

H22-19
Hotel Redevelopment
REVISED

Property Owner: Legacy Hotel of Medina LLC
Applicant: Jim Gerspacher
Location: 253 and 257 South Court Street
Zoning: C-2 (Central Business)
Request: Certificate of Appropriateness revisions for the construction of a hotel

LOCATION AND SURROUNDING USES

The subject property encompasses 0.96 acres located on the west side of South Court Street. Adjacent properties include the following uses:

- North – Retail
- South – Parking Lot
- West – Automotive Retail
- East – Retail and Entertainment



BACKGROUND & PROPOSED APPLICATION

At the November 9, 2022 meeting of the Historic Preservation Board (HPB), application H22-19 was conditionally approved for the demolition of two principal structures and the construction of a hotel at 253 and 257 South Court Street.

At the October 12, 2023 meeting of the HPB, the Board extended the conditional approval.

At the March 14th, 2024 meeting of the HPB, the Board approved an amendment to the conditions of approval, which were revised to include the following:

1. "Option 1", as shown on page A2.1 of the application, shall be the approved front building elevation.
2. Specific paint colors of all applicable details shall be submitted to the HPB for approval.
3. An example(s) of window tint shall be submitted to the HPB for approval.
4. An example(s) of the pedestrian ramp railing shall be submitted to the HPB for approval.
5. An example(s) of fencing on the north side of the building utilized for privacy screening shall be submitted to the HPB for approval.
6. An updated landscaping plan shall be submitted to the HPB for approval.
7. The applicant shall repair any unreasonable damage to the building at 241 South Court Street caused by the demolition of buildings at 253 or 257 South Court Street.

Also at the March 14th, 2024 meeting of the HPB, the Board approved a separate application, H24-06, for the demolition of a building at 226 South Elmwood Avenue (NAPA) and the construction of an event center.

The current application revises the footprint and height of the hotel building, updates building elevations, and provides greater detail. The proposed revision does not alter the previous approval regarding the demolition of two existing buildings at 253 and 257 South Court Street or application H24-06.

REVISED PLANS

Site Revisions

The previous approval included a hotel located on the east side of the site, a one-way drop off lane adjacent to South Court Street, and a rear parking lot. The revised site plan incorporates a hotel and restaurant/bar, shifts the building 3 ft. further from the right-of-way, and enlarges the building footprint, as follows:

	Approved	Revised
Building Footprint	12,784 sq. ft.	16,013 sq. ft.
Building Width	124 ft.	124 ft.
Front Setback	18 ft.	21 ft.
Side Setbacks	2 ft./10 ft.	2 ft./10 ft.

The previously approved building contained an open courtyard in the center of the entire building. The proposed building's footprint has increased due to the removal of the courtyard on the first floor and modifications to the east and west sides of the building. The open courtyard remains on all other floors of the building and the width of the building adjacent to South Court Street remains unchanged.

The landscaping plan has been revised slightly to include landscaping on the north side of the hotel.

Building Revisions

The proposed hotel incorporates a first floor restaurant, four stories of hotel rooms, a partial fifth story with a rooftop lounge, and a small one-story area located at the rear of the building for deliveries. All building elevations incorporate an abundance of windows and are clad in synthetic limestone on the first floor, brick veneer on floors two through four, and fiber cement and a slate-looking shingle on the partial fifth floor.

Additional windows have been incorporated on all building elevations with a modified design. This alteration appears to be more consistent with window sizes and styles in the area. In addition, louvers have been removed from the side and rear elevations.

The rear elevation has been revised to remove a first floor ramp and doors. Doors have been added to the side elevation on the first floor.

The overall effective height of the building has increased by 6 ft. to sufficiently accommodate mechanical components. The effective height of the revised building is 61 ft., which is the roof line of the building. Decorative architectural features that do not have functional interior area above this height are not included in the effective height of the building.

Revised renderings have been provided showing the building in context with the area. The renderings depict the proposed building and site from multiple perspectives and angles.

DESIGN GUIDELINES (MEDINA CODIFIED ORDINANCES SECTION 145.07(b))

(b) Additions/new construction. With respect to additions/new construction to existing buildings and all new buildings or structures within Historic Districts, it is generally the interest of the Board that such additions/new construction shall be designed to enhance the character of the Historic District. Consistent with the preface of this Chapter, new buildings and additions should be representative of architectural design and construction of contemporary times.

Additions to existing buildings in the Historic District should be designed so as not to detract from the original character of the building. Whenever possible, additions should be located away from the primary or street face of the building. The addition should be designed so as not to destroy existing architectural features, such that the addition can be removed and the building restored to its original condition.

New buildings in the Historic District shall be designed to be compatible with other structures in the Historic District while still reflecting work of contemporary times. Proximity of existing buildings to the new building will affect the latitude in design constraints. An infill design should be more consistent with adjoining buildings than a freestanding structure.

COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION

Staff recommends revised approval of H22-19 retaining only the following condition from the original approval: The applicant shall repair any unreasonable damage to the building at 241 South Court Street caused by the demolition of buildings at 253 or 257 South Court Street.

May 1, 2024

Andrew Dutton
Community Development Director
The City of Medina
132 North Elmwood Ave.
Medina, OH 44256

Mr. Dutton,

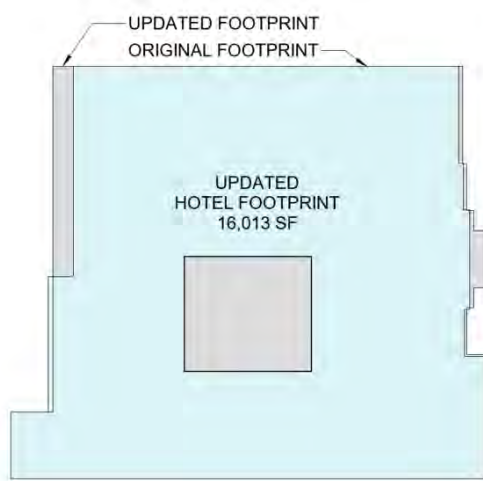
This letter is regarding the proposed hotel on parcel 028-19A-21-397. Our team has been working on adjustments to the overall building design to improve constructability, enhance the floor plans for both operational efficiency and guest experience, as well as enhance the exterior design and compatibility within the Historic District.

These adjustments have resulted in changes that require approval from the Boards and Commissions have authority and a summary of these changes is provided below for their reference.

Building Structure:

- 1- Footprint increase of 3,229 sf: Previously approved footprint was approximately 12,784 sf and proposed is 16,013 sf.

While there are minor changes to the perimeter dimensions, the square footage increase is largely due to the infill of the courtyard on the first floor. The courtyard remains a feature in the project accessed by guests on the second floor. The exterior perimeter of the hotel has grown negligibly, and it would be nearly impossible for someone to see that increase from outside the hotel. Please see below a snippet showing both footprints overlapped (blue is original footprint – gray is updated)



- 2- Height increase: the original approved elevations show the top of roof at 55'-0", the updated drawings show 61'-0". The additional height requested is 6'-0" higher than the previously approved plans. This increase in floor height accommodates more advanced HVAC systems than previously approved without sacrificing quality of interior spaces. Unlike the previous design, no suites will have exterior louvered grilles on the newly proposed plans. Without the new height variance, the available methods of construction are narrowed to options that are not as feasible and accommodating mechanical duct work becomes difficult.

The mansard roof was previously approved at 66'-8", the proposed is at 71'-0". This is purely an architectural feature that gives the hotel its historical character and is visible on S Court Street from all sides. The added height is not being used to generate profit to the developer(s).

- 3- Setback increase from 18ft to 21ft: the building was pushed back a few feet to allow more space between the hotel and the existing southeast building, accommodating the new accessible ramp on the southeast corner. We believe that the dimension increase will also help reduce the perceived height of the building.

