of the evidence that the variance is justified, as determined by the Board. The Board shall weigh the following factors to determine whether a practical difficulty exists and an area or size-type variance should be granted:

A. Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance;

Currently, the property is an existing 160,000 sf vacant former Kmart. The property will not yield a reasonable return unless the existing building size is replicated on the property. In our opinion, without the variance the property has decreased value as the parcel is developed for a large single use project.

B. Whether the variance is substantial;

An existing structure of 160,000 sf occupies the parcel and our variance request is for effectively the same size building and in our opinion this is not a substantial variance request.

C. Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer substantial detriment as a result of the variance;

In our opinion due the parcels current and past use, our proposed project does not alter or change the character of the neighborhood.

D. Whether the variance would adversely affect the delivery of governmental services (e.g., water, sewer, garbage);

No as all governmental services are currently available.

E. Whether the property owner purchased the property with knowledge of the zoning restrictions;
Yes.

F. Whether the property owner's predicament feasibly can be obviated through some method other than a variance; and/or

No.

G. Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting a variance.

Yes as we believe that the replacement of the vacant Kmart provides an attractive redevelopment and reuse of the property.

Section 1147.14 - Projecting Signs

FACTORS APPLICABLE TO SIGN VARIANCES ("PRACTICAL DIFFICULTY")

The applicant shall show by a preponderance of the evidence that the variance is justified, as determined by the Board. The Board shall weigh the following factors to determine whether a practical difficulty exists and a sign variance should be granted:

A. Construction of a conforming sign would obstruct the vision of motorists or otherwise endanger public health or safety;

Not applicable as a conforming sign is not contemplated or permitted by the ordinance.

B. A conforming sign would be blocked from the sight of passing motorists due to existing buildings, trees or other obstructions;

Not applicable as a conforming sign is not contemplated or permitted by the ordinance.

C. Construction of a conforming sign would require removal or severe alteration to significant features on the site, such as removal of trees, alteration of the natural topography, obstruction of a natural drainage course, or alteration or demolition of significant historical features or site amenities;

Not applicable as a conforming sign is not contemplated or permitted by the ordinance.

D. A sign that exceeds the allowable height or area standards of this Ordinance would be more appropriate in scale because of the large size or frontage of the premises or building;

Yes. Due to the scale of the proposed building, we believe the additional projecting signage is appropriate and

necessary to assist the motoring public in a safe and efficient arrival. The signage serves as practical wayfinding

throughout the site and parking area.

E. The exception shall not adversely impact the character or appearance of the building or lot or the neighborhood;

We believe the proposed projecting sign does not adversely impact the character or appearance of the building.

The signs have been designed to enhance the aesthetic of the proposed structure within the development as well

as providing additional wayfinding for motorists.

F. The variance sought is the minimum necessary to allow reasonable use, visibility, or readability of the sign; and/or

Yes. We believe the allowance as well as the height, size, and location of the proposed projecting signage is the

minimum necessary to assist the motoring public in navigating the site and allowing for the safe arrival of

motorists.

G. The variance will be consistent with the general spirit and intent of this Ordinance.

Yes. We believe the proposed projecting signage is consistent with the spirits and intent of the

ordinance regarding a cohesive community redevelopment and enhances public safety.

Section 1147.14(c) - Shopping Center Sign

FACTORS APPLICABLE TO SIGN VARIANCES ("PRACTICAL DIFFICULTY")

The applicant shall show by a preponderance of the evidence that the variance is justified, as determined by the Board. The Board shall weigh the following factors to determine whether a practical difficulty exists and a sign variance should be granted:

A. Construction of a conforming sign would obstruct the vision of motorists or otherwise endanger public health or safety;

Yes. The construction of the joint development sign in a conforming location would place the sign farther back from the existing right-of-way than the current sign. We believe, the existing visual obstructions along the corridor make the location of a conforming sign more difficult to see which results in a less safe condition for motorists.

B. A conforming sign would be blocked from the sight of passing motorists due to existing buildings, trees or other obstructions;

Yes. Construction of the joint development sign in a conforming location from the right-of-way would be blocked by existing buildings, trees, and other visual obstructions that currently exist.

C. Construction of a conforming sign would require removal or severe alteration to significant features on the site, such as removal of trees, alteration of the natural topography, obstruction of a natural drainage course, or alteration or demolition of significant historical features or site amenities;

Yes. Construction of the joint development sign in a conforming location would require the reconstruction of the existing landscaping as well as the removal of several mature trees.

D. A sign that exceeds the allowable height or area standards of this Ordinance would be more appropriate in scale because of the large size or frontage of the premises or building;

No. The joint development sign as proposed is within the area allowances by the code.

E. The exception shall not adversely impact the character or appearance of the building or lot or the neighborhood;

Yes, as the proposed joint development sign has been designed to be harmonious with the aesthetic of the existing and proposed structures within the development.

F. The variance sought is the minimum necessary to allow reasonable use, visibility, or readability of the sign; and/or

Yes. We believe the height, size, and location of the proposed joint development sign is the minimum necessary to allow the motoring public an appropriate amount of time to effectively interpret the sign and to make an informed decision to safely arrive at the development.

G. The variance will be consistent with the general spirit and intent of this Ordinance.

Yes. We believe the proposed joint development sign is consistent with the spirits and intent of the ordinance.

Section 1147.14(d) - Building signs

FACTORS APPLICABLE TO SIGN VARIANCES ("PRACTICAL DIFFICULTY")

The applicant shall show by a preponderance of the evidence that the variance is justified, as determined by the Board. The Board shall weigh the following factors to determine whether a practical difficulty exists and a sign variance should be granted:

A. Construction of a conforming sign would obstruct the vision of motorists or otherwise endanger public health or safety;

Yes. Due to the considerable distance between the proposed building and the public right-of-way, as well as existing visual obstructions along the corridor, the construction of conforming building signage would not be easily visible to the motoring public and could lead to delayed wayfinding decisions which could result in a less safe condition for motorists.

B. A conforming sign would be blocked from the sight of passing motorists due to existing buildings, trees or other obstructions;

Yes. The construction of conforming building signage would be significantly blocked by existing buildings, trees, and other visual obstructions that currently exist.

C. Construction of a conforming sign would require removal or severe alteration to significant features on the site, such as removal of trees, alteration of the natural topography, obstruction of a natural drainage course, or alteration or demolition of significant historical features or site amenities;
Not applicable.

D. A sign that exceeds the allowable height or area standards of this Ordinance would be more appropriate in scale because of the large size or frontage of the premises or building;

Yes. The area of the proposed building signage will be of a more appropriate scale given the length and height of the proposed structure. The larger building and proportional signage contributes to the aesthetic of the building while serving as functional wayfinding throughout the site and parking area.

E. The exception shall not adversely impact the character or appearance of the building or lot or the neighborhood;

No. We believe the building signage as proposed has been designed to compliment the aesthetic of the existing and proposed structures within the development.

F. The variance sought is the minimum necessary to allow reasonable use, visibility, or readability of the sign; and/or

Yes. We believe the height, size and location of the proposed building signage is the minimum necessary to allow the motoring public an appropriate amount of time to effectively interpret the sign and make an informed decision to safely arrive and park at the Meijer store.

G. The variance will be consistent with the general spirit and intent of this Ordinance.

Yes. We believe the proposed building signage is consistent with the spirits and intent of the ordinance.



MEIJER STORE MED
1105 NORTH COURT STREET
MEDINA, MEDINA COUNTY, OHIO 44256

SITE PLAN SUBMITTAL
ISSUE DATE: 05/18/2023
PROJECT NUMBER: 10017851

±14.7 ACRES LOCATED IN A PART OF CITY LOT 5760 AND THE WHOLE OF CITY LOT NO. 5678 AND ALSO BEING WITHIN TOWNSHIP 3 NORTH, RANGE 14 WEST OF THE CONNECTICUT WESTERN RESERVE



4454 Idea Center Boulevard
Dayton, OH 45430
937.461.5660



2929 WALKER AVENUE
GRAND RAPIDS, MICHIGAN 49544
(616) 453-6711

CIVIL DRAWING INDEX

CURRENT DATE	SHEET #	SHEET NAME
05/18/23	C-001	COVER SHEET
05/18/23	C-100	EXISTING CONDITIONS - DEMOLITION PLAN
05/18/23	C-200	SITE LAYOUT - PAVEMENT PLAN
05/18/23	C-300	SITE GRADING - DRAINAGE PLAN
05/18/23	C-400	UTILITY PLAN
05/18/23	C-401	UTILITY PLAN
05/18/23	C-500	TRAFFIC CONTROL SIGNAGE - STRIPING PLAN
05/18/23	C-501	EXTERIOR SIGNAGE DETAILS
05/18/23	C-600	LANDSCAPE PLAN
05/18/23	C-601	LANDSCAPE DETAILS
05/18/23	C-801	SITE PHOTOMETRIC PLAN
05/18/23	C-802	SITE ELECTRICAL DETAILS

GENERAL NOTES

- CONDUCT SITE CLEARING OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. STREETS AND ROADWAYS SHALL BE THOROUGHLY CLEANED AND/OR SWEEPED ON A DAILY BASIS OR MORE FREQUENTLY AS REQUIRED. RESTORE DAMAGED IMPROVEMENTS TO ORIGINAL CONDITION AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
 - PROVIDE DUST CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES.
 - ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH SPECIFICATIONS.
 - UNLESS SPECIFIED OTHERWISE, ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH MEIJER STANDARD SPECIFICATIONS, THE STATE DEPARTMENT OF ENVIRONMENTAL QUALITY STANDARDS, DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND/OR THE APPROPRIATE LOCAL AUTHORITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES, AND LICENSE FEES, UNLESS NOTED OTHERWISE.
 - RELOCATION OF ANY UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY. OBTAIN WRITTEN APPROVAL FROM THE ENGINEER BEFORE ANY UTILITY RELOCATION.
 - ELECTRONIC FILES IN DWG FORMAT WILL BE SUPPLIED TO THE CONSTRUCTION MANAGER FOR LAYOUT AND GRADING.
 - ELECTRONIC FILE USE TERMS AND CONDITIONS:
 - RECIPIENT ACKNOWLEDGES THAT ANY USE OF THE TRANSFERRED DATA IS FOR INFORMATION ONLY AND NOT GUARANTEED OR WARRANTED BY MEIJER OR ITS CONSULTANTS. USE OF TRANSFERRED DATA BY THE RECIPIENT SHALL BE AT RECIPIENT'S SOLE RISK. RECIPIENT ACKNOWLEDGES THAT THE AUTOMATED CONVERSION OF INFORMATION AND DATA FROM THE ORIGINAL FORMAT AND SYSTEM TO AN ALTERNATE FORMAT OR SYSTEM CAN NOT BE ACCOMPLISHED WITHOUT THE INTRODUCTION OF HEXADECIMAL ANOMALIES, AND ERRORS. RECIPIENT FURTHER ACKNOWLEDGES THAT THE ELECTRONIC DATA MAY NOT BE FULLY COMPATIBLE WITH RECIPIENT'S COMPUTER SYSTEM AND NEITHER MEIJER NOR ITS CONSULTANTS MAKE NO REPRESENTATIONS REGARDING SUCH COMPATIBILITY.
 - ACCORDINGLY, WITH RESPECT TO THE CONVERSION AND USE OF SUCH ELECTRONIC DATA, RECIPIENT AGREES TO ASSUME ALL RISKS ASSOCIATED THEREWITH, AND TO THE FULLEST EXTENT PERMITTED BY LAW, TO HOLD HARMLESS AND INDEMNIFY MEIJER AND THEIR CONSULTANTS FROM AND AGAINST ALL CLAIMS, LIABILITIES, LOSSES, DAMAGES, AND COSTS, INCLUDING BUT NOT LIMITED TO ATTORNEY'S FEES AND COSTS, WHETHER OR NOT SUIT HAS BEEN FILED, ARISING OUT OF, OR IN ANY WAY CONNECTED WITH THE USE, MODIFICATION, MISINTERPRETATION, MISUSE, OR REUSE BY RECIPIENT OR OTHERS OF THE ELECTRONIC DATA WHICH IS PROVIDED BY MEIJER OR ITS CONSULTANTS UNDER THESE TERMS AND CONDITIONS.
 - THESE TERMS AND CONDITIONS SHALL BE BINDING UPON THE SUCCESSORS AND ASSIGNS OF THE PARTIES.
- UPON ACCEPTANCE OF THE ELECTRONIC DATA TRANSMISSION, RECIPIENT HEREBY AGREES TO THE FOREGOING TERMS AND CONDITIONS. IF RECIPIENT DOES NOT AGREE TO THE FOREGOING TERMS AND CONDITIONS, MEIJER AND ITS CONSULTANTS DO NOT AUTHORIZE THE USE OF THE TRANSMITTED DATA, AND RECIPIENT SHALL DESTROY THE TRANSMITTED DATA AND NOTIFY MEIJER OR ITS CONSULTANTS OF THE SAME BY PROVIDING WRITTEN NOTICE WITHIN ONE DAY OF TRANSMISSION. FAILURE TO PROVIDE SUCH NOTICE SHALL ACT AS WAIVER AND RECIPIENT SHALL BE BOUND TO THE FOREGOING TERMS AND CONDITIONS.

LOCAL UTILITY LOCATING AGENCY

ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS, AND HOLIDAYS) AND CALL LOCAL UTILITY LOCATING AGENCY AT 811.

EXISTING UTILITY LOCATIONS SHOWN SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPUTATIONS.

SURVEY

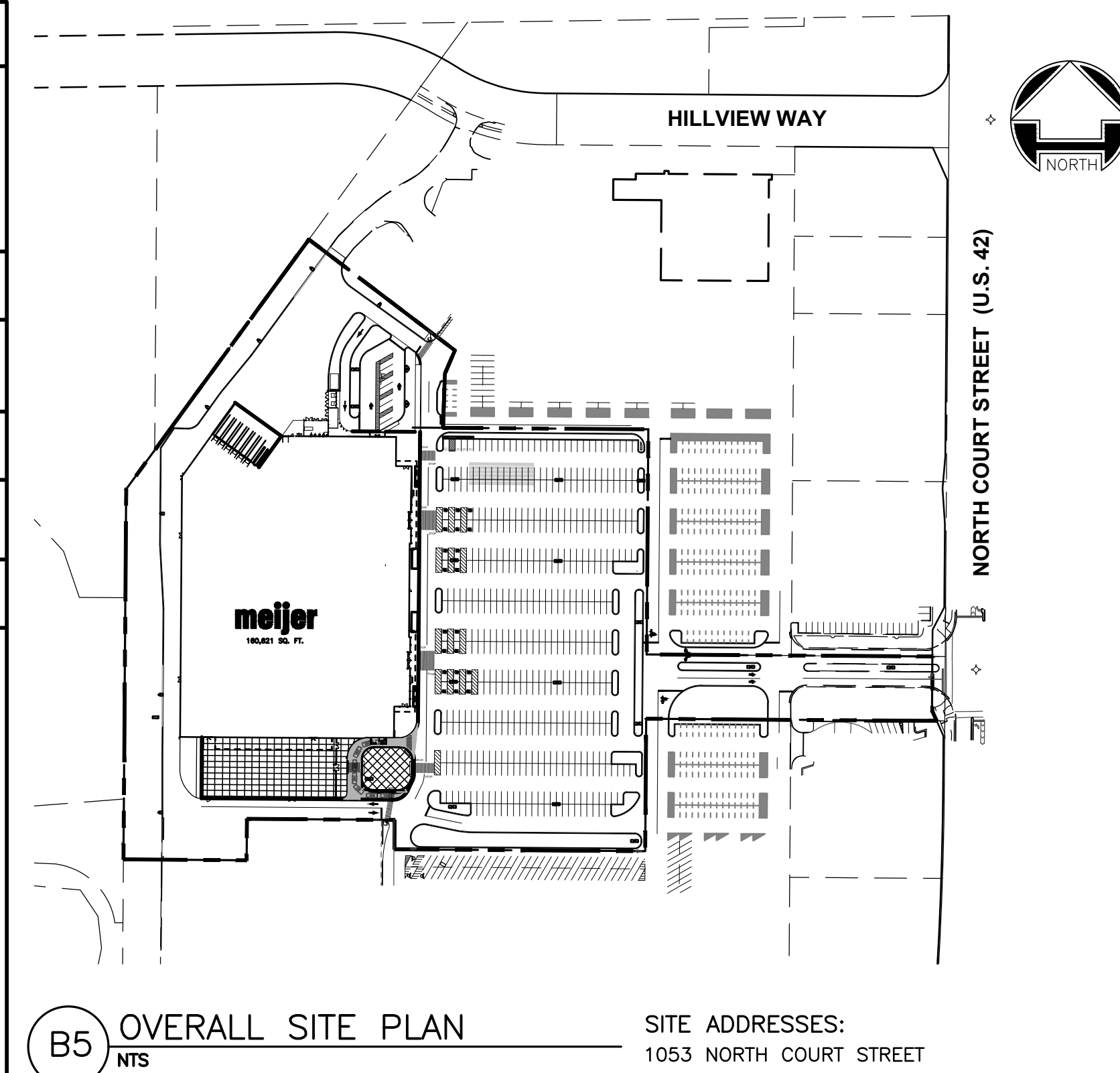
EXISTING TOPOGRAPHY IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY WOOLPERT, IN MEDINA, OHIO, COMPLETED ON APRIL 7, 2023.