Building Exterior Facades:

- 1- Brick detail added on all facades, especially primary façade (Brick reveals and soldier courses)
- 2- VTAC louvers have been eliminated on north and south facades.
- 3- Window size and shape: In the previously approved design, each hotel suite has a single wide and low window. The proposed design replaces that single window with two tall and slender windows per suite to better fit proportionally within the context of Medina's Historic District.
- 4- Replace the use of EIFS with Fiber cement (for maintenance and durability purposes - similar color) on the fifth floor.
- 5- The front canopy is reduced in size.
- 6- Cornice updates: We have assigned Sherwin William color codes to the previously submitted cornice colors to better define the selections. We have also updated the configuration of the colors on the cornice profiles.

Interior Program Changes

- 1- Hotel Suites: 77 rooms are now proposed instead of 75.
- 2- Restaurant/lounge: The hotel will include restaurant / lounge space on the first and fifth floors.

We hope this letter aids the respective boards and commission during their review. If you have any questions, please feel free to contact me. Thank you for your consideration.

Thank you,

Jana Call

PLANT MATERIAL LIST

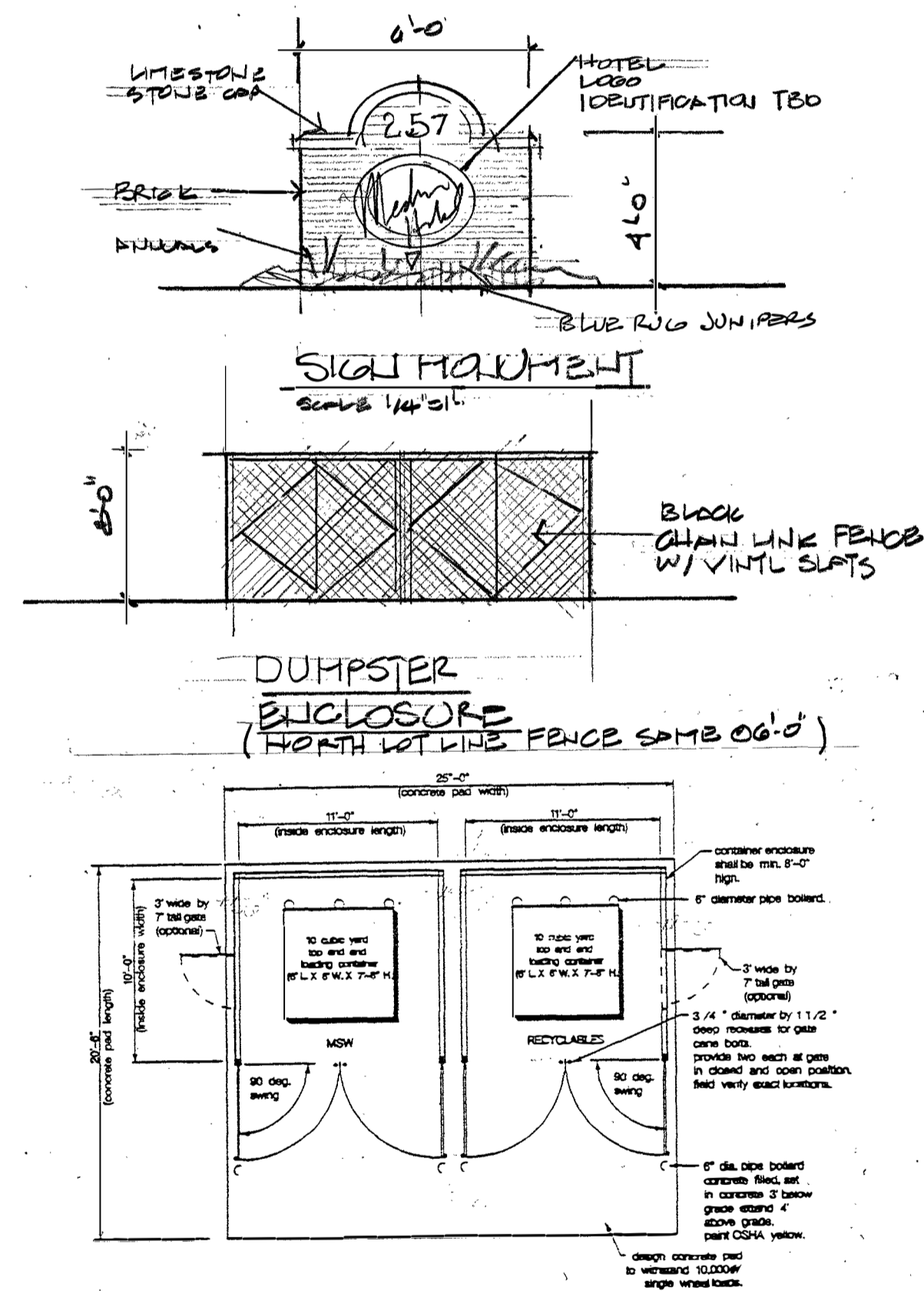
KEY	QTY.	SIZE	COMMON NAME	SCIENTIFIC NAME	SPACING	REMARKS	
JP	SEE DUG.	5'	SEAGREEN JUNIFER	JUNIFERUS CHINENSIS	AS SHOWN	---	
BBD	SEE DUG.	24"	DUF. BURNING BUSH	EUONYMUS ACATA 'COMPACTA'	AS SHOWN	---	
BBL	SEE DUG.	32"	STD. BURNING BUSH	EUONYMUS ALATUS	AS SHOWN	---	
CL	SEE DUG.	6'-1"	CLEVELAND PEAR	PYRUS	AS SHOWN	2' CALF	
HL	SEE DUG.	6'-1"	SUNBURST HONEY LOCUST	GLEDITSIA SKYLINE	AS SHOWN	2' CALF	
SP	SEE DUG.	6'-1"	ALBERTA SPRUCE	GLAUCA CONICA	AS SHOWN	2' CALF	
NOTE A	HOSTA	SEE DUG.	8'-12"	HOSTA	FORTUNEI 'AUREO MARGINATA'	AS SHOWN	---
FL	SEE DUG.	12"	FLOWERING ANNUALS	DAYLILLY, RED IMPATIANTS, COREOPSIS, SWEET WILLIAM'S, ASTER, GERANIUMS	AS SHOWN	---	
ORN GRASS	SEE DUG.	18"	ORNAMENTAL GRASS	ELYMUS ARENARIUS	AS SHOWN	---	
BB	SEE DUG.	6'-1"	VIOLA BLUE SPRUCE	P. GLAUCA 'VIOLA'	AS SHOWN	2' CALF	
NOTE A	PHLOX	SEE DUG.	6"	CREEPING PHLOX	PHLOX SUBULATA - WHITE AND PINK	AS SHOWN	---
BRJ	SEE DUG.	5'	BLUE RUG JUNIFER	WILTONII	AS SHOWN	---	