GEOTECHNICAL

GEOTECHNICAL ASSESSMENT CURRENTLY UNDERWAY.

SHEET KEYNOTE INSTRUCTIONS

SHEET KEYNOTES ARE NOTED WITHIN THE GRAPHIC AREA OF THE DRAWING. THESE ARE REPRESENTED BY A NUMBER SURROUNDED BY A HEXAGON, WITH OR WITHOUT A LEADER. A LEGEND ON THE RIGHT SIDE OF THE PAGE LISTS THE NOTES IN NUMERICAL ORDER.



REV.	DATE	DESCRIPTION

SYMBOL LEGEND

	EXISTING MAJOR CONTOUR		8" SAN SANITARY SEWER & MANHOLE
	EXISTING MINOR CONTOUR		WYE & LEAD
	NEW MINOR CONTOUR		RISER & LEAD
	NEW MAJOR CONTOUR		STANDARD SEWER CLEANOUT
	CENTER OF DITCH		12" SD STORM SEWER & MANHOLE
	LOT LINE (AS PLATTED)		CATCH BASIN WITH EROSION CONTROL
	R.O.W. LINE		UNDERDRAIN
	SECTION LINE		8" WTR WATER MAIN
	FENCE		8" WTR VALVE & BOX
	GRAVEL SURFACE		METER
	PAVED SURFACE		PLUG
	EXISTING CURB & GUTTER		STANDARD FIRE HYDRANT ASSEMBLY
	PROPOSED CURB & GUTTER		CURB STOP & BOX
	TURN DOWN CONCRETE SLAB		G GAS MAIN
	SIGN		UE UNDERGROUND ELECTRIC
	SITE LIGHT POLES		UT UNDERGROUND TELEPHONE
	BENCH MARK		TELEPHONE PEDESTAL
	SECTION CORNER		CONCRETE SLAB
	EASEMENT LINE		HEAVY DUTY ASPHALT
	PROPOSED ELEVATION		LIGHT DUTY ASPHALT
	PROPOSED PAVEMENT MARKING (PAINTING)		MATCH LINE
	PROPOSED BARRIER FREE PARKING		

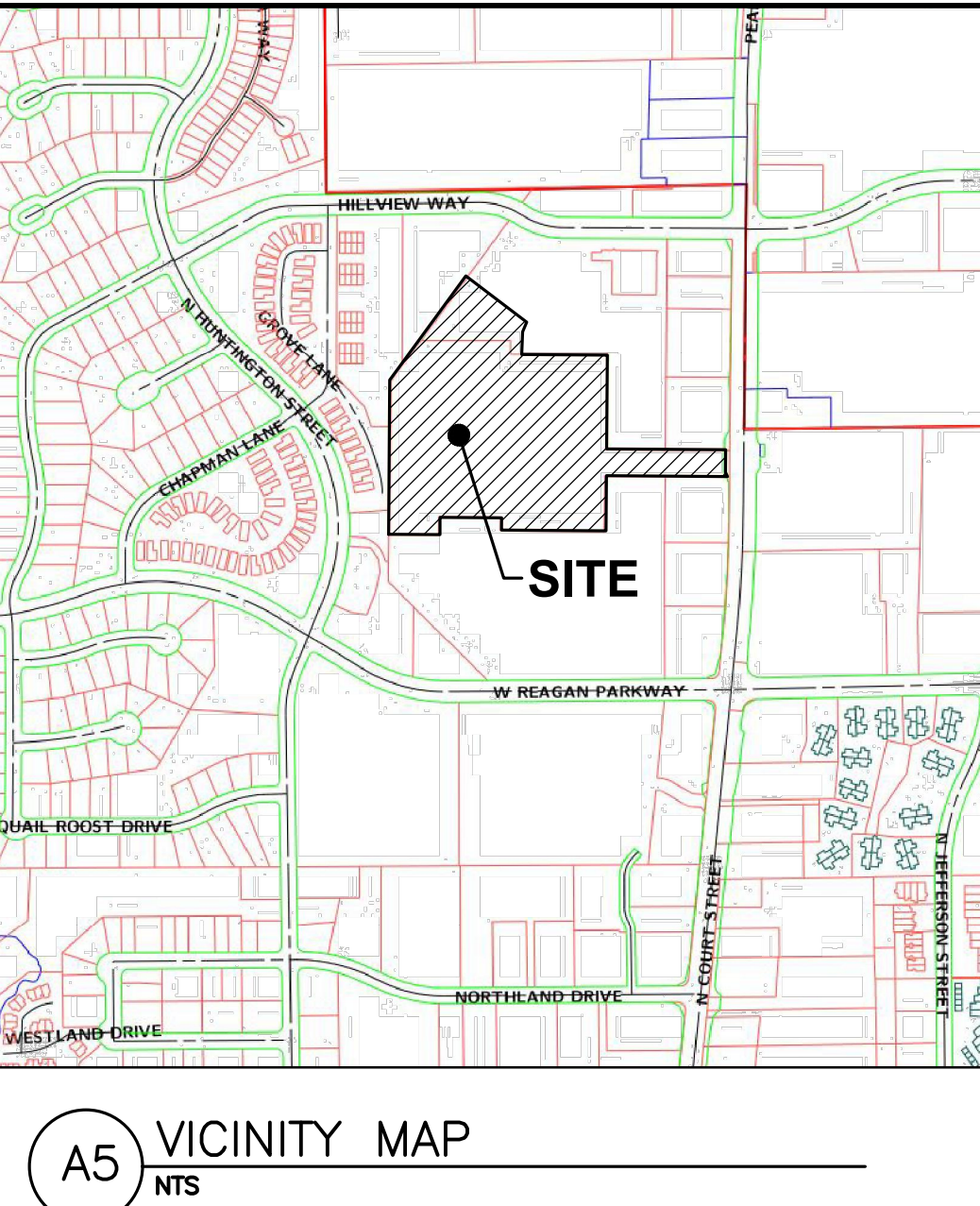
ABBREVIATIONS

A	AREA	MAT'L	MATERIAL
ALT	ALTERNATE	MAX	MAXIMUM
AMP	AMPERE	MECH	MECHANICAL
ARCH	ARCHITECTURAL	MIN	MINIMUM
ASTM	AMERICAN SOCIETY FOR TESTING & MATERIALS	MH	MANHOLE
B/C	BACK OF CURB	(N)	NORTH
BIT	BITUMINOUS PAVEMENT	OC	ON CENTER
BM	BENCH MARK	OSHA	OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION
CA	CONDUIT	PC	POINT OF CURVATURE
CAL	CALIPER	PE	POLYETHYLENE
CB	CATCH BASIN	PH	PHASE
CFH	CUBIC FEET PER HOUR	PSI	POUNDS PER SQUARE INCH
CPM	CONCRETE PER MINUTE	PT	POINT OF TANGENCY
CIR	CIRCUIT	PVC	POLYVINYL CHLORIDE
CONC	CONCRETE	PVMT	PAVEMENT
CONC DIA	CONCRETE DIAMETER	R	RADIUS
(E)	EAST	RCP	REINFORCED CONCRETE PIPE
E.I.F.S.	EXTERIOR INSULATION FINISHING SYSTEM	RE	REFERENCE
EL. ELEV	ELEVATION	REQ'D	REQUIRED
EQ	EQUIVALENT	ROW	RIGHT-OF-WAY
ES	END SECTION	RW	RETAINING WALL
ETC	ETCETERA	(N)	NORTH
FH	FIRE HYDRANT	ETC	ETCETERA
FF	FINISHED FLOOR	SB	SOIL BORING
FS	FOOT SQUARE	SF, SQ.FT.	SQUARE FEET
FT	FOOT	SQ	SQUARE
GD, GRD	GROUND	ST	STORM SEWER
GP	GUTTER PAN	STRUC	STRUCTURE
GPD	GALLONS PER DAY	TC	TOP OF CURB
GPM	GALLONS PER MINUTE	TEL	TELEPHONE
GV&BOX	GATE VALVE AND BOX	TP	TOP OF PAVEMENT
HC	HIGH CAPACITY	TRNF	TRANSFORMER
HD	HEAVY DUTY	TS	TOP OF SLAB
HEX	HEXAGON	TW	TOP OF WALL
HT	HEIGHT	TYP	TYPICAL
IE	INVERT ELEVATION	UC	UTILITY CROSSING
KVA	KILOVOLT AMPERE	UD	UNDER DRAIN
LBS	POUNDS	W	WIRE
LD	LIGHT DUTY	(W)	WEST
LED	LIGHT EMITTING DIODE	W/	WITH
LF	LINEAR FEET	WC	WATER COLUMN
LG	LARGE	WTR	WATER
MANUF	MANUFACTURE	WWF	WELDED WIRE FABRIC

AGENCIES

ZONING CITY OF MEDINA COMMUNITY DEVELOPMENT DEPARTMENT 132 N. ELMWOOD AVE. MEDINA, OH 44256 ANDREW DUTTON ADUTTON@MEDINA.OH.GOV (330) 722-9023	ELECTRIC FIRST ENERGY-OHIO EDISON 341 WHITE POND DRIVE AKRON, OH 44320 EMILY GROSS EGROSS@FIRSTENERGYCORP.COM (330) 436-1331
SANITARY MEDINA COUNTY SANITARY ENGINEERS 791 W. SMITH ROAD MEDINA, OH 44256 J.MARTIN@MEDINACO.OH.GOV (330) 764-8328	GAS COLUMBIA GAS 2901 E. MANHATTAN BLVD TOLEDO, OH 43611 JAMIE BRIEHL JBRIEHL@GASOURCE.COM (419) 539-6049
WATER CITY OF MEDINA WATER DEPARTMENT 132 N. ELMWOOD AVE MEDINA, OH 44256 NINO PICCOLI NPICCOLI@MEDINA.OH.GOV (330) 722-9082	TELEPHONE & INTERNET FRONTIER 921 STEUBENVILLE AVE. CAMBRIDGE, OH 43725 (888) 997-1062
STORMWATER CITY OF MEDINA ENGINEERING DEPARTMENT 132 N. ELMWOOD AVE MEDINA, OH 44256 PATRICK PATTON, CITY ENGINEER PPATTON@MEDINA.OH.GOV (330) 721-4721	FIRE CITY OF MEDINA FIRE DEPARTMENT CHIEF LARRY WALTERS LWALTERS@MEDINA.OH.GOV (330) 725-1772
	POLICE CITY OF MEDINA POLICE DEPARTMENT LIEUTENANT SCOTT MARCUM SMARCUM@MEDINA.OH.GOV (330) 725-7777

VICINITY MAP



DEVELOPER:
MEIJER STORES LIMITED PARTNERSHIP
MICHAEL FLOCKINGER, VICE PRESIDENT - REAL ESTATE & STORE DEVELOPMENT
2350 THREE MILE ROAD
GRAND RAPIDS, MI 49544
(616) 453-6711

OWNER:
DEL 570 II, LLC
ERIC RECOON, VICE PRESIDENT, DEVELOPMENT AND LEASING
570 DELAWARE AVENUE
BUFFALO, NY 14202
(716) 878-9459

ENGINEER:
WOOLPERT INC.
BRIAN L. SMALLWOOD, P.E.
4454 IDEA CENTER BLVD
DAYTON, OH 45430
(937) 531-1691

MEIJER STORE MED
1105 N COURT STREET
MEDINA, OHIO 44256

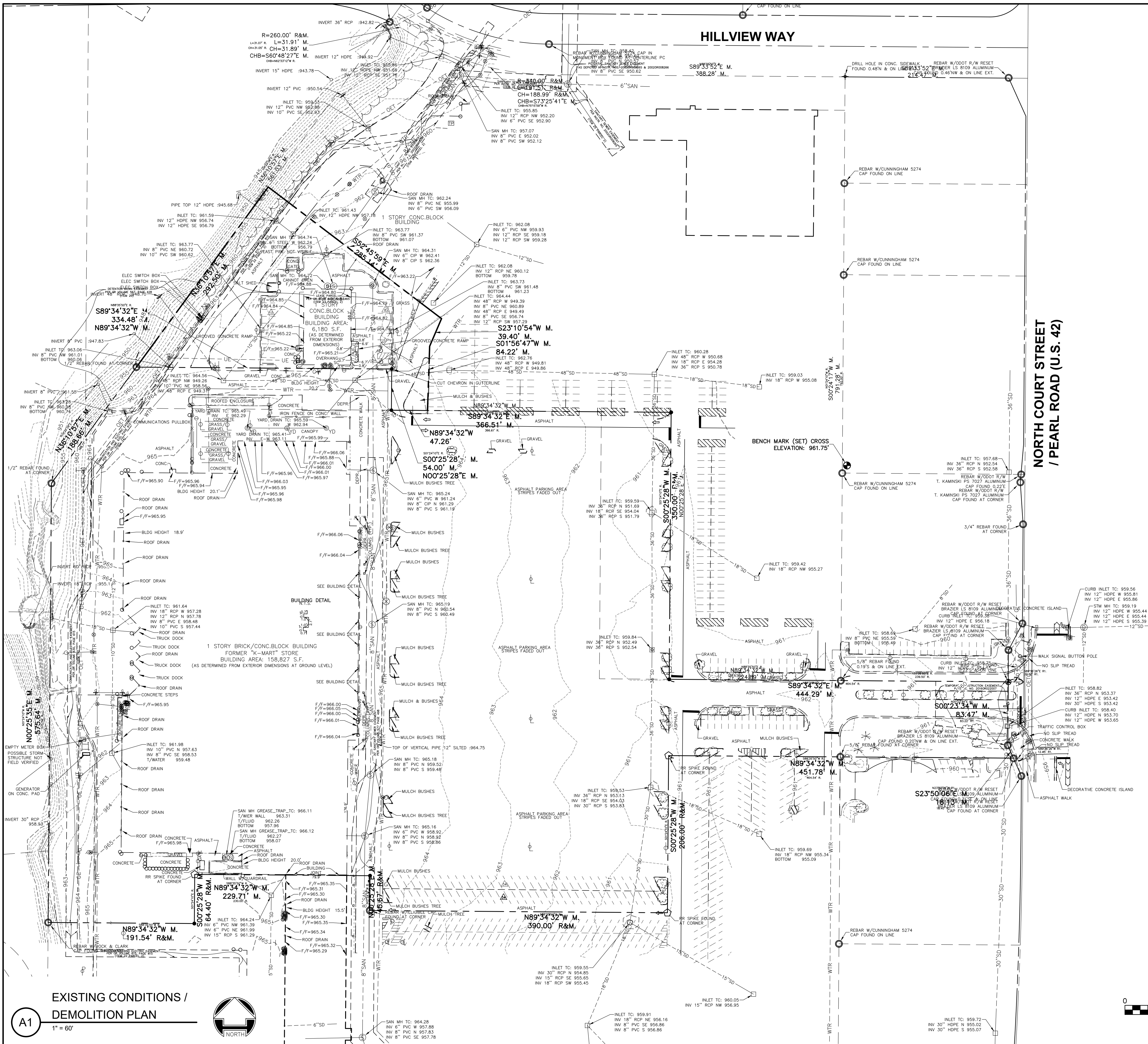
COVER SHEET

ISSUED FOR:	
PERMIT	MM/DD/YY
BID	MM/DD/YY
CONSTRUCTION	MM/DD/YY
PROJECT MANAGER	DESIGNER
BLS	JMR
JOB NO. 10017851	
C-001	



Images: Meijer MED - Additional Surveys.jpg; Topo Aerial.jpg; Xrefs: 10017851-bk.dwg; 10017851-p.dwg; 10017851-x.dwg
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EXISTING LEGEND