FLOWERING DOGWOOD OPTIONAL BASED ON AVAILABILITY

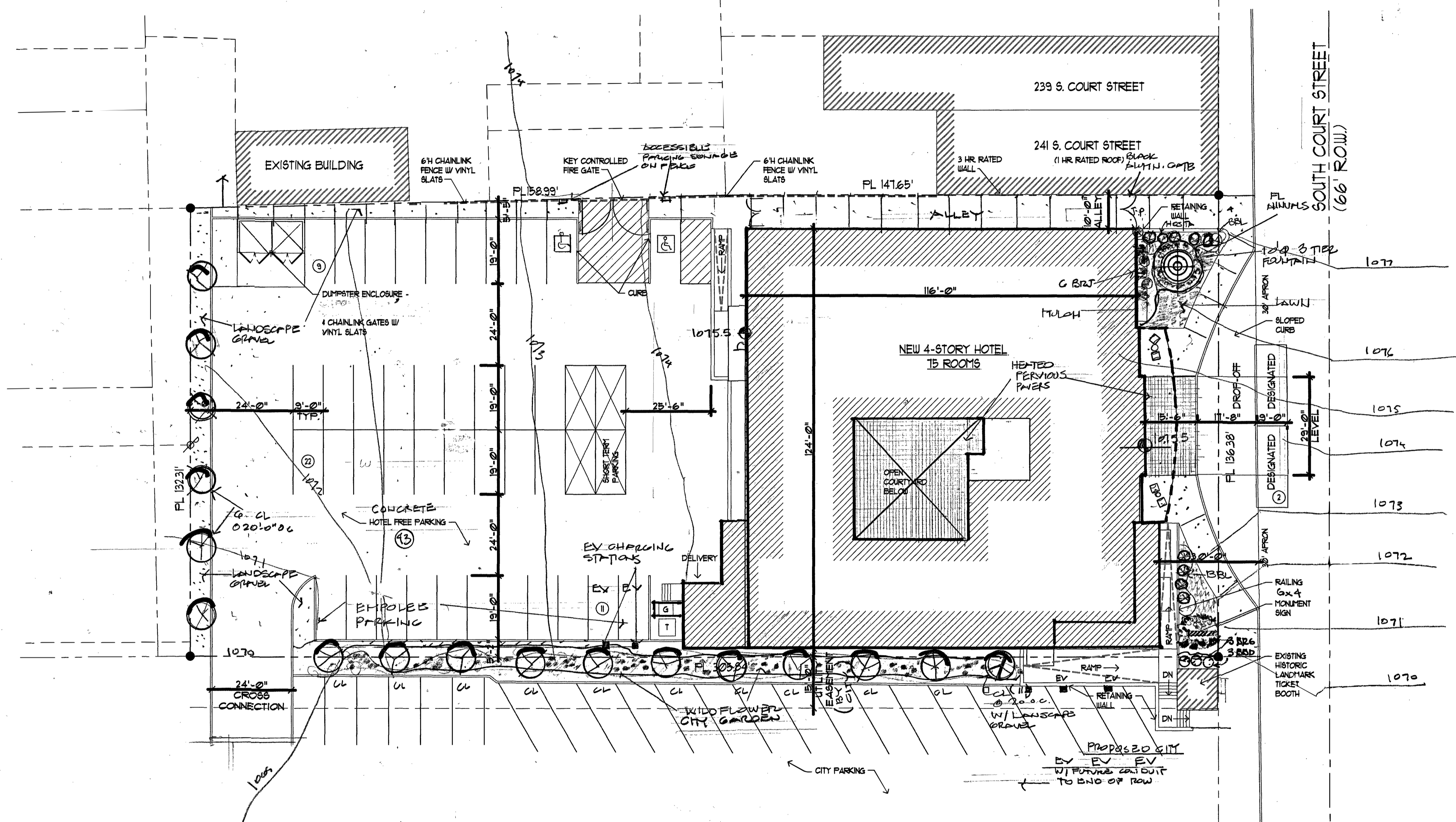
NOTE A PER PLANNING COMMISSION'S RECOMMENDATION - IF PHLOX OR HOSTA ARE NOT AVAILABLE AT TIME OF PLANTING OWNER CAN SUBSTITUTE DAYLILLY, RUDBECKIA, COREOPSIS, ASTER, CONE FLOWER, SEDUM OR GERANIUM

SITE IRRIGATION WILL COMPLY WITH CITY REQUIREMENT OF LANDSCAPE SITE IRRIGATION SYSTEM

Previously Approved Plan - For Reference



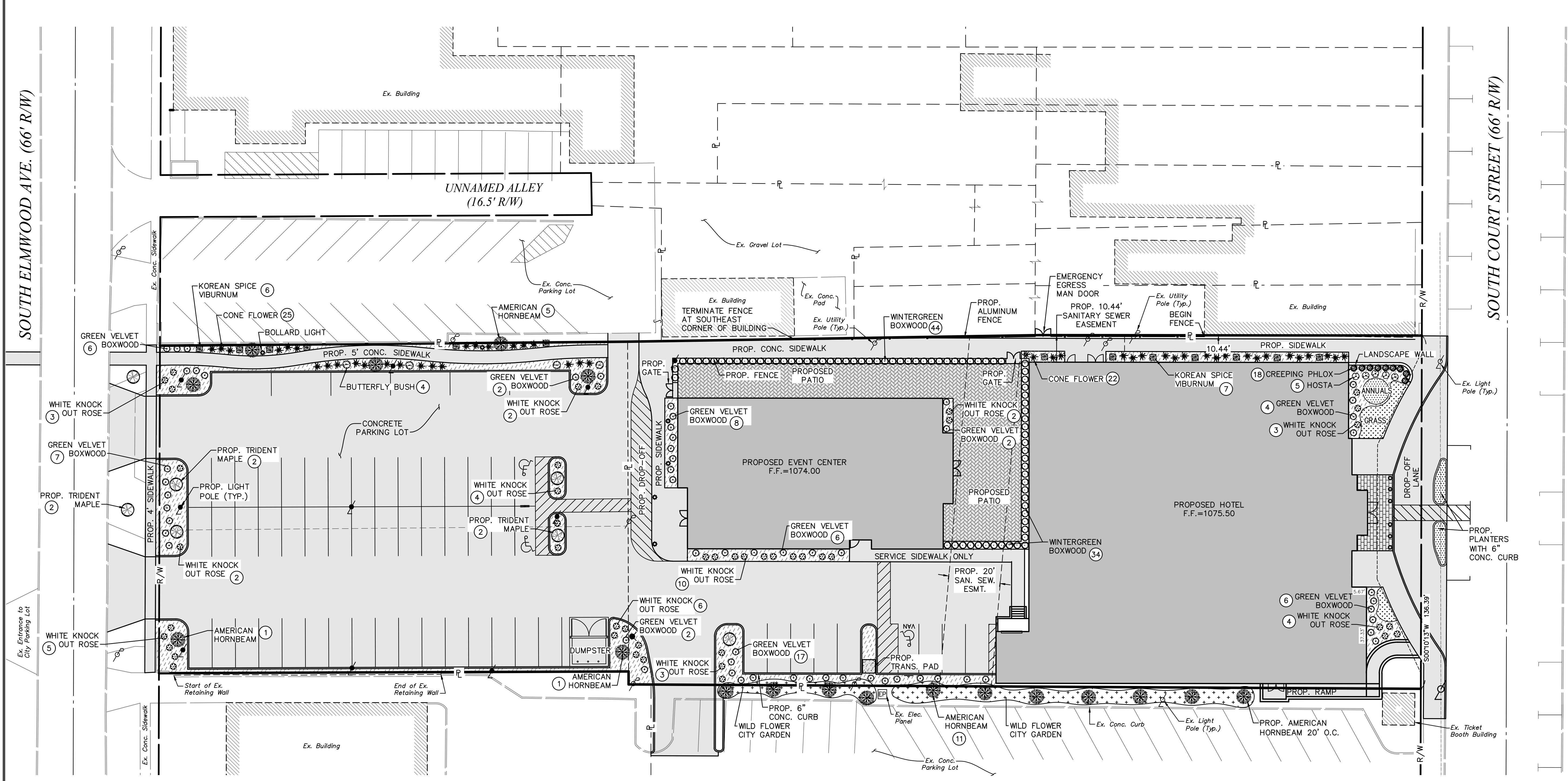
MSW & RECYCLABLES CONTAINER ENCLOSURE PLAN
SCALE: 1/8" = 1'-0"



LANDSCAPE SITE PLAN
SCALE = 1" : 20'
NOTE: NOT A SURVEY. ALL DIMENSIONS TO BE VERIFIED IN-FIELD

SOUTH ELMWOOD AVE. (66' R/W)

SOUTH COURT STREET (66' R/W)



DATE	DESCRIPTION	BY

LEGACY HOTEL OF MEDINA
 LOCATED IN
 COUNTY OF MEDINA
 CITY OF MEDINA

CUNNINGHAM & ASSOCIATES, INC.
 CIVIL ENGINEERING and SURVEYING
 203 W. LIBERTY ST. MEDINA, OHIO 44226 330-725-5980

LANDSCAPE PLAN

SHEET TITLE:

DRAWN BY: CAH
 DATE: 03/22/2024
 CHECKED BY:
 DATE:
 PROJECT No.
 22-137
 ACAD FILE No.
 MFL-22-137 SITE LS

SCALE: PLAN: 1"=20'
 PROFILE-Horz. Vert.

SHEET NO.
 1/1

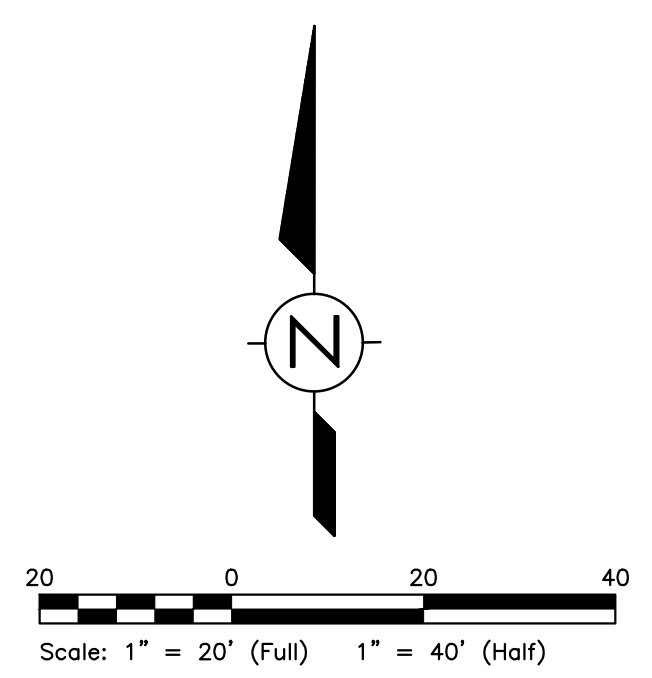
PLANT MATERIALS LIST			
QTY.	COMMON NAME	BOTANICAL NAME	SIZE
DECIDUOUS TREES			
8	TRIDENT MAPLE	<i>Acer buergerianum</i>	6"-7"
18	AMERICAN HORNBEAM	<i>Carpinus caroliniana</i>	6"-7"
FLOWERING AND EVERGREEN SHRUBS			
78	WINTERGREEN BOXWOOD	<i>Buxus sinica var. insularis 'Wintergreen'</i>	12"
59	GREEN VELVET BOXWOOD	<i>Buxus koreana 'Green Velvet'</i>	12"
44	WHITE KNOCK OUT ROSE	<i>Rosa x 'RADwhite'</i>	12"
13	KOREAN SPICE VIBURNUM	<i>Viburnum carlesii</i>	12"
4	BUTTERFLY BUSH	<i>Buddleja davidii</i>	12"
PERENNIALS			
18	CREeping PHLOX	<i>Phlox subulata-white and pink</i>	6"
47	CONE FLOWER	<i>Echinacea purpurea</i>	8"-12"
5	HOSTA	<i>Fortunei 'aureomarginata'</i>	8"-12"
ANNUALS			
72	FLOWERING ANNUALS	Daylily, Red Impatiens, Coreopsis, Sweet williams, Aster, Geraniums	12"

GENERAL NOTES - PLANTING

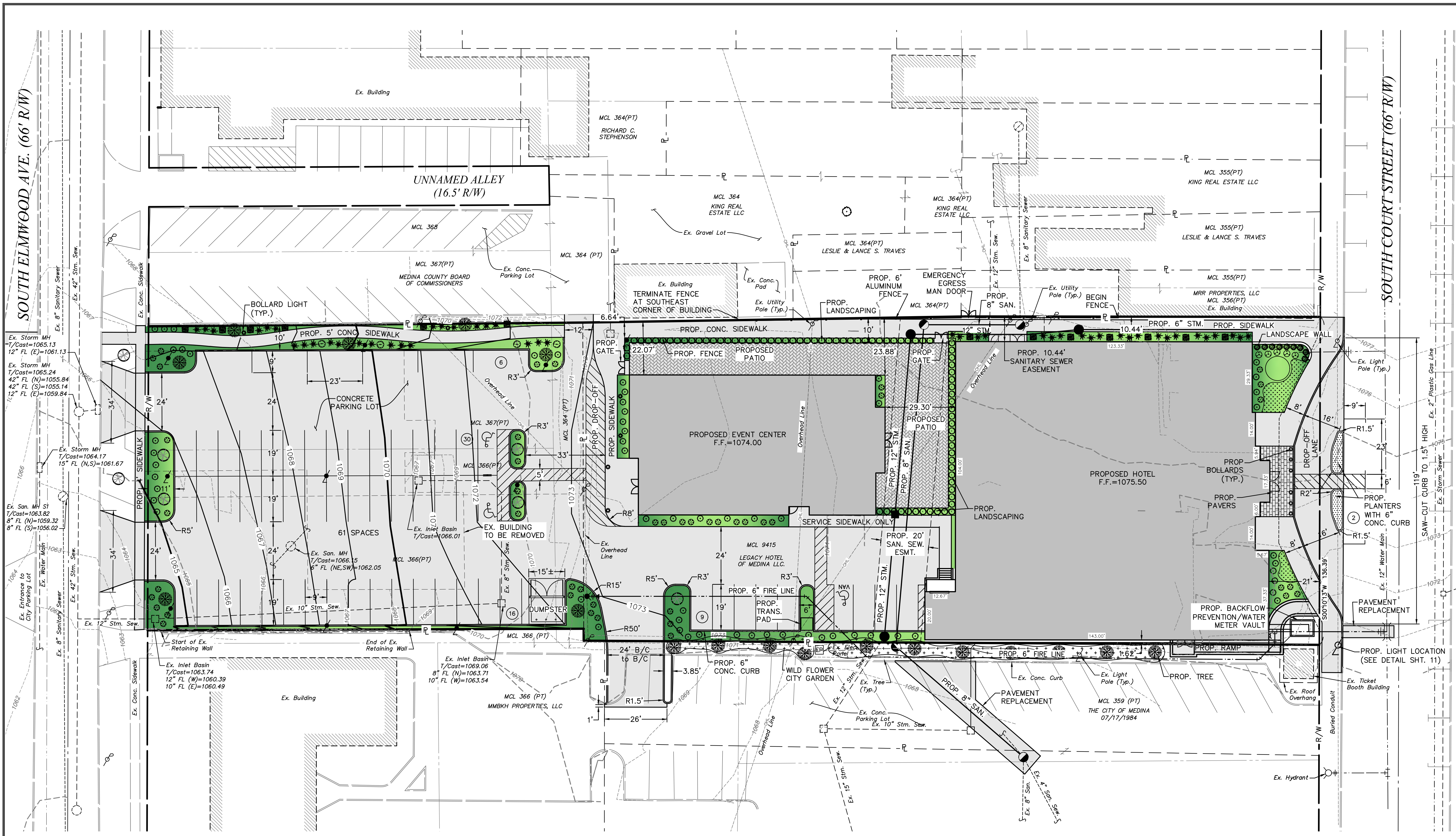
- EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
- ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD BARK MULCH BED.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
- FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
- CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION, SEE PLAN.
- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERMEN STANDARDS.
- LANDSCAPING MUST CONFORM TO THE CITY OF MEDINA PLANNING AND ZONING CODE CHAPTER 1149.
- BACKFILL WITH TOPSOIL AS REQUIRED TO BRING FINISHED GRADE FLUSH WITH GRADE ADJACENT, INSURING POSITIVE DRAINAGE OVER ALL SURFACE.
- LAWN AREA, FILL WITH TOPSOIL, MINIMUM DEPTH SHALL BE 6". MEET ADJACENT SURFACES FLUSH. MOUND TO PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- LANDSCAPE AREA, FILL WITH TOPSOIL, MINIMUM DEPTH SHALL BE 24". MEET ADJACENT SURFACES FLUSH. MOUND TO PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.