- 901--- EXISTING 1' CONTOUR
- 900--- EXISTING 5' CONTOUR
- SD--- STORM SEWER
- SAN--- SANITARY SEWER
- WTR--- WATER LINE
- G--- GAS LINE
- OE--- OVERHEAD ELECTRIC
- OETC--- OVERHEAD ELECTRIC, TELEPHONE AND CABLE
- F--- FENCE
- W--- WOOD STOCKADE FENCE
- T--- TREE LINE
- CATCH BASIN
- CURB INLET
- STORM MANHOLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- SPRINKLER CONTROL VALVE
- GAS REGULATOR
- GAS VALVE
- ELECTRIC METER
- POWER POLE
- TELEPHONE/POWER/CABLE POLE
- LIGHT POLE
- GUY POLE
- GUY WIRE
- SIGN
- DECIDUOUS TREE
- CONIFEROUS TREE
- BENCHMARK
- IRON PIN FOUND
- IRON PIPE FOUND

WOOLPERT
 ARCHITECTURE | ENGINEERING | GEOGRAPHICAL
 4454 Idea Center Boulevard
 Dayton, OH 45430
 937.461.5660

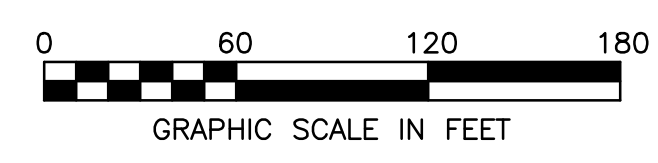
meijer
 2929 WALKER AVENUE
 GRAND RAPIDS, MICHIGAN 49544
 (616) 453-6711

REV.	DATE	DESCRIPTION

MEIJER STORE MED
 1105 N COURT STREET
 MEDINA, OHIO 44256

EXISTING CONDITIONS / DEMOLITION PLAN

BENCHMARK:
 THE BASIS OF ELEVATIONS HEREON IS NAVD 88 PER OBSERVATIONS OF SELECTED STATIONS IN THE NATIONAL GEODETIC SURVEY CONTINUOUSLY OPERATING REFERENCE STATION (NGS CORS) NETWORK. CROSS ON THE EAST BONNET BOLT OF FIRE HYDRANT - SEE DRAWING FOR LOCATION.
 ELEVATION = 961.75'



Ohio Utilities Protection Service
Call 811
 before you dig

ISSUED FOR:	
PERMIT:	MM/DDYY
BID:	MM/DDYY
CONSTRUCTION:	MM/DDYY

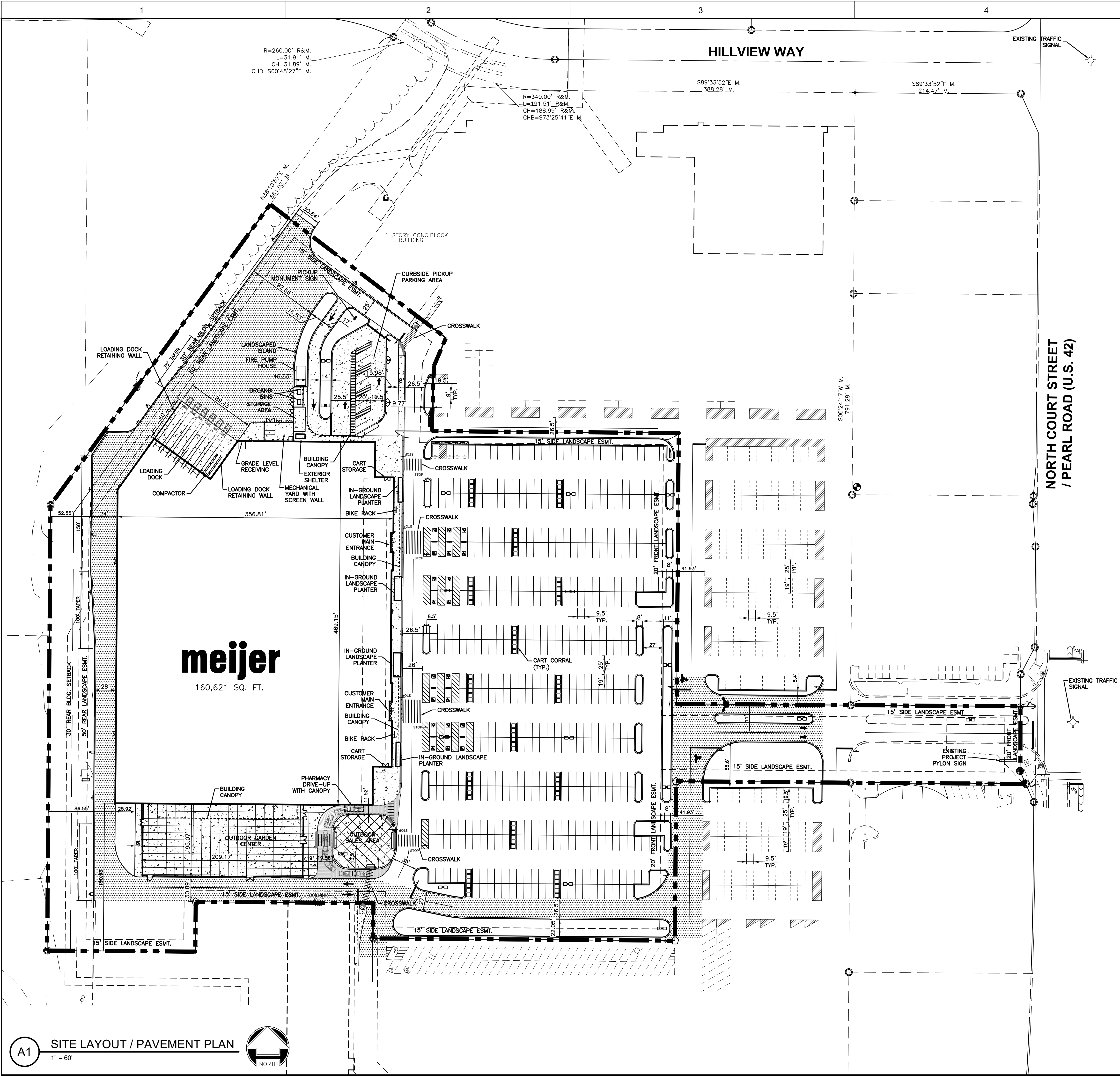
PROJECT MANAGER:	DESIGNER:
BLS	JMR

JOB NO.
 10017851

C-100

EXISTING CONDITIONS / DEMOLITION PLAN
 1" = 60'
 NORTH

Images: Meijer MED - Additional Survey; Topo Aerial; . Xrefs: 10017851-x.dwg; 10017851-tbk.dwg; 10017851-p.dwg; 10017851-sit-notes.dwg
 User: jcb Names: C-200 SITE LAYOUT / PAVEMENT PLAN
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GENERAL NOTES

1. NO DIMENSION MAY BE SCALED. REFER UNCLER ITEMS TO THE ENGINEER FOR INTERPRETATION.
2. DIMENSIONS AND/OR COORDINATES ARE TO BACK OF CURB, FACE OF BUILDING (FACE OF PRECAST), EDGE OF PAVEMENT OR CENTER OF STRUCTURE OR SIGN. VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
3. BUILDING SLABS, UNDERBED THICKNESS AND LOCATIONS ARE SHOWN FOR REFERENCE. VERIFY WITH STRUCTURAL DRAWINGS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING TO ACCOMPLISH ALL WORK INDICATED ON PLANS AND PERFORM REQUIRED COMPACTION OPERATIONS.
5. PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS AND FOR PUBLIC SAFETY AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.
6. NO EQUIPMENT OR MATERIAL STORAGE IS PERMITTED IN THE RIGHT-OF-WAY.
7. WORK SHALL CONFORM TO THE REQUIREMENTS OF MEIJER STANDARD SPECIFICATIONS, GOVERNING AGENCIES HAVING JURISDICTION. GRADING, PAVING AND MATERIALS SHALL COMPLY WITH THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AS WELL AS PROJECT SPECIFICATIONS AND DRAWINGS. IN CASE OF DISCREPANCIES BETWEEN REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.
8. EXTERIOR CONCRETE SLABS ADJACENT TO BUILDING SHALL BE PLACED ON 4" STRUCTURAL CUSHION, UNLESS NOTED OTHERWISE. REFER TO THE STRUCTURAL DRAWINGS FOR INFORMATION ON THE GARDEN CENTER SLAB.
9. RADII ARE 4' UNLESS OTHERWISE NOTED.
10. PROPOSED SITE IS LOCATED IN ZONE X, AREA OF MINIMAL FLOOD HAZARD. REFERENCE FEMA FIRM PANEL 39103C0161D EFFECTIVE DATE 08/04/2008.

LEGEND

- MEIJER LIGHT POLE
-
- BARRIER FREE PARKING
- CART CORRAL
- CONCRETE PAVEMENT
- CONCRETE PAVEMENT WITH PROPEX FIBERMESH
- HEAVY DUTY ASPHALT
- LIGHT DUTY ASPHALT
- BROOM FINISH
- MEIJER PROPERTY LINE

SITE DATA TABLE

ZONING	C-3
PROPOSED LAND USE	COMMERCIAL RETAIL
SITE AREA	14.74 ACRES
BUILDING AREA	160,621 SF = 3.69 ACRES
OPEN SPACE AREA	2.37 ACRES

PARKING SUMMARY

MAIN STORE	
STANDARD PARKING	497
VAN ACCESSIBLE	21
TOTAL PARKING	518
REQUIRED BY CODE	403

REV.	DATE	DESCRIPTION

MEIJER STORE MED
 1105 N COURT STREET
 MEDINA, OHIO 44256

SITE LAYOUT / PAVEMENT PLAN

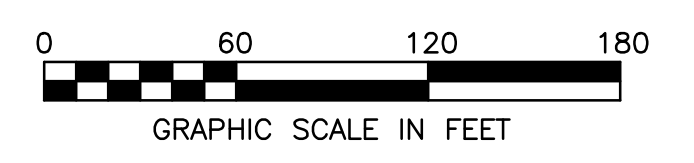
ISSUED FOR:	
PERMIT	MM/DD/YY
BID	MM/DD/YY
CONSTRUCTION	MM/DD/YY

PROJECT MANAGER	DESIGNER
BLS	JMR

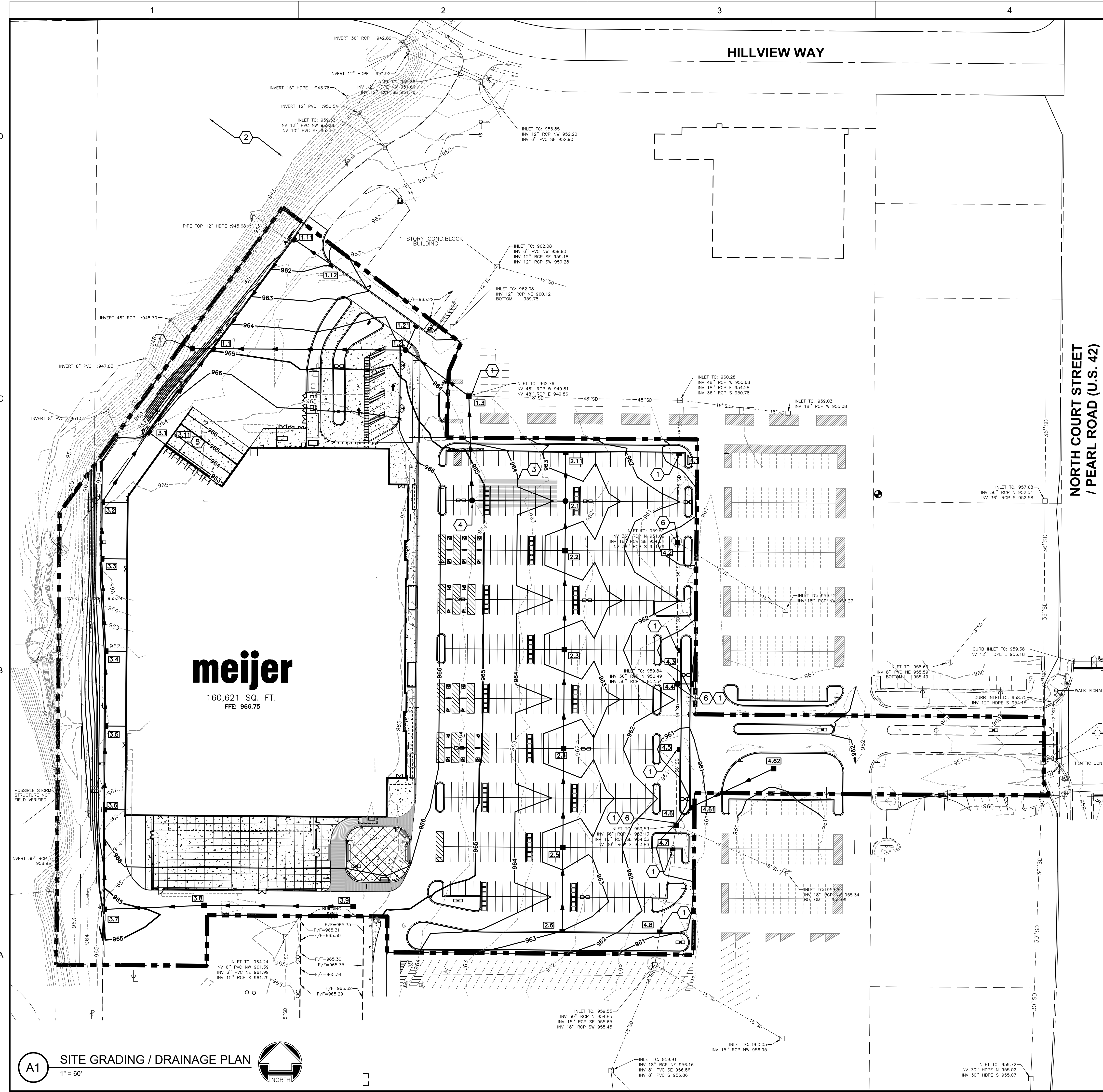
JOB NO.
10017851

C-200

A1 SITE LAYOUT / PAVEMENT PLAN
 1" = 60'



Images: Meijer MED - Additional Survey; Topo Aerial; . Xrefs: 10017851-x.dwg; 10017851-tbk.dwg; 10017851-p.dwg; 10017851-GR-NOTES.dwg; 10017851-GR-DRAINAGE PLAN
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GRADING NOTES

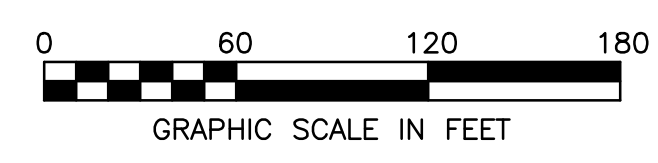
1. CONTOURS SHOWN ARE FOR REFERENCE ONLY.
2. PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT, BUILDING PAD, OR GREEN AREAS.
3. FOR ALL CURB ISLANDS, CENTER OF ISLANDS TO BE A MINIMUM OF 6" HIGHER THAN TOP OF CURB.
4. RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH AT A MINIMUM EXISTING CONDITIONS.
5. CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
6. FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.1 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATIONS AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISHED DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION.
7. VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
8. UTILITIES SHALL END 5 FEET FROM THE BUILDING UNLESS NOTED OTHERWISE.
9. PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITIES.
10. ALL MATERIAL SPECIFICATIONS, AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH MEIJER STANDARD SPECIFICATIONS AND THOSE OF THE APPROPRIATE UTILITY COMPANIES.
11. BEFORE COMMENCING WORK, CONTRACTOR SHALL VERIFY ALL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES.
12. PROPOSED SITE IS LOCATED IN ZONE X, AREA OF MINIMAL FLOOD HAZARD. REFERENCE FEMA FIRM PANEL 39103C0161D EFFECTIVE DATE 08/04/2008.