LEGEND

- EX. LIGHT POLE
- EX. POWER POLE
- EX. SIGN
- BOLLARD LIGHT
- TRIDENT MAPLE
- AMERICAN HORNBEAM
- PROPOSED WILD FLOWER GARDEN
- WHITE KNOCK OUT ROSE
- WINTERGREEN BOXWOOD
- GREEN VELVET BOXWOOD
- BUTTERFLY BUSH
- KOREAN SPICE VIBURNUM
- CONE FLOWER
- PROPOSED GROUND COVER
- PROPOSED CONCRETE PAVEMENT



X:\Info_Folders\2022\22-137 Drawings\Improvement Plans\22-137 SITE LS.dwg, 3/22/2024 8:50 AM, Cindy Halitch



REVISIONS	DATE	DESCRIPTION	BY

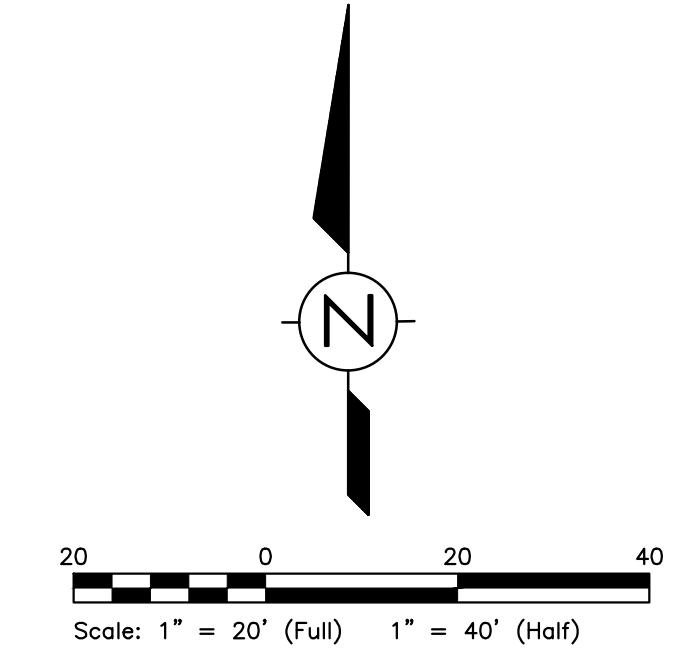
LEGACY HOTEL OF MEDINA
 LOCATED IN
 COUNTY OF MEDINA
CUNNINGHAM & ASSOCIATES, INC.
 CIVIL ENGINEERING and SURVEYING
 203 W. LIBERTY ST. MEDINA, OHIO 44026 330-725-5980

PRELIMINARY SITE PLAN

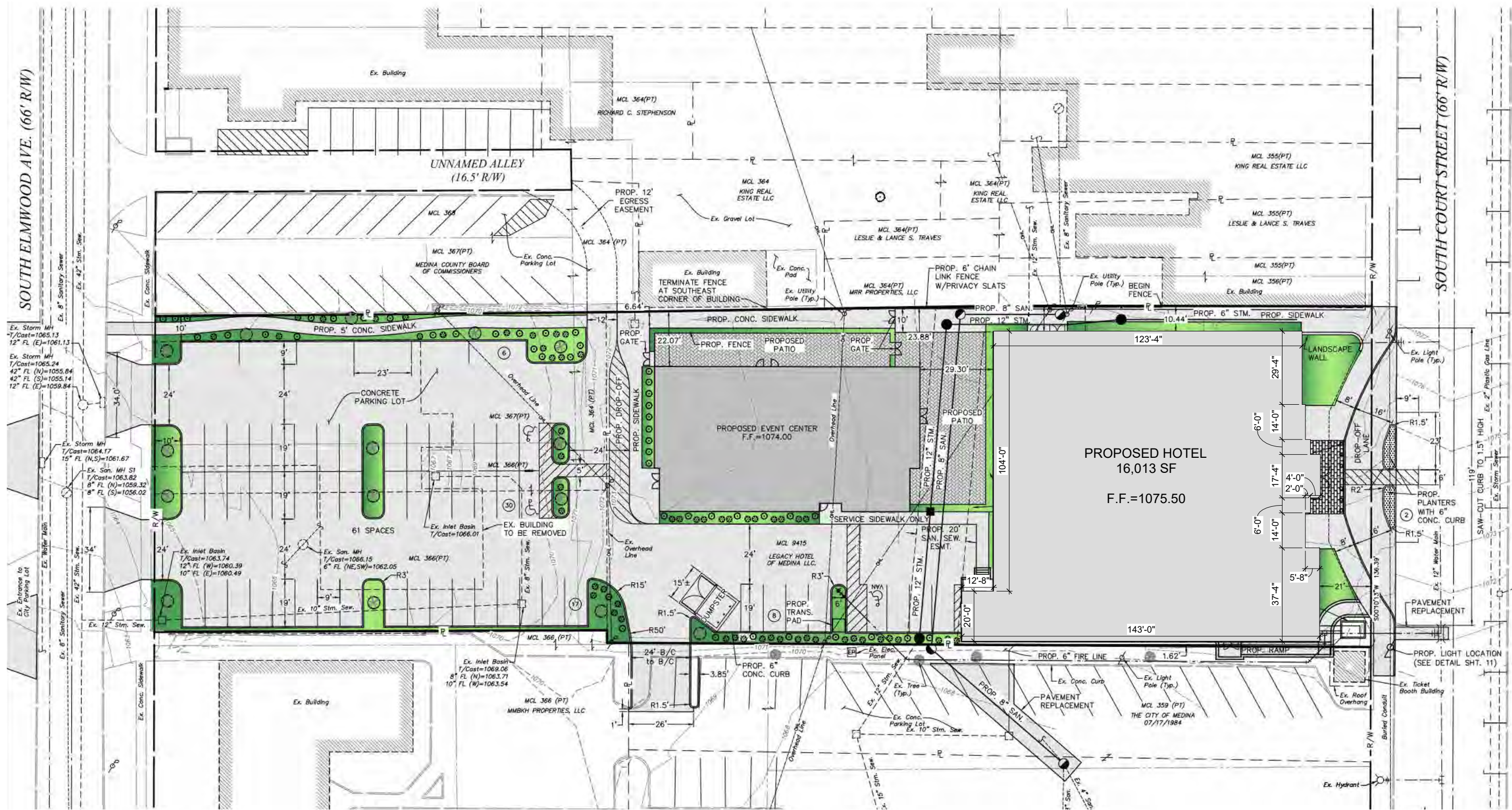
DRAWN BY: CAH
 DATE: 03/22/2024
 CHECKED BY: _____
 DATE: _____
 PROJECT No. 22-137
 ACAD FILE No. M:\...22-137 SITE

SCALE: PLAN- 1"=20'
 PROFILE-Horz. Vert.
 SHEET NO.
2 / 2

- LEGEND**
- EX. HYDRANT ASSEMBLY
 - EX. LIGHT POLE
 - EX. POWER POLE
 - PROP. LIGHT POLE
 - EX. OVERHEAD LINE
 - EX. SIGN
 - PROP. TREE
 - EX. CONCRETE PAVEMENT
 - PROP. CONCRETE PAVEMENT



X:\Info_Folders\2022\22-137_SITE3.dwg, 3/22/2024, 8:47 AM, Cindy Halitch



1 PLAN PRELIMINARY SITE PLAN - HOTEL
 1" = 40'-0"



MEDINA HOTEL - EVENT CENTER
 DATE: MAY 1, 2024
 PROJECT NO. 14423

PROJECT INFORMATION

SHEET NAME
SITE PLAN AND BUILDING FOOTPRINT

SHEET NO.
HSK00

Original Roof Plan



S Court St

5TH LEVEL
ROOF TOP TERRACE PLAN
 SCALE: 1/8" = 1'-0"
 6748 SF

1 1/10/23
 2 2/15/23
 3 2/20/23
 11/25/22

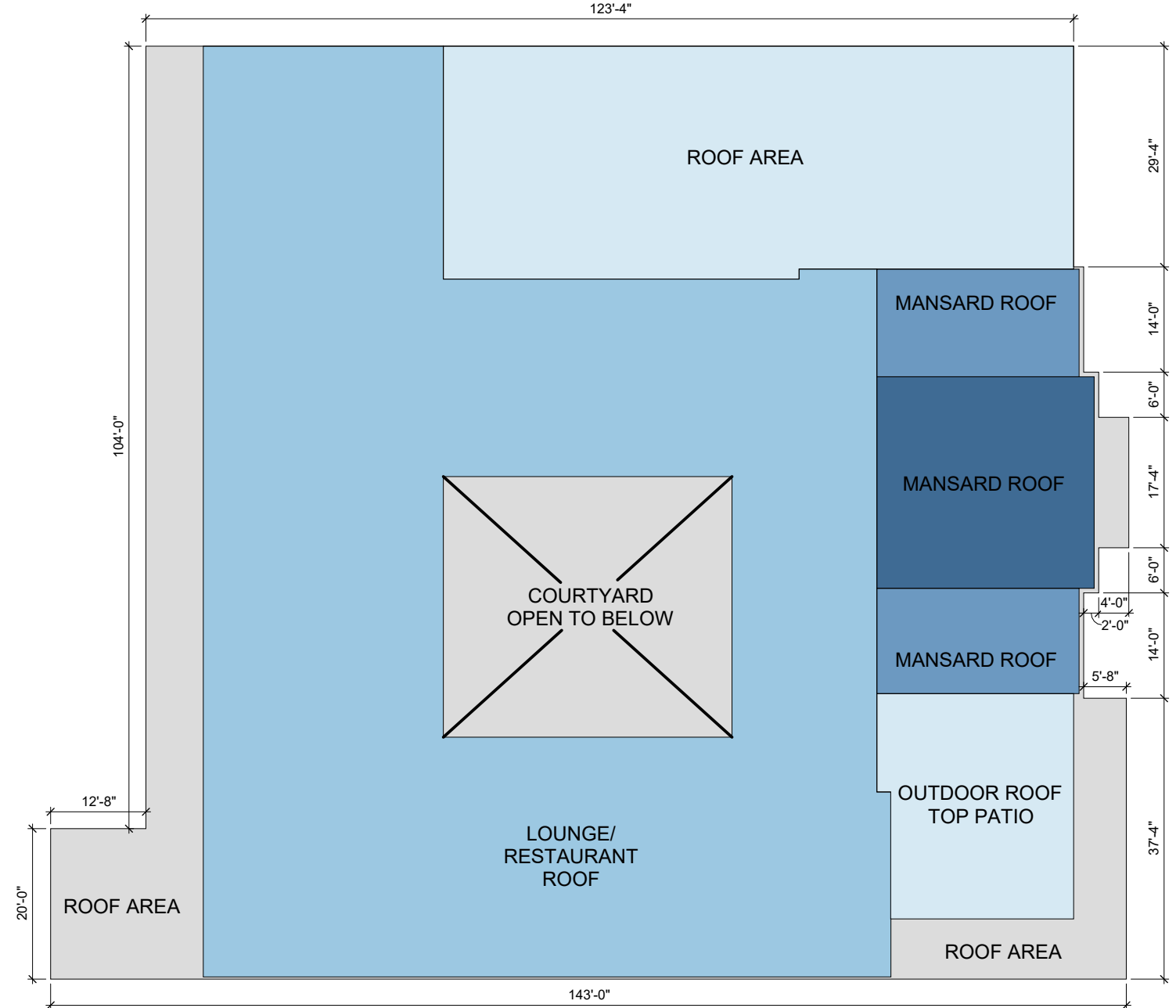
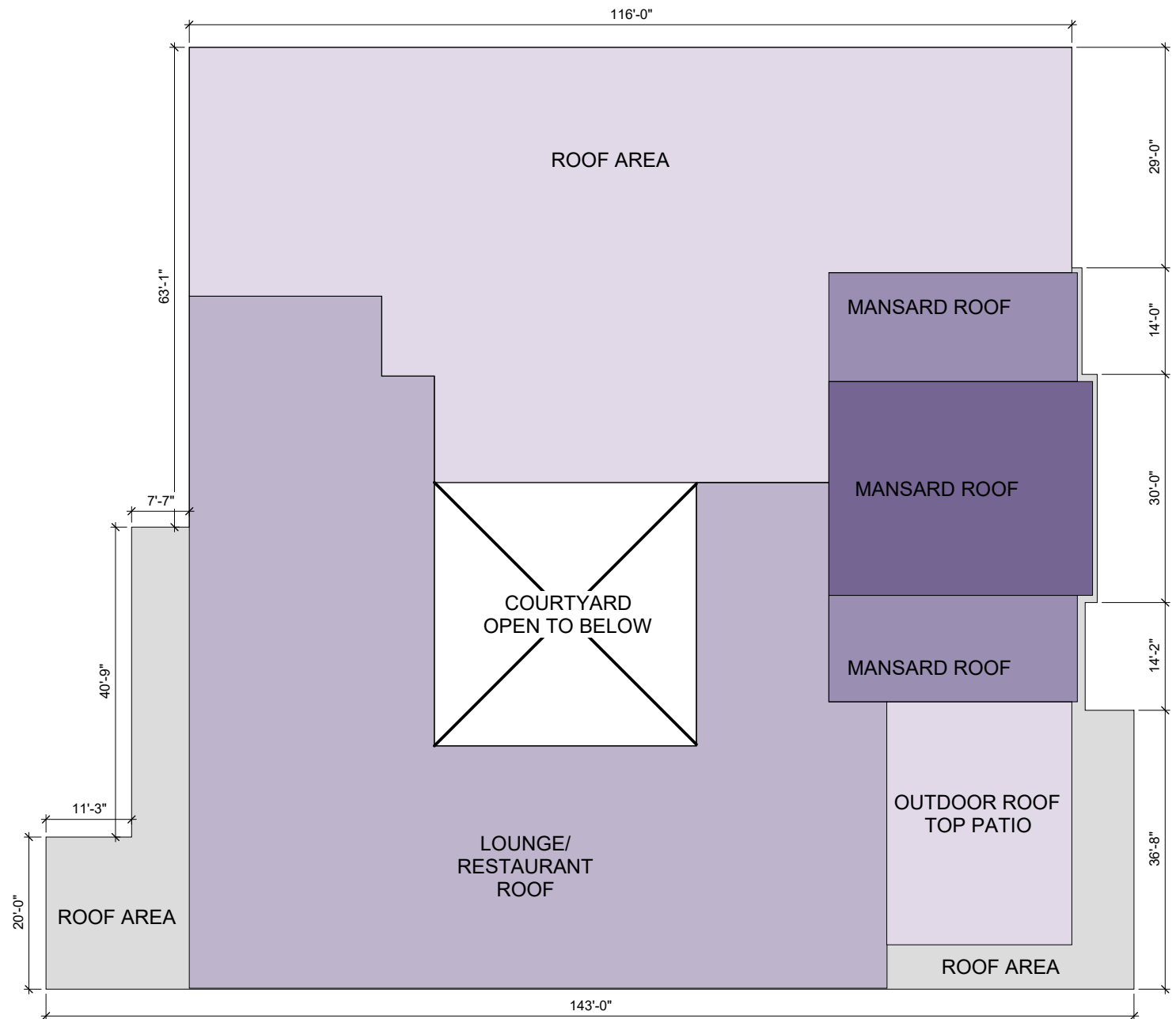
ILLES ARCHITECTS INC.
 3697 FOREST RIDGE CIRCLE
 MEDINA, OHIO 44256
 PH: 330.725.6262