LEGEND

- PROPERTY LINE
- - - - - EXISTING 1' CONTOUR
- - - - - EXISTING 5' CONTOUR
- - - - - EXISTING STORM SEWER
- - - - - PROPOSED 1' CONTOUR
- - - - - PROPOSED 5' CONTOUR
- STORM SEWER
- UNDERDRAIN
- MANHOLE
- DRAINAGE BASIN
- CLEANOUT
- XX STORM STRUCTURE ID NUMBER

KEYNOTES

1. CONNECT TO EXISTING UTILITY PER AGENCY REQUIREMENTS.
2. EXISTING STORMWATER MANAGEMENT FACILITY.
3. UNDERGROUND STORMWATER QUALITY SYSTEM.
4. WATER QUALITY OUTLET CONTROL STRUCTURE.
5. TRENCH DRAIN.
6. ADJUST TO GRADE.



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 (616) 453-6711

REV.	DATE	DESCRIPTION

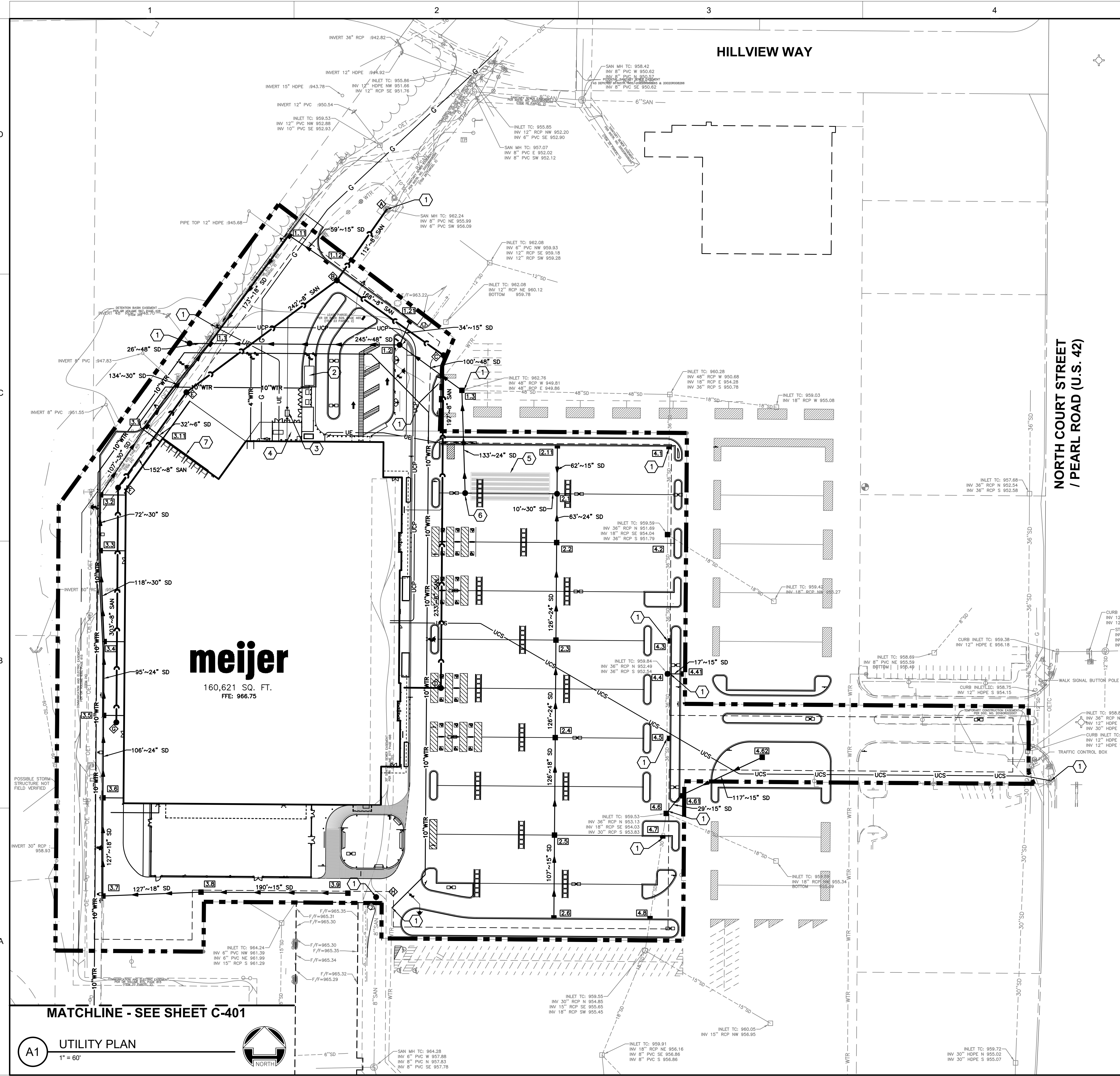
MEIJER STORE MED
 1105 N COURT STREET
 MEDINA, OHIO 44256

SITE GRADING / DRAINAGE PLAN

ISSUED FOR:	
PERMIT	MM/DDYY
BID	MM/DDYY
CONSTRUCTION	MM/DDYY
PROJECT MANAGER	DESIGNER
BLS	JMR
JOB NO. 10017851	
C-300	

A1 SITE GRADING / DRAINAGE PLAN
 1" = 60'

Images: Meijer MED - Additional Surveys.jpg; Topo Aerial.jpg; Xrefs: 10017851-x.dwg; 10017851-tbk.dwg; 10017851-p.dwg; 10017851-UTL-NOTES.dwg
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LEGEND

- CATCH BASIN
- CURB INLET
- MANHOLE
- CLEANOUT
- XX"~XX" SD — STORM SEWER
- - - - - UNDERDRAIN
- XX"~8" SAN — STORM STRUCTURE I.D.
- 10"WTR — SANITARY SEWER
- 4"WTR — SANITARY SERVICE
- 10"WTR — FIRE SERVICE
- 4"WTR — DOMESTIC WATER SERVICE
- ▲ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ TEE
- ⊕ WATER BEND
- G — GAS SERVICE
- UCP — UNDERGROUND COMMUNICATIONS SERVICE
- UE — UNDERGROUND ELECTRIC SERVICE
- □ LIGHT POLE

- ### GENERAL NOTES
- THE CONTRACTOR IS RESPONSIBLE FOR ALL RESTORATION AND CLEAN-UP ASSOCIATED WITH THE INSTALLATION OF THE PROPOSED UTILITIES WITHIN THE PUBLIC RIGHT-OF-WAY AND EASEMENT.
 - VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - UTILITIES SHALL END 5 FEET FROM THE BUILDING UNLESS NOTED OTHERWISE.
 - PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITIES.
 - ALL DIMENSIONS ARE TO COLUMN LINE, CENTERLINE OF PIPE, CENTER OF MANHOLE, EDGE OF PAVEMENT OR BACK OF CURB WHERE APPLICABLE. DIMENSIONS TO COLUMN LINE ASSUME 9" THICK BUILDING WALL.
 - ALL MATERIAL, SPECIFICATIONS, AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH MEIJER STANDARD SPECIFICATIONS AND DETAILS AND CITY OF MEDINA AND MEDINA COUNTY.
 - CONTRACTOR SHALL PERFORM FULL DEPTH REMOVAL AND REPLACEMENT OF EXISTING PAVEMENT PER MEIJER REQUIREMENTS AT PROPOSED UTILITIES INSTALLATION IN EXISTING PAVED AREAS.
 - BEFORE COMMENCING WORK, CONTRACTOR SHALL VERIFY ALL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES.

UTILITIES SUMMARY

ELECTRIC: SECONDARY SERVICE, PREFERRED BASED ON RATE, PAD-MOUNT UTILITY OWNED TRANSFORMER 2,000 KVA, SECONDARY 480/277V, 3PH, 4W GRD WYE.

PHONE: FIBER OPTIC ENTRANCE CABLE.

GAS: 11,000 CFH @ 2 PSI (5 PSI IF AVAILABLE) FOR 1.5 STORE.

WATER: 4" DIA. PIPE WITH 2" METER, 10,000 GPD SUMMER, 5,000 GPD WINTER, 150 GPM PEAK USE, 65 PSI AFTER BACKFLOW PREVENTER.

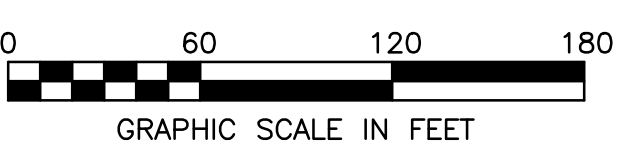
FIRE PROTECTION: 10" DIA. MIN., 1,100 GPM @ 54 PSI AT BASE OF RISER.

SANITARY SEWER: 5,000 GPD AVG., 40 GPM PEAK FLOW.

IRRIGATION: DESIGN TO BE PROVIDED AS PART OF FINAL DESIGN.

- ### WATER NOTES
- INSTALL WATER MAIN WITH A MINIMUM OF 5 FEET OF COVER.
 - CONTRACTOR TO COORDINATE WITH CITY FOR INSPECTION OF INSTALLATION OF WATER LINES INCLUDING CONNECTIONS TO EXISTING. PROVIDE 48 HOURS NOTICE.
 - ON SITE HYDRANTS SHALL FACE THE BUILDING.
 - HYDRANTS LOCATED IN CURB ISLAND OR GREEN SPACE SHALL BE LOCATED 5' FROM BACK OF CURB OR EDGE OF PAVEMENT (TYP.).
 - HYDRANTS SHALL BE MUELLER SUPERIOR CENTURIUM A 423 AND PAINTED OSHA YELLOW.
 - INSTALL CONCRETE PADS FOR ALL HYDRANT VALVES IN NON-PAVED AREAS.
 - SERVICES TWO (2) INCHES AND SMALLER SHALL BE TYPE "K" COPPER.
 - SERVICES LARGER THAN TWO (2) INCHES SHALL BE AMWA C900 SDR 18.
 - GATE VALVES SHALL BE USED FOR WATERLINES EIGHT (8) INCHES IN DIAMETER OR SMALLER. GATE VALVES SHALL CONFORM WITH CITY SPECIFICATIONS. FOR WATERLINES GREATER THAN EIGHT (8) INCHES IN DIAMETER, BUTTERFLY VALVES SHALL BE USED. BUTTERFLY VALVES SHALL CONFORM WITH CITY SPECIFICATIONS.

- ### KEYNOTES
- CONNECT TO EXISTING UTILITY PER AGENCY REQUIREMENTS.
 - FIRE PUMP HOUSE.
 - GREASE INTERCEPTOR.
 - ELECTRICAL EQUIPMENT YARD.
 - UNDERGROUND STORMWATER QUALITY SYSTEM.
 - WATER QUALITY OUTLET CONTROL STRUCTURE.
 - TRENCH DRAIN.



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meijer
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 GRAND RAPIDS, MICHIGAN 49544
 (616) 453-6711

REV.	DATE	DESCRIPTION

MEIJER STORE MED
 1105 N COURT STREET
 MEDINA, OHIO 44256

UTILITY PLAN

ISSUED FOR:	
PERMIT	MM/DDYY
BID	MM/DDYY
CONSTRUCTION	MM/DDYY
PROJECT MANAGER	DESIGNER
BLS	JMR
JOB NO. 10017851	
C-400	

MATCHLINE - SEE SHEET C-401

A1 UTILITY PLAN
 1" = 60'

LEGEND

- CATCH BASIN
- CURB INLET
- MANHOLE
- CLEANOUT
- STORM SEWER
- - - UNDERDRAIN
- ⊠ STORM STRUCTURE I.D.
- SANITARY SEWER
- SANITARY SERVICE
- ⊠ SANITARY SEWER I.D.
- 10" WTR — FIRE SERVICE
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- ⊕ TEE
- ⌒ WATER BEND
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- □ LIGHT POLE

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- ALL MATERIAL, SPECIFICATIONS, AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH MEIJER STANDARD SPECIFICATIONS AND DETAILS AND CITY OF MEDINA AND MEDINA COUNTY.
- CONTRACTOR SHALL PERFORM FULL DEPTH REMOVAL AND REPLACEMENT OF EXISTING PAVEMENT PER MEIJER REQUIREMENTS AT PROPOSED UTILITIES INSTALLATION IN EXISTING PAVED AREAS.
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UTILITIES SUMMARY

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SANITARY SEWER: 5,000 GPD AVG., 40 GPM PEAK FLOW.

IRRIGATION: DESIGN TO BE PROVIDED AS PART OF FINAL DESIGN.

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KEYNOTES

- CONNECT TO EXISTING UTILITY PER AGENCY REQUIREMENTS.
- FIRE PUMP HOUSE.
- GREASE INTERCEPTOR.
- ELECTRICAL EQUIPMENT YARD.
- UNDERGROUND STORMWATER QUALITY SYSTEM.
- WATER QUALITY OUTLET CONTROL STRUCTURE.
- TRENCH DRAIN.