ROOF AREA LEGEND

- BUILDING FOOTPRINT (100%)
ROOF ELEVATION: 15'-0" (~20%)

- ROOF AREA (~20%)
ROOF ELEVATION: 49'-4" - PARAPET @ 53'-3"
- LOUNGE/ RESTAURANT ROOF (~50%)
ROOF ELEVATION: 61'-1" - PARAPET @ 62'-2"

- MANSARD ROOF (~5%)
ROOF ELEVATION: 66'-11"
- MANSARD ROOF (~5%)
ROOF ELEVATION: 71'-0"

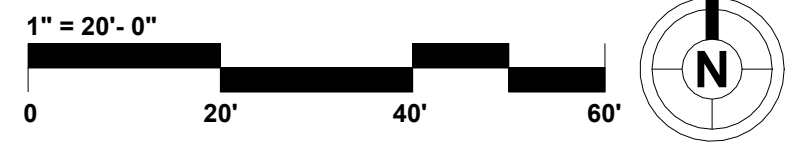


2 PLAN ORIGINAL ROOF PLAN OUTLINE AND HEIGHTS
1" = 20'-0"

1 PLAN ROOF PLAN OUTLINE AND HEIGHTS
1" = 20'-0"

ORIGINAL ROOF AREA LEGEND

- BUILDING FOOTPRINT (100%)
ROOF ELEVATION: 13'-0" (~9%)
- ROOF AREA (~40%)
ROOF ELEVATION: 45'-0"
- LOUNGE/ RESTAURANT ROOF (~38%)
ROOF ELEVATION: 55'-0"
- MANSARD ROOF (~6%)
ROOF ELEVATION: 62'-8"
- MANSARD ROOF (~7%)
ROOF ELEVATION: 66'-8"



PROJECT INFORMATION
 MEDINA HOTEL - EVENT CENTER
 DATE: MAY 1, 2024
 PROJECT NO. 14423

SHEET NAME	SHEET NO.
ROOF OUTLINE & HEIGHT	HSK05



1 ELEVATION EXTERIOR ELEVATIONS ORIGINAL - EAST
 1" = 10'-0"



SLATE LOOK SHINGLE ROOF
 ECO STAR MAJESTIC SLATE
 TRADITIONAL CLASS C
 COLOR: CHESTNUT BROWN,
 FEDERAL GRAY, CEDAR
 BROWN, MOUNTAIN PLUM,
 DRIFTWOOD

FIBER CEMENT PANEL
 PRIMED AND PAINTED,
 COLOR: PANDA WHITE
 SW 6147

FIBERGLASS CORNICE
 ARCHITECTURAL
 FIBERGLASS C-332. NO
 CHANGE TO PROPOSED
 COLOR PALETTE

BRICK VENEER,
 GLEN-GERY: OLDE DETROIT

SIGNAGE TO BE DETERMINED
 AT A FUTURE DATE

BRICK REVEAL DETAIL

STO LIMESTONE

SOLDIER COURSE DETAIL

ANODIZED ALUMINUM FIXED
 WINDOW, LOW-E GLASS,
 FRAME COLOR: DARK BRONZE,

AWNING, COLOR: HOGAN
 ADMIRAL

ANODIZED ALUMINUM FIXED
 WINDOW, LOW-E GLASS,
 FRAME COLOR: DARK BRONZE

ARRISCRAFT - RENAISSANCE
 MASONRY UNITS, COLOR:
 LIMESTONE, FINISH: SATIN

CAST STONE BASE

CANOPY, COLOR: BRONZE

BOLLARD (FLAT TOP), COLOR: BLACK



1

ELEVATION HOTEL - EAST ELEVATION

1" = 10'-0"

1" = 10'-0"



PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER
 DATE: MAY 1, 2024
 PROJECT NO. 14423

SHEET NAME

HOTEL - EAST EXTERIOR
 ELEVATION

SHEET NO.

HSK01





1 ELEVATION EXTERIOR ELEVATIONS ORIGINAL - WEST
 1" = 10'-0"



PROJECT INFORMATION
 MEDINA HOTEL - EVENT CENTER
 DATE: MAY 1, 2024
 PROJECT NO. 14423

SHEET NAME
 HOTEL - ORIGINAL WEST
 EXTERIOR ELEVATION

SHEET NO.
 HSK02.0

FIBER CEMENT PANEL
PRIMED AND PAINTED,
COLOR: PANDA WHITE
SW 6147

FIBERGLASS CORNICE
ARCHITECTURAL
FIBERGLASS C-345.
COLOR:
SW 6147 PANDA WHITE
SW 0032 NEEDLEPOINT
NAVY

BRICK VENEER,
GLEN-GERY: OLDE
DETROIT
BRICK REVEAL DETAIL

STO LIMESTONE

SOLDIER COURSE DETAIL

ANODIZED ALUMINUM FIXED
WINDOW, LOW-E GLASS,
FRAME COLOR: DARK BRONZE

FIBERGLASS CORNICE
ARCHITECTURAL
FIBERGLASS C-332. NO
CHANGE TO PROPOSED
COLOR PALETTE

ARRISCRAFT -
RENAISSANCE MASONRY
UNITS, COLOR: LIMESTONE,
FINISH: SATIN

CAST STONE BASE

TOP OF ROOF
71'-0"

ROOF
61'-0"

PARAPET
53'-0"

FIFTH FLOOR
47'-10 1/4"

FOURTH FLOOR
36'-7 5/8"

THIRD FLOOR
25'-9 7/8"

SECOND FLOOR
15'-0"

FIRST FLOOR
0'-0"

+ 62'-2"

+ 15'-0"

1 ELEVATION HOTEL - WEST ELEVATION

1" = 10'-0"

1" = 10'-0"