REV.	DATE	DESCRIPTION

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MEIJER STORE MED
1105 N COURT STREET
MEDINA, OHIO 44256

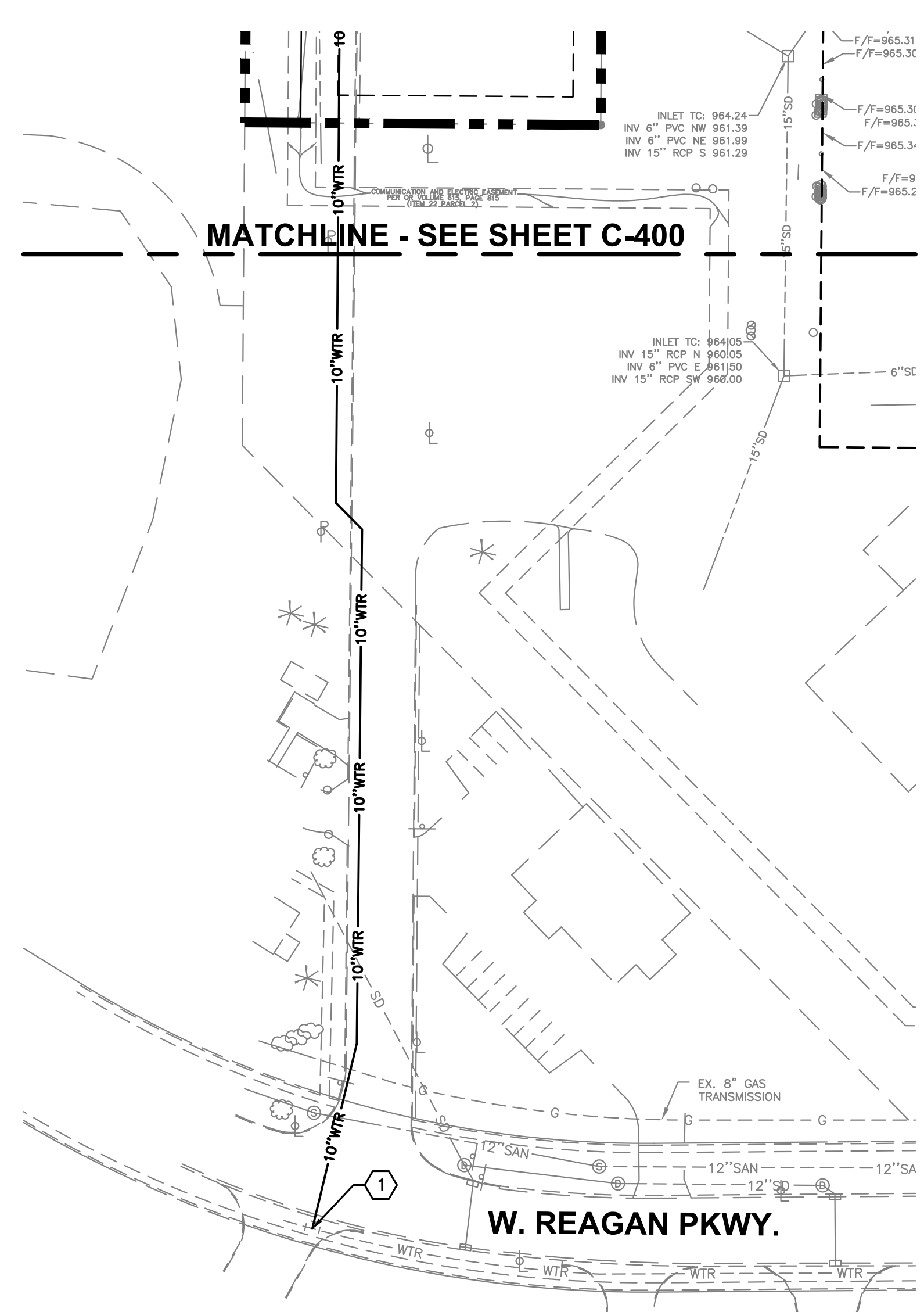
UTILITY PLAN

ISSUED FOR:	
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PROJECT MANAGER	DESIGNER
BLS	JMR

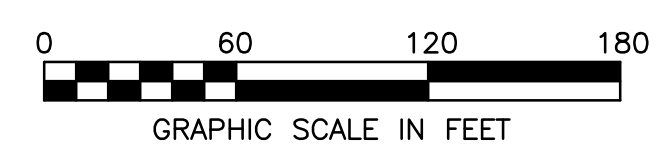
JOB NO.
10017851

C-401



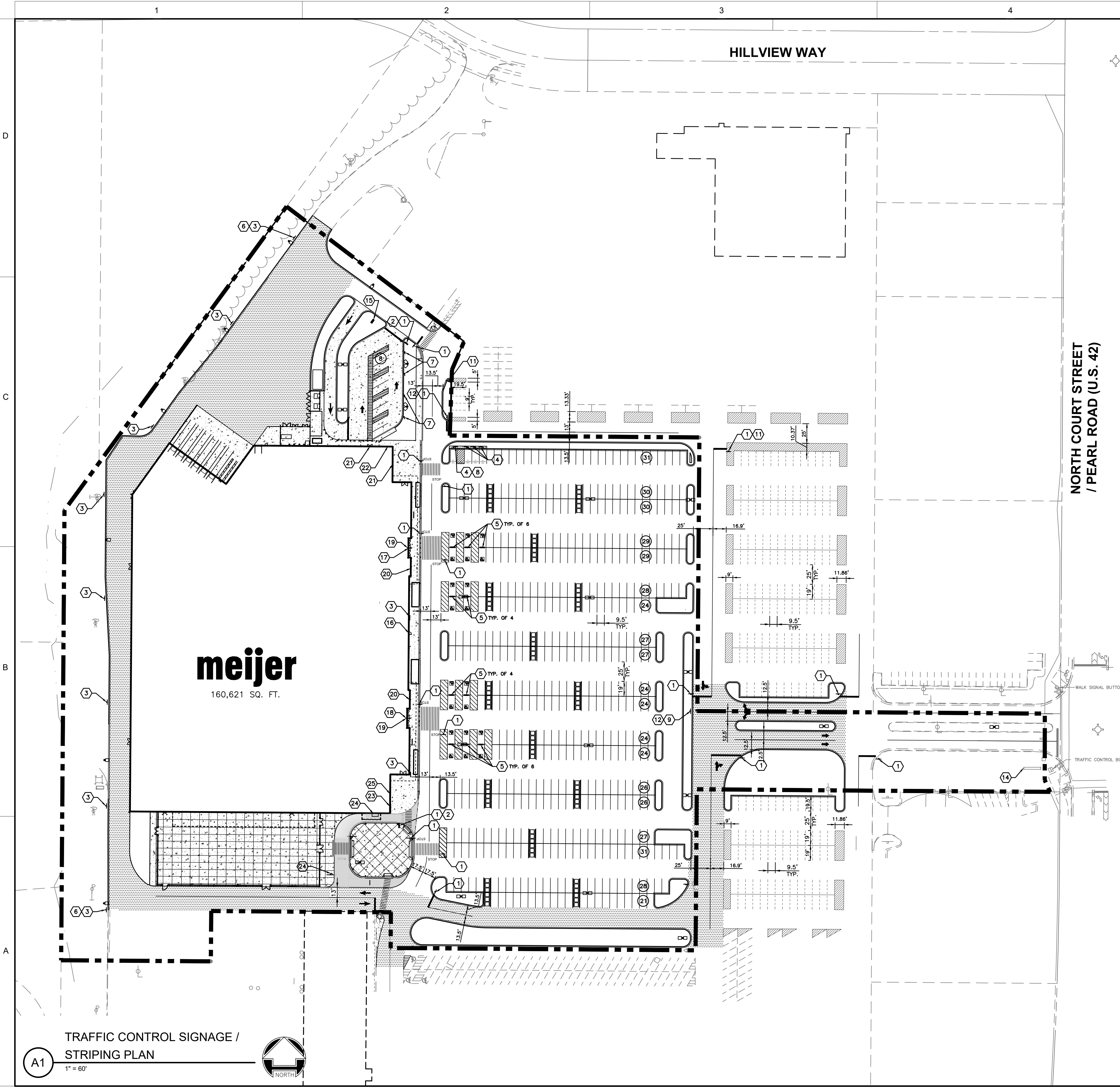
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A1 UTILITY PLAN
1" = 60'



Ohio Utilities Protection Service

Images: Meijer MED - Additional Surveys; Topo Aerial; Xrefs: 10017851-x.dwg; 10017851-tbk.dwg; 10017851-p.dwg
 User: jcb Names: C-500 TRAFFIC CONTROL SIGNAGE - STRIPING PLAN
 Last Saved By: Daulton, 5/18/2023 11:20:24 AM
 C:\DE\Clients\Meijer\10017851 Meijer MED - Medina, Ohio\4.0 Disciplines\Civil\Cadd\Prelim\10017851-SCN.dwg Plotted By: Richardson, Jill Plotted: May 18, 2023, 1:00:41 PM



HILLVIEW WAY

NORTH COURT STREET / PEARL ROAD (U.S. 42)

PAVEMENT STRIPING NOTES

1. ALL DIMENSIONS MEASURED FROM FACE OF BUILDING.
2. REFER TO SHEET C-701 FOR SIGNAGE/STRIPING DETAILS.
3. ALL PAVEMENT MARKING SHALL BE YELLOW IN COLOR UNLESS NOTED OTHERWISE.
4. CROSSWALK STRIPING TO BE CENTERED ON THE BUILDING AND GARDEN CENTER ENTRANCES.
5. TRANSVERSE STRIPING WITHIN THE OUTDOOR GARDEN CENTER SHALL MATCH "NO PARKING AREA" STRIPING AS INDICATED IN THE SIGNAGE/STRIPING LEGEND.

BUILDING AND SITE SIGNAGE NOTES

1. LOCATE FIRE LANE SIGNS AT FRONT OF BUILDING AT THE EDGE OF CONCRETE SIDEWALK (4 SIGNS)
2. STOP SIGNS AND FIRE LANE SIGNS ALONG FRONT OF THE STORE TO BE ON MOVABLE CONCRETE BASES
3. LOCATE FIRE LANE SIGNS ALONG THE GARDEN CENTER ATTACHED TO THE FENCE (3 SIGNS).
4. LOCATE FIRE LANE SIGNS ALONG BACK OF BUILDING AND THE TRUCK DOCK AREAS AT 2 FT. BEHIND PAVEMENT IN THE GRASS AREA (8 SIGNS).
5. INSTALL CART CORRALS PROVIDED BY OWNER.

PARKING SUMMARY	
MAIN STORE	
STANDARD PARKING	497
VAN ACCESSIBLE	21
TOTAL PARKING	518
REQUIRED BY CODE	403

KEYNOTES - POLE-MOUNTED SIGNAGE

1. STOP SIGN.
2. DO NOT ENTER SIGN.
3. NO PARKING - FIRE LANE SIGN.
4. "EV" PARKING SIGN. SEE DETAIL D1.1 ON C-501.
5. ACCESSIBLE PARKING SIGN.
6. TRUCK ROUTE SIGN. SEE DETAIL D2 ON C-501.
7. PICKUP PARKING STALL NUMBER SIGN. SEE DETAIL C4 ON C-501.
8. "EV" CHARGING SIGN WITH "VAN ACCESSIBLE" SIGN. SEE DETAIL D1.1 ON C-501.
9. PHARMACY LEFT/PICKUP RIGHT SIGN. SEE DETAIL C2 ON C-501.
10. PHARMACY RIGHT SIGN. SEE DETAIL C2 ON C-501.
11. PICKUP LEFT SIGN. SEE DETAIL C2 ON C-501.
12. PICKUP RIGHT SIGN. SEE DETAIL C2 ON C-501.
13. NOT USED.

KEYNOTES - MONUMENT/PYLON SIGNAGE

14. DEVELOPMENT PYLON SIGN. SEE DETAIL A2 ON C-501.
15. PICKUP MONUMENT SIGN. SEE DETAIL C4 ON C-501.

KEYNOTES - BUILDING SIGNAGE

16. MEIJER SIGN. SEE DETAIL A1 ON C-501.
17. "FRESH" SIGN. SEE DETAIL B4.1 ON C-501.
18. "HOME" SIGN. SEE DETAIL B4 ON C-501.
19. "WELCOME" SIGN. SEE DETAIL B5 ON C-501.
20. "LICENSEE" SIGN. SEE DETAIL A5.1 ON C-501.
21. PICKUP SIGN. SEE DETAIL A3 ON C-501.
22. PICKUP BLADE SIGN. SEE DETAIL C1 ON C-501.
23. Rx BLADE SIGN. SEE DETAIL B1 ON C-501.
24. PHARMACY DRIVE UP SIGN. SEE DETAIL A4 ON C-501.
25. PHARMACY SIGN. SEE DETAIL A5 ON C-501.

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meijer
 2929 WALKER AVENUE
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 (616) 453-6711

REV.	DATE	DESCRIPTION

MEIJER STORE MED
 1105 N COURT STREET
 MEDINA, OHIO 44256

TRAFFIC CONTROL SIGNAGE /
 STRIPING PLAN

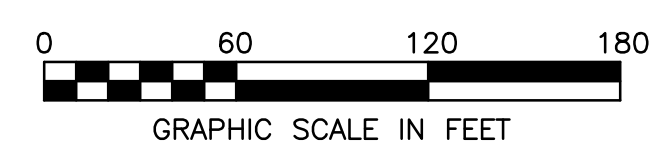
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BID	MM/DD/YY
CONSTRUCTION	MM/DD/YY

PROJECT MANAGER	DESIGNER
BLS	JMR

JOB NO.
 10017851

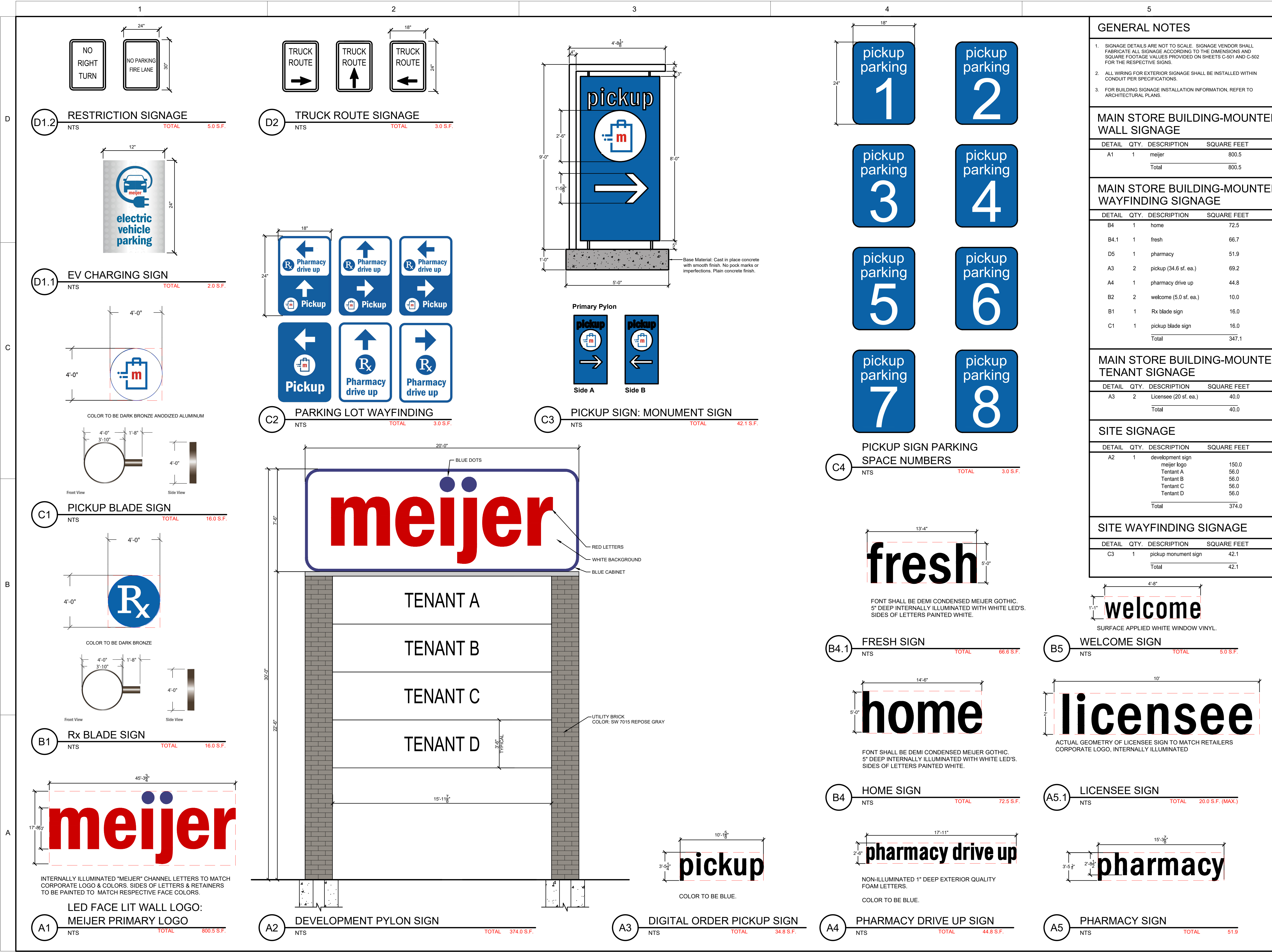
C-500

A1 TRAFFIC CONTROL SIGNAGE / STRIPING PLAN
 1" = 60'



Ohio Utilities Protection Service

Images: Main Store Pylon Section.jpg; Monument Section.jpg; Pickup.jpg; . Xrefs: 10017851-tblk.dwg
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D1.2 RESTRICTION SIGNAGE
NTS TOTAL 5.0 S.F.

D2 TRUCK ROUTE SIGNAGE
NTS TOTAL 3.0 S.F.

D1.1 EV CHARGING SIGN
NTS TOTAL 2.0 S.F.

C2 PARKING LOT WAYFINDING
NTS TOTAL 3.0 S.F.

C3 PICKUP SIGN: MONUMENT SIGN
NTS TOTAL 42.1 S.F.

C1 PICKUP BLADE SIGN
NTS TOTAL 16.0 S.F.

B1 Rx BLADE SIGN
NTS TOTAL 16.0 S.F.

A1 LED FACE LIT WALL LOGO: MEIJER PRIMARY LOGO
NTS TOTAL 800.5 S.F.

A2 DEVELOPMENT PYLON SIGN
NTS TOTAL 374.0 S.F.

A3 DIGITAL ORDER PICKUP SIGN
NTS TOTAL 34.8 S.F.

C4 PICKUP SIGN PARKING SPACE NUMBERS
NTS TOTAL 3.0 S.F.

B4.1 FRESH SIGN
NTS TOTAL 66.6 S.F.

B4 HOME SIGN
NTS TOTAL 72.5 S.F.

A4 PHARMACY DRIVE UP SIGN
NTS TOTAL 44.8 S.F.

B5 WELCOME SIGN
NTS TOTAL 5.0 S.F.

A5.1 LICENSEE SIGN
NTS TOTAL 20.0 S.F. (MAX.)

A5 PHARMACY SIGN
NTS TOTAL 51.9

GENERAL NOTES

- SIGNAGE DETAILS ARE NOT TO SCALE. SIGNAGE VENDOR SHALL FABRICATE ALL SIGNAGE ACCORDING TO THE DIMENSIONS AND SQUARE FOOTAGE VALUES PROVIDED ON SHEETS C-501 AND C-502 FOR THE RESPECTIVE SIGNS.
- ALL WIRING FOR EXTERIOR SIGNAGE SHALL BE INSTALLED WITHIN CONDUIT PER SPECIFICATIONS.
- FOR BUILDING SIGNAGE INSTALLATION INFORMATION, REFER TO ARCHITECTURAL PLANS.

MAIN STORE BUILDING-MOUNTED WALL SIGNAGE

DETAIL	QTY.	DESCRIPTION	SQUARE FEET
A1	1	meijer	800.5
Total			800.5

MAIN STORE BUILDING-MOUNTED WAYFINDING SIGNAGE

DETAIL	QTY.	DESCRIPTION	SQUARE FEET
B4	1	home	72.5
B4.1	1	fresh	66.7
D5	1	pharmacy	51.9
A3	2	pickup (34.6 sf. ea.)	69.2
A4	1	pharmacy drive up	44.8
B2	2	welcome (5.0 sf. ea.)	10.0
B1	1	Rx blade sign	16.0
C1	1	pickup blade sign	16.0
Total			347.1

MAIN STORE BUILDING-MOUNTED TENANT SIGNAGE

DETAIL	QTY.	DESCRIPTION	SQUARE FEET
A3	2	Licensee (20 sf. ea.)	40.0
Total			40.0

SITE SIGNAGE

DETAIL	QTY.	DESCRIPTION	SQUARE FEET
A2	1	development sign	150.0
		meijer logo	56.0
		Tenant A	56.0
		Tenant B	56.0
		Tenant C	56.0
		Tenant D	56.0
Total			374.0

SITE WAYFINDING SIGNAGE

DETAIL	QTY.	DESCRIPTION	SQUARE FEET
C3	1	pickup monument sign	42.1
Total			42.1

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(616) 453-6711

REV.	DATE	DESCRIPTION

MEIJER STORE MED
1105 N COURT STREET
MEDINA, OHIO 44256
EXTERIOR SIGNAGE DETAILS

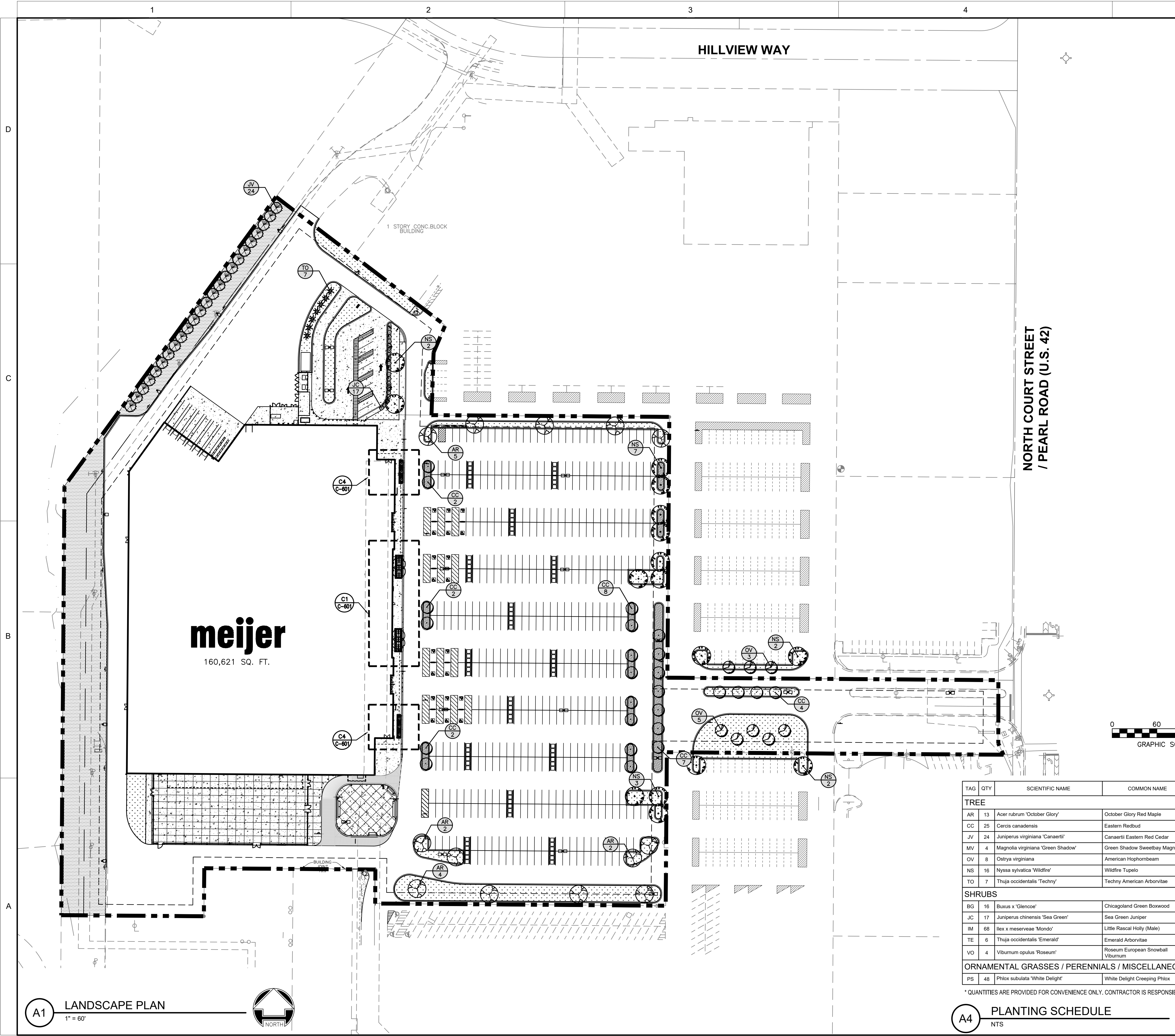
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PERMIT	MM/DD/YY
BID	MM/DD/YY
CONSTRUCTION	MM/DD/YY

PROJECT MANAGER	DESIGNER
BLS	JMR

JOB NO.
10017851

C-501

Images: Meijer_MED - Additional Surveys; Topo Aerial; .jpg; Xrefs: 10017851-x.dwg; 10017851-tbk.dwg; 10017851-p.dwg
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LANDSCAPE NOTES

- COORDINATE PLACEMENT OF PLANTS WITH UTILITY LOCATIONS AND SIGHT LINES TO BUILDING. MAKE ADJUSTMENTS AS REQUIRED TO AVOID PLANTING OVER THE UTILITIES AND/OR WITHIN SIGHT LINES TO ALL MEIJER BUILDING SIGNAGE.
- THE CENTER OF LARGE ISLANDS IS TO BE SIX INCHES HIGHER THAN TOP OF CURB. ENSURE ALL ISLANDS ARE SLOPED FOR POSITIVE DRAINAGE.
- ALL AREAS THAT REQUIRE SEEDING SHALL RECEIVE 4" MINIMUM TOPSOIL, UNLESS NOTED OTHERWISE.
- SEED ALL AREAS INDICATED ON THE LANDSCAPE PLAN. THE SOIL EROSION CONTROL PLAN AND ALL DISTURBED AREA. REVIEW AREAS OF SEEDING WITH CONSTRUCTION MANAGER PRIOR TO ANY SEEDING. ANY AREAS DISTURBED BY THE CONTRACTOR WHICH ARE BEYOND THE LIMITS OF GRADING AND EARTHWORK SHALL BE SEEDED AT NO ADDITIONAL COST TO THE OWNER.
- TOPSOIL SHALL BE TESTED AND AMENDED AS NECESSARY DURING FINAL GRADING AND PREPARATION FOR SEEDING.
- APPLY STARTER FERTILIZER (16-32-4) AT 250 POUNDS/ACRE TO SEEDED AREAS.
- ALL LANDSCAPE ISLANDS SHALL BE 3" DEEP SHREDDED HARDWOOD MULCH EXCEPT AS NOTED. PLACE MULCH OVER WEED BARRIER FABRIC AND TREAT WITH PRE-EMERGENT HERBICIDE.

LANDSCAPE CODE SUMMARY

MEDINA, OHIO PLANNING AND ZONING CODE
 CHAPTER 1149: SCREENING AND LANDSCAPING
 1149.05 (C) SCREENING REQUIREMENT
 AN EXISTING NATURALIZED BUFFER GREENBELT GREATER THAN 10 (TEN) FEET IN WIDTH IS TO BE PRESERVED AND MAINTAINED TO SATISFY SCREENING REQUIREMENTS FOR A COMMERCIAL LAND USE ADJACENT TO A RESIDENTIAL DISTRICT.
 1145.09 (B) PARKING LOT LANDSCAPING
 5 SF OF LANDSCAPE AREA TO BE PROVIDED PER 100 SF OF PARKING AREA.
 PARKING AREA: 197,630 SF
 LANDSCAPE AREA REQUIRED: 9,882 SF
 LANDSCAPE AREA PROVIDED: 18,863 SF

LANDSCAPING LEGEND

- SEED MIXTURE TYPE A (37,790 SF)
- SEED MIXTURE TYPE B (46,365 SF)
- SHREDDED HARDWOOD MULCH TO 3" DEPTH, UNLESS NOTED OTHERWISE. SEE SPECIFICATIONS

Ohio Utilities Protection Service
Call 811
 before you dig

0 60 120 180
 GRAPHIC SCALE IN FEET

TAG	QTY	SCIENTIFIC NAME	COMMON NAME	COND.	SIZE	REMARKS
TREE						
AR	13	<i>Acer rubrum</i> 'October Glory'	October Glory Red Maple	B&B	3" caliper	Full, well shaped
CC	25	<i>Cercis canadensis</i>	Eastern Redbud	B&B	2.5" caliper	Full, well-shaped, single-stem
JV	24	<i>Juniperus virginiana</i> 'Canaertii'	Canaertii Eastern Red Cedar	B&B	6' height	Full, well shaped
MV	4	<i>Magnolia virginiana</i> 'Green Shadow'	Green Shadow Sweetbay Magnolia	B&B	10' height	Full, well shaped, single-stem
OV	8	<i>Ostrya virginiana</i>	American Hophornbeam	B&B	2.5" caliper	Full, well shaped, single-stem
NS	16	<i>Nyssa sylvatica</i> 'Wildfire'	Wildfire Tupelo	B&B	3" caliper	Full, well shaped
TO	7	<i>Thuja occidentalis</i> 'Tectry'	Tectry American Arborvitae	B&B	6' height	Full, well shaped
SHRUBS						
BG	16	<i>Buxus x 'Glencoe'</i>	Chicagoland Green Boxwood	#3 cont.	24" height	Full, vigorous
JC	17	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	#3 cont.	24" height	Full, vigorous
IM	68	<i>Ilex x meserveae</i> 'Mondo'	Little Rascal Holly (Male)	#3 cont.	12" height	Full, vigorous
TE	6	<i>Thuja occidentalis</i> 'Emerald'	Emerald Arborvitae	#3 cont.	36" height	Full, vigorous
VO	4	<i>Viburnum opulus</i> 'Roseum'	Roseum European Snowball Viburnum	#7 cont.	48" height	Full, vigorous
ORNAMENTAL GRASSES / PERENNIALS / MISCELLANEOUS						
PS	48	<i>Phlox subulata</i> 'White Delight'	White Delight Creeping Phlox	#1 cont.		Full, vigorous

* QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES OF PLANTS ON LANDSCAPE PLAN.

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 (616) 453-6711

REV.	DATE	DESCRIPTION

MEIJER STORE MED
 1105 N COURT STREET
 MEDINA, OHIO 44256

LANDSCAPE PLAN

ISSUED FOR:	
PERMIT	MM/DD/YY
BID	MM/DD/YY
CONSTRUCTION	MM/DD/YY

PROJECT MANAGER	DESIGNER
BLS	JMR

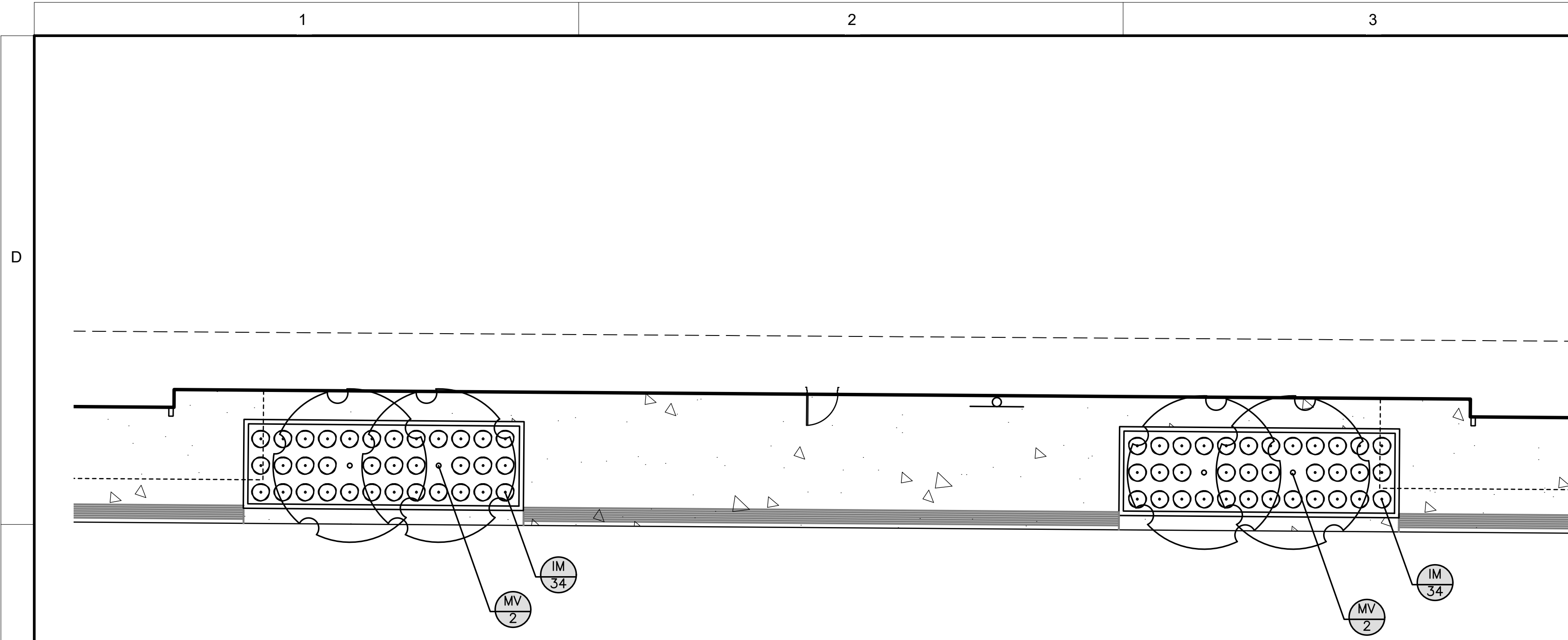
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C-600

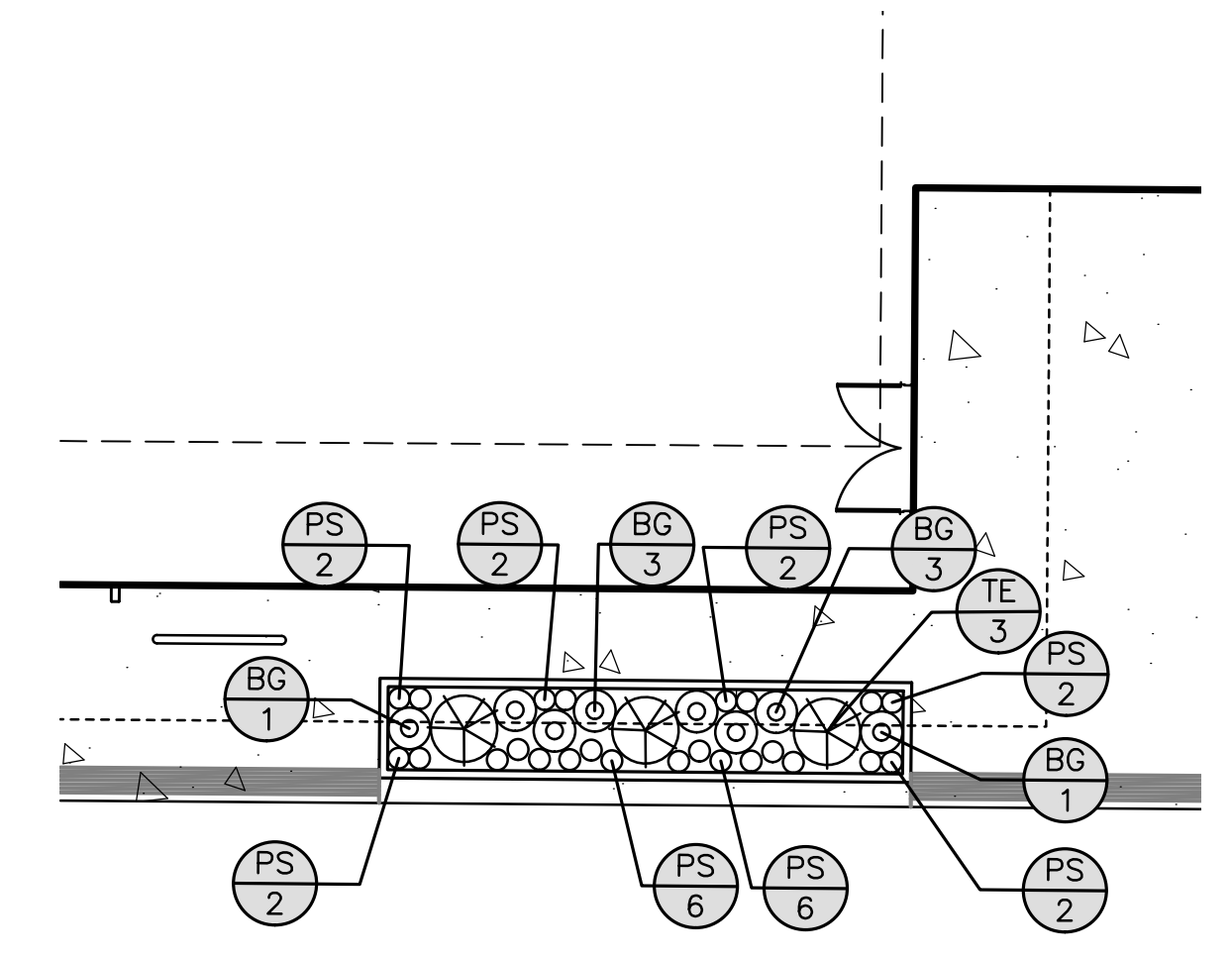
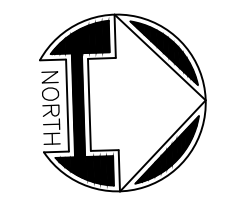
A1 LANDSCAPE PLAN
 1" = 60'

A4 PLANTING SCHEDULE
 NTS

Images: Meijer MED - Additional Surveys; Topo Aerial; . Xrefs: 10017851-x.dwg; 10017851-tbl.dwg; 10017851-p.dwg
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C1 CENTER FRONT LANDSCAPE ENLARGEMENT
1" = 10'



C4 END FRONT PLANTER ENLARGEMENT
1" = 10'

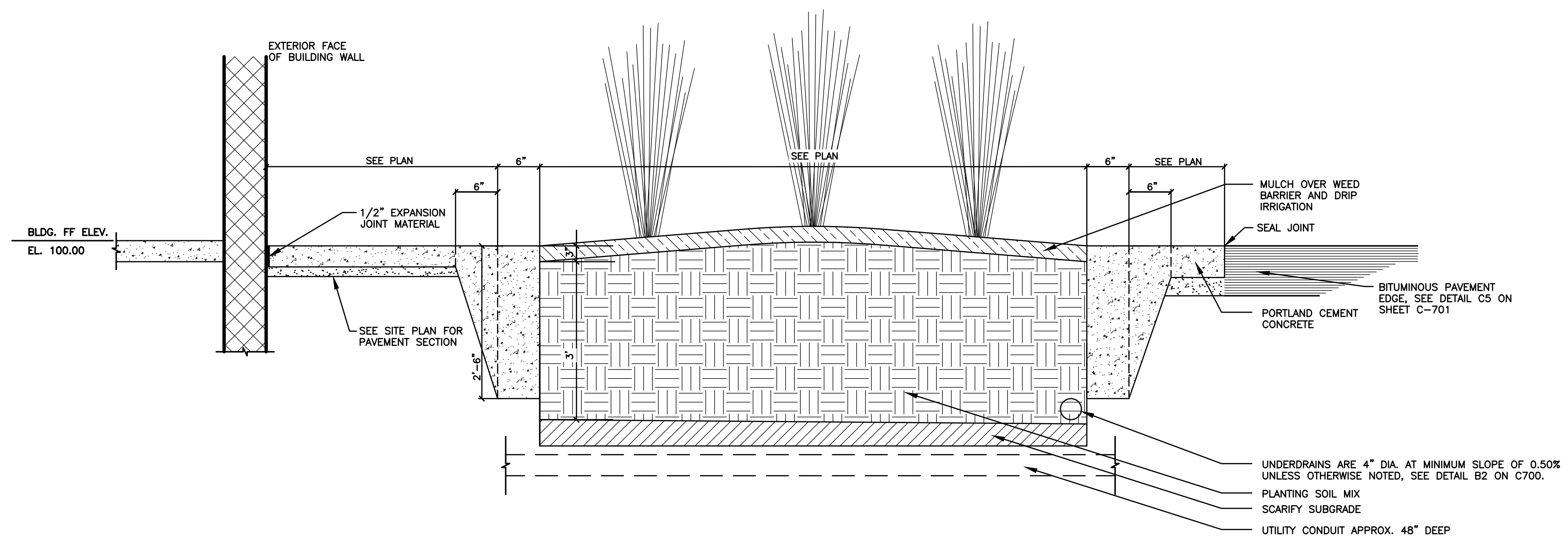


NOTES:
 1. PLANTER TO BE FORM AND FIBER BOX SERIES STEEL PLANTER, PRODUCT ID: BX_S722424, 10 GA., POWDER COATED DARK BRONZE MATTE, SIZE: 72"L X 24"W X 24"H, STANDARD LIP, FLAT BOTTOM, 8 PLANTERS TOTAL (FORMANDFIBER.COM)
 2. FILL PLANTERS WITH POTTING SOIL

LAWN AREA SEED MIXTURE (TYPE A)			
COMMON NAME	PROPT BY WEIGHT	PERCENT PURITY	PERCENT GERMINATION
KENTUCKY BLUE GRASS	20%	95%	85%
TALL FESCUE	70%	95%	85%
PERENNIAL RYE GRASS	10%	95%	85%

APPLICATION RATE: 8 LBS/1000 FT²

D5 GRASS SEED SCHEDULE
NTS



B1 FRONT PLANTER LANDSCAPE SECTION
NTS

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REV.	DATE	DESCRIPTION



MEIJER STORE MED
 1105 N COURT STREET
 MEDINA, OHIO 44256

LANDSCAPE DETAILS

ISSUED FOR:	
PERMIT	MM/DD/YY
BID	MM/DD/YY
CONSTRUCTION	MM/DD/YY

PROJECT MANAGER	DESIGNER
BLS	JMR

JOB NO.
10017851

C-601



REV.	DATE	DESCRIPTION

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MEIJER STORE MED
1105 N COURT STREET
MEDINA, OHIO 44256

SITE ELECTRICAL DETAILS

ISSUED FOR:	
PERMIT	MM/DD/YY
BID	MM/DD/YY
CONSTRUCTION	MM/DD/YY
PROJECT MANAGER	DESIGNER
BLS	JMR

JOB NO.
10017851

C-802



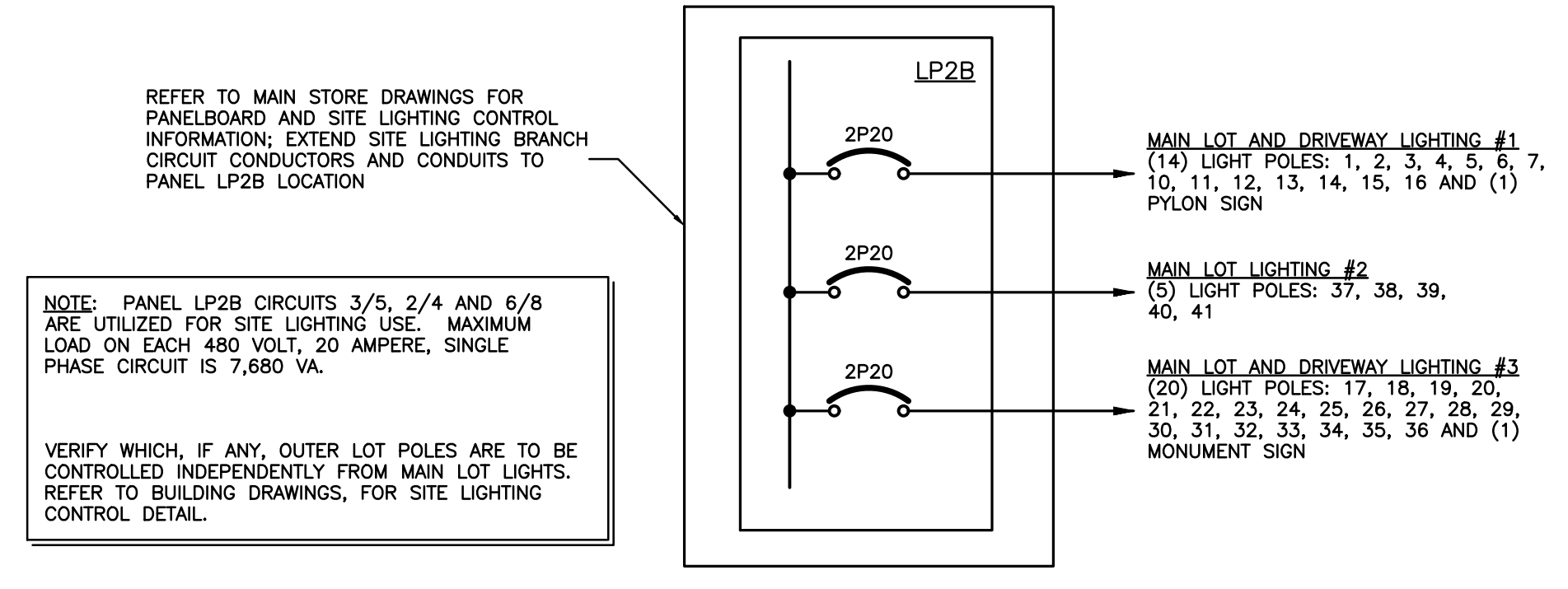
D5 POLE FIXTURE - TYPE Sx
NTS



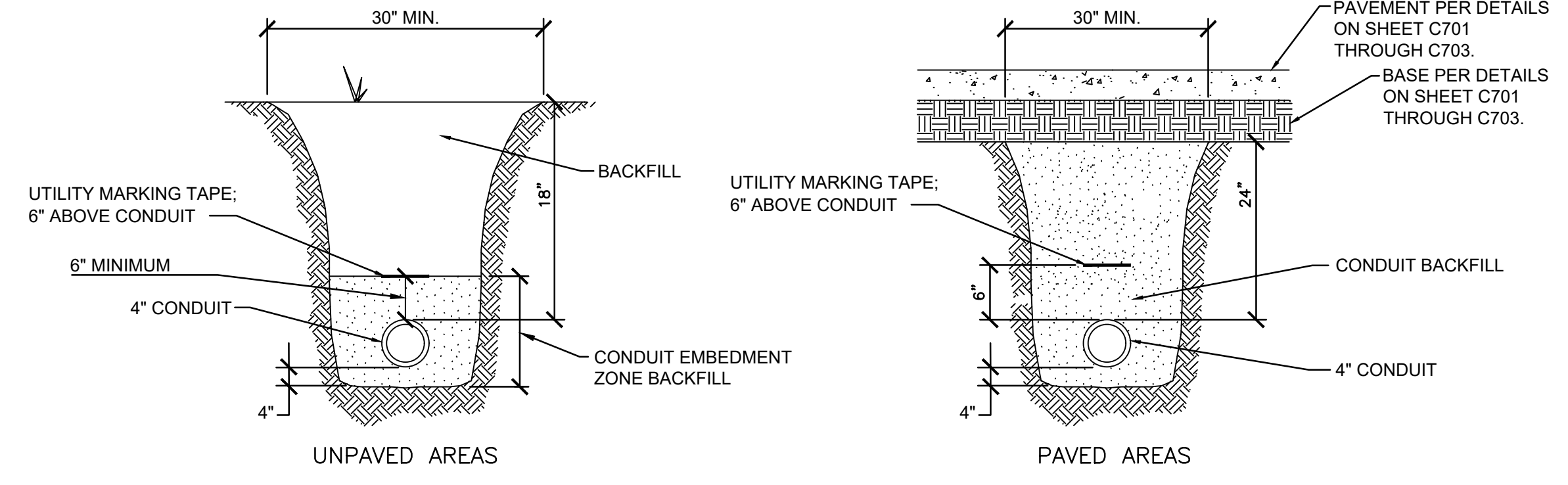
C4 WALL PACK - TYPE WM3
NTS



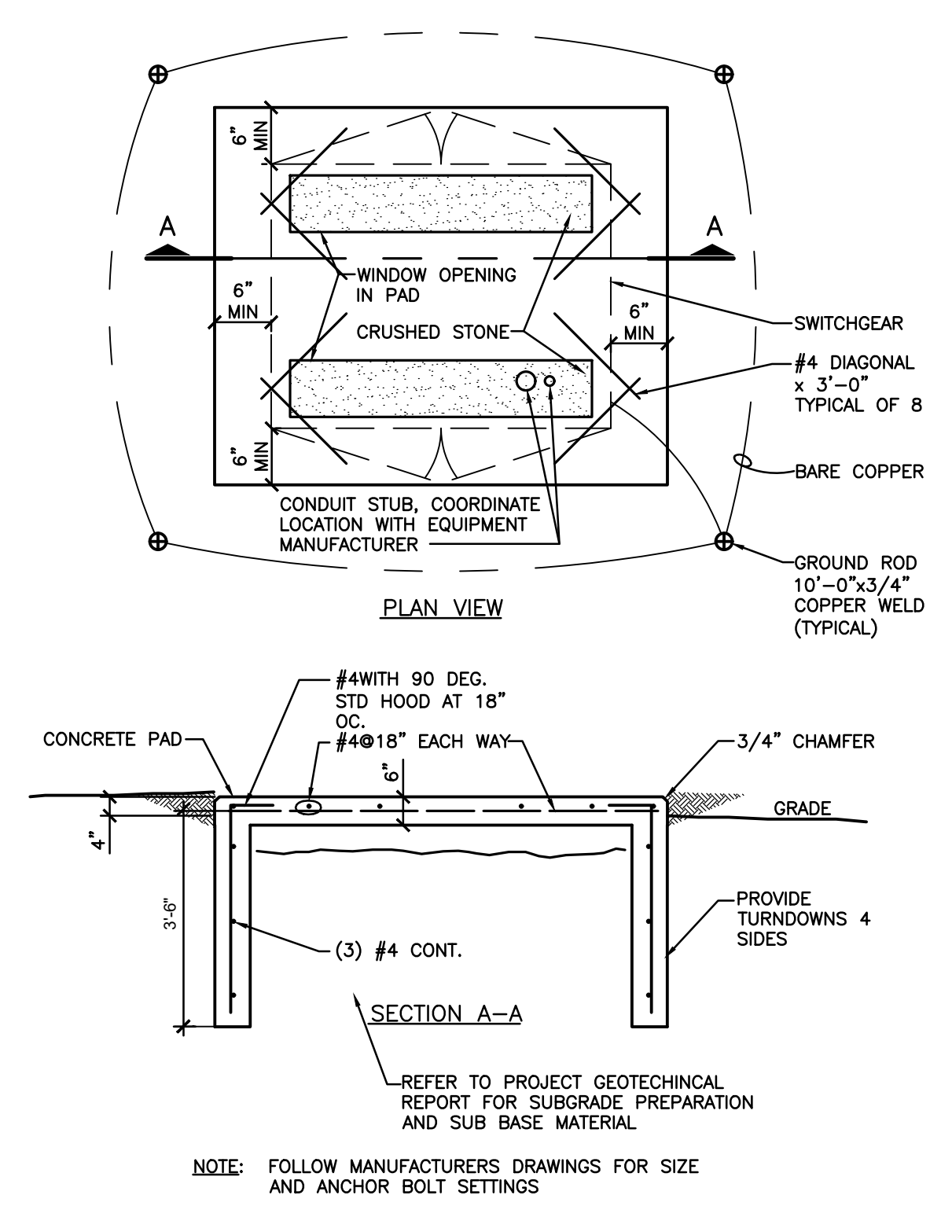
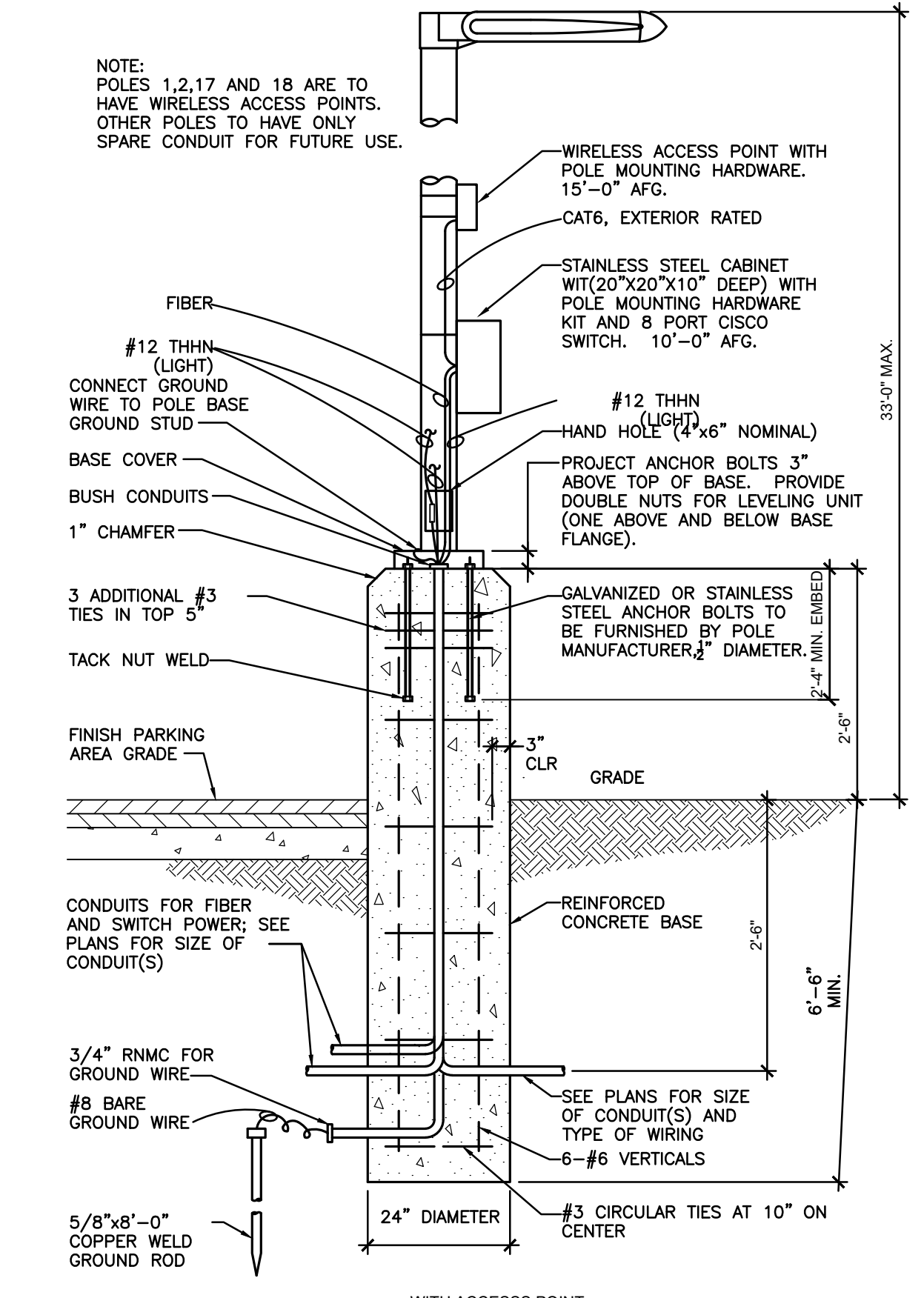
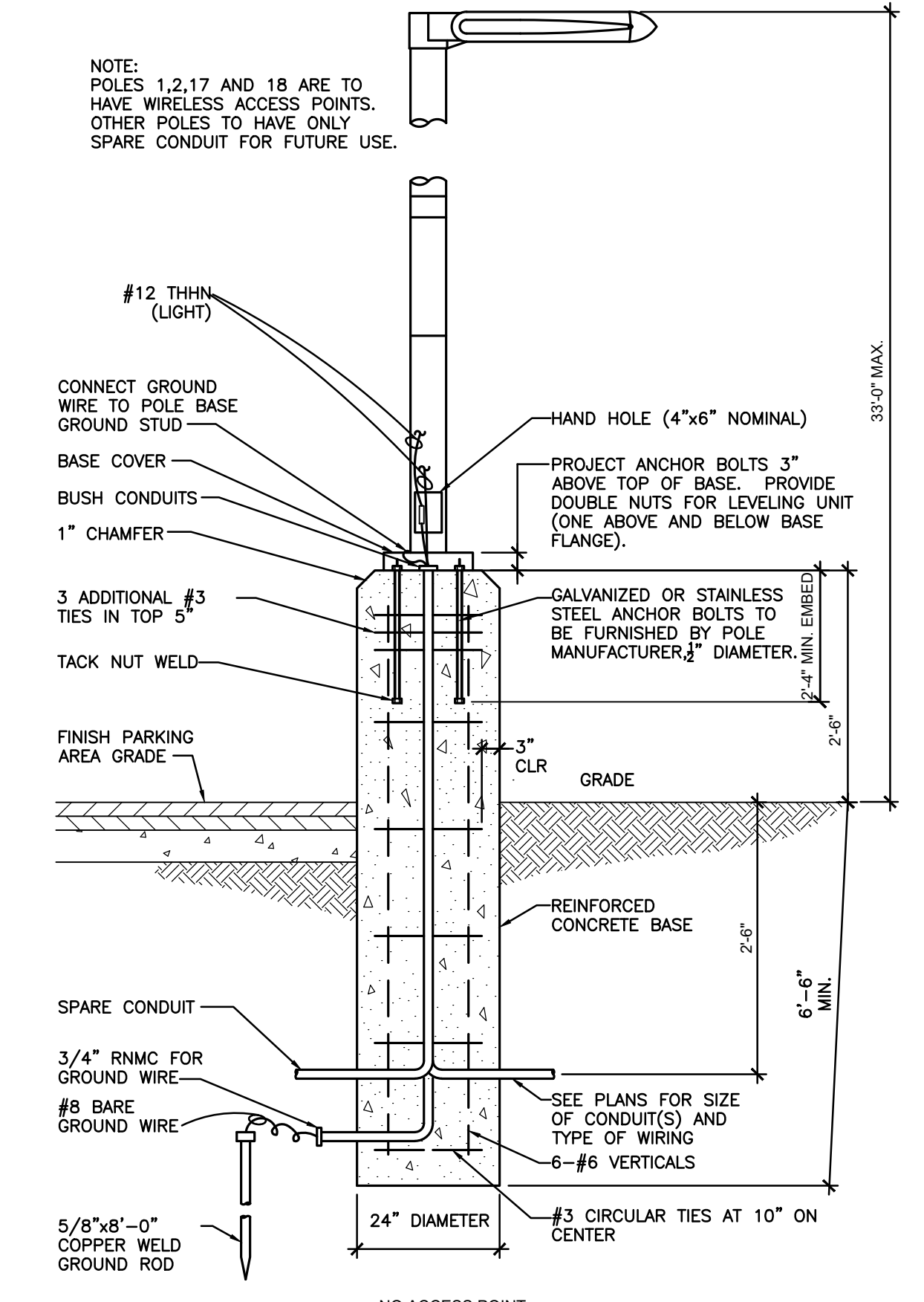
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D1 LUMINAIRE WIRING DIAGRAM
NTS



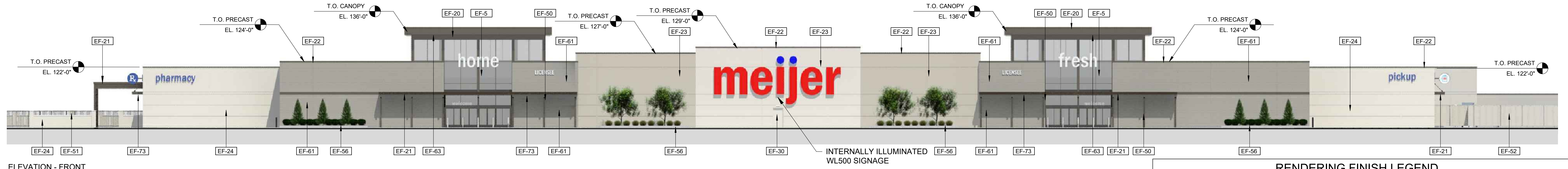
C1 UTILITY TRENCH
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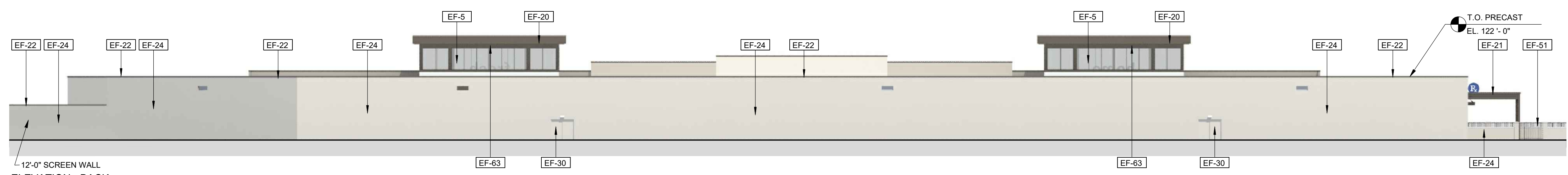
- LEGEND**
- UE — UNDERGROUND ELECTRICAL
 - UCP — UNDERGROUND COMMUNICATIONS PRIMARY
 - UCS — UNDERGROUND COMMUNICATIONS SECONDARY
 - UCT — UNDERGROUND COMMUNICATIONS TETHER FROM MS TO CS
 - E — UNDERGROUND (AS NOTED)
 - UL — UNDERGROUND LIGHTING
 - UF — UNDERGROUND 6 STRAND SINGLE MODE FIBER
 - UP — UNDERGROUND POWER FOR NETWORK SWITCH



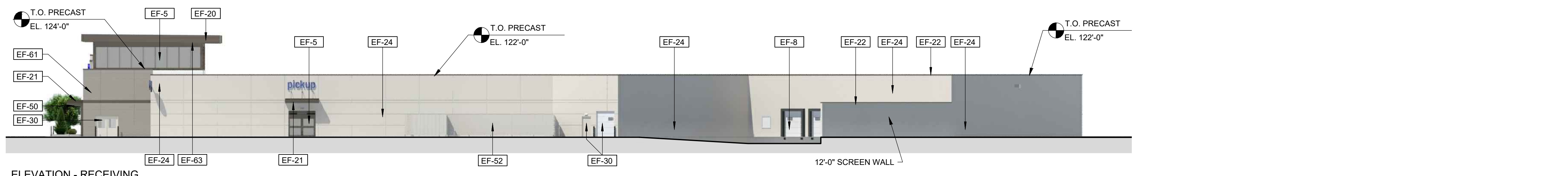
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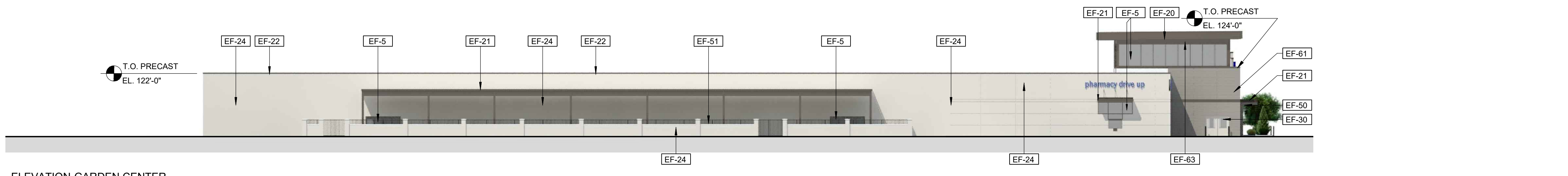
ELEVATION - FRONT



ELEVATION - BACK

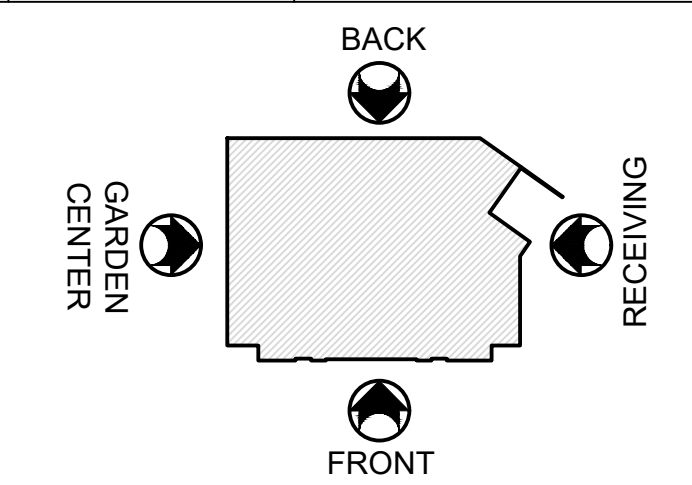


ELEVATION - RECEIVING



ELEVATION-GARDEN CENTER

RENDERING FINISH LEGEND			
CODE	FINISH	PRODUCT	COLOR
EF-5	ENTRANCE AND STOREFRONT FRAMES - 1" INSULATED GUARDIAN GLASS - CRYSTAL GRAY SN68	--	DARK BRONZE ANODIZED ALUMINUM
EF-5A	1" INSULATED SPANDREL PANEL WITH CRYSTAL GRAY SN68 AND WARM GRAY SPANDREL PANEL	--	WARM GRAY
EF-8	SECTIONAL OVERHEAD DOORS	--	WHITE
EF-20	CANOPY FASCIA PANEL AND SOFFIT	PAC-CLAD	DARK BRONZE
EF-21	SHEET METAL FLASHING AND TRIM - EDGE FLASHING AT CANOPY	PAC-CLAD	DARK BRONZE
EF-22	SHEET METAL FLASHING AND TRIM - EDGE FLASHING AT PARAPET	PAC-CLAD	DARK BRONZE
EF-23	INSULATED PRECAST CONCRETE WALL W/ TEXTURED CONCRETE FINISH	AP	SW 7017 DORIAN GRAY
EF-24	INSULATED PRECAST CONCRETE WALL W/ TEXTURED CONCRETE FINISH	AP	SW 7015 REPOSE GRAY
EF-30	FIELD PAINTED STEEL - HOLLOW METAL DOORS & FRAMES	SHERWIN WILLIAMS	SW 7015 REPOSE GRAY
EF-50	STEEL SUPPORT	--	DARK BRONZE STEEL BEAM
EF-51	DECORATIVE ALUMINUM FENCE	--	BLACK
EF-52	GALVANIZED STEEL FENCE W/ VINYL SLATS	--	--
EF-56	CONCRETE PLANTER	--	CAST IN PLACE CONCRETE PLANTER
EF-61	CONCRETE FORMLINER 2/82 COLORADO	RECKLI	SW 7018 DOVETAIL GRAY
EF-63	VENTED SOFFIT PANEL - UNA CLAD UC-500	FIRESTONE	DARK BRONZE
EF-73	FIELD PAINTED STEEL - METAL DECKING	SHERWIN WILLIAMS	DARK BRONZE



MEDINA, OHIO
NORTH COURT STREET

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. BECAUSE OF INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OF THE MATERIAL SAMPLES PROVIDED.