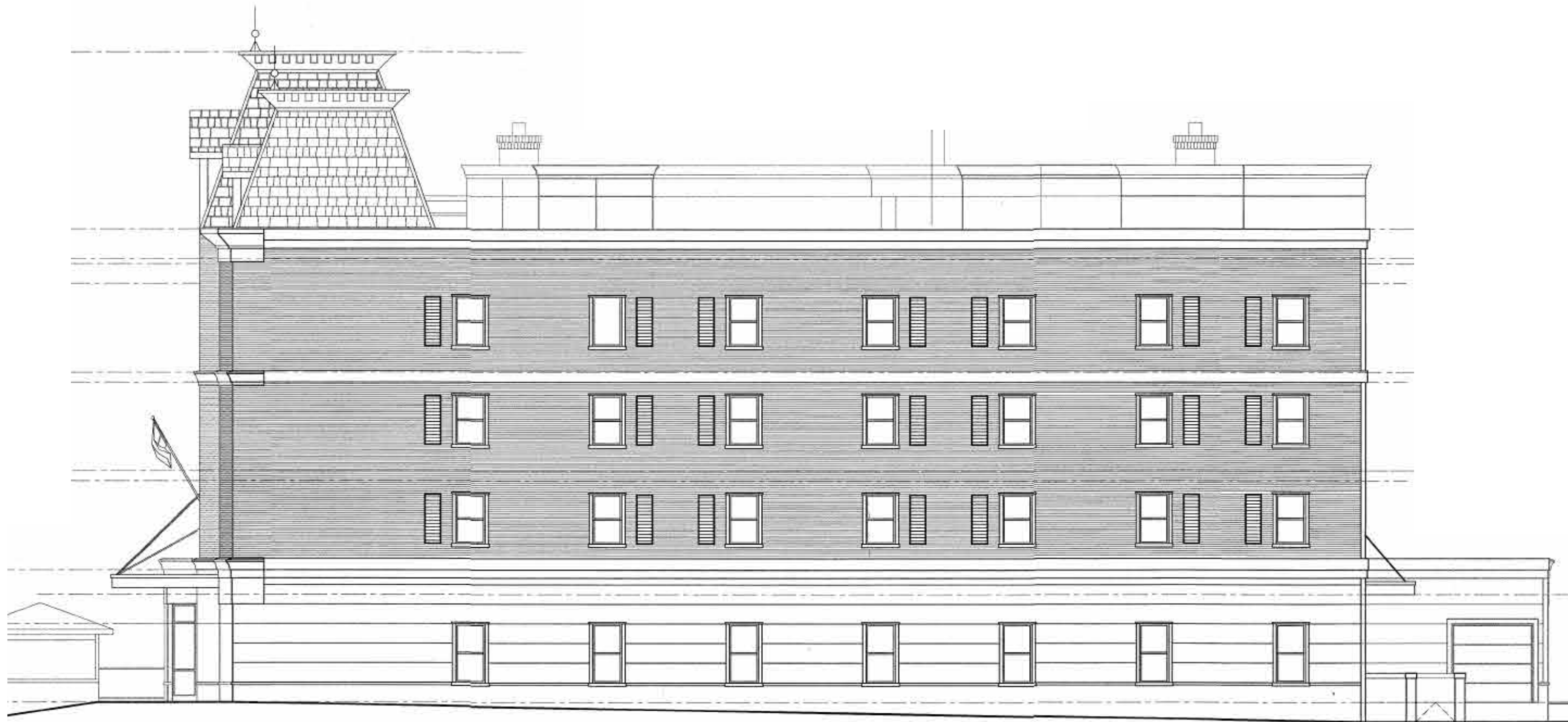
0 10' 20' 30'



PROJECT INFORMATION
MEDINA HOTEL - EVENT CENTER
DATE: MAY 1, 2024
PROJECT NO. 14423

SHEET NAME
HOTEL - WEST EXTERIOR
ELEVATION

SHEET NO.
HSK02



1 ELEVATION EXTERIOR ELEVATIONS ORIGINAL - NORTH
 1" = 10'-0"



PROJECT INFORMATION
 MEDINA HOTEL - EVENT CENTER
 DATE: MAY 1, 2024
 PROJECT NO. 14423

SHEET NAME
 HOTEL - ORIGINAL
 NORTH EXTERIOR
 ELEVATION

SHEET NO.
 HSK03.0

SLATE LOOK SHINGLE ROOF
 ECO STAR MAJESTIC SLATE
 TRADITIONAL CLASS C
 COLOR: CHESTNUT BROWN,
 FEDERAL GRAY, CEDAR
 BROWN, MOUNTAIN PLUM,
 DRIFTWOOD

FIBER CEMENT
 PANEL PRIMED AND
 PAINTED, COLOR:
 PANDA WHITE
 SW 6147

FIBERGLASS CORNICE
 ARCHITECTURAL
 FIBERGLASS C-332. NO
 CHANGE TO
 PROPOSED COLOR
 PALETTE

BRICK VENEER,
 GLEN-GERY: OLDE DETROIT

BRICK REVEAL DETAIL

STO LIMESTONE

SOLDIER COURSE
 DETAIL

ANODIZED ALUMINUM
 FIXED WINDOW, LOW-E
 GLASS,
 FRAME COLOR: DARK
 BRONZE

FIBERGLASS CORNICE
 ARCHITECTURAL
 FIBERGLASS C-332. NO
 CHANGE TO
 PROPOSED COLOR
 PALETTE

CANOPY, COLOR:
 DARK BRONZE

ARRISCRAFT -
 RENAISSANCE
 MASONRY UNITS,
 COLOR: LIMESTONE,
 FINISH: SATIN

CAST STONE BASE

ANODIZED ALUMINUM FIXED
 WINDOW, LOW-E GLASS,
 FRAME COLOR: DARK BRONZE

FIBERGLASS CORNICE
 ARCHITECTURAL FIBERGLASS
 C-345.
 COLOR:
 SW 6147 PANDA WHITE
 SW 0032 NEEDLEPOINT NAVY



1

ELEVATION HOTEL - NORTH ELEVATION

1" = 10'-0"

1" = 10'-0"



PROJECT INFORMATION
 MEDINA HOTEL - EVENT CENTER
 DATE: MAY 1, 2024
 PROJECT NO. 14423

SHEET NAME
 HOTEL - NORTH
 EXTERIOR ELEVATION

SHEET NO.
 HSK03



1 ELEVATION EXTERIOR ELEVATIONS ORIGINAL - SOUTH
 1" = 10'-0"



PROJECT INFORMATION
 MEDINA HOTEL - EVENT CENTER
 DATE: MAY 1, 2024
 PROJECT NO. 14423

SHEET NAME
 HOTEL - ORIGINAL
 SOUTH EXTERIOR
 ELEVATION

SHEET NO.
 HSK04.0

SLATE LOOK SHINGLE ROOF
 ECO STAR MAJESTIC SLATE
 TRADITIONAL CLASS C
 COLOR: CHESTNUT BROWN,
 FEDERAL GRAY, CEDAR
 BROWN, MOUNTAIN PLUM,
 DRIFTWOOD

FIBER CEMENT PANEL
 PRIMED AND PAINTED,
 COLOR: PANDA WHITE
 SW 6147

FIBERGLASS CORNICE
 ARCHITECTURAL
 FIBERGLASS C-345.
 COLOR:
 SW 6147 PANDA WHITE
 SW 0032 NEEDLEPOINT
 NAVY

BRICK VENEER,
 GLEN-GERY: OLDE DETROIT

STO LIMESTONE

BRICK REVEAL DETAIL

SOLDIER COURSE
 DETAIL

ANODIZED ALUMINUM FIXED
 WINDOW, LOW-E GLASS,
 FRAME COLOR: DARK
 BRONZE

FIBERGLASS CORNICE
 ARCHITECTURAL
 FIBERGLASS C-332. NO
 CHANGE TO PROPOSED
 COLOR PALETTE

ARRISCRAFT -
 RENAISSANCE
 MASONRY UNITS,
 COLOR: LIMESTONE,
 FINISH: SATIN

CAST STONE BASE

+ 62'-2"

+ 71'-0"

+ 66'-11"

TOP OF ROOF
 71'-0"

ROOF
 61'-0"

PARAPET
 53'-3"

FIFTH FLOOR
 47'-10 1/4"

FOURTH FLOOR
 36'-7 5/8"

THIRD FLOOR
 25'-9 7/8"

SECOND FLOOR
 15'-0"

CANOPY, COLOR:
 DARK BRONZE

FIRST FLOOR
 0'-0"

+ 15'-0"

1

ELEVATION HOTEL - SOUTH ELEVATION

1" = 10'-0"

1" = 10'-0"



PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER
 DATE: MAY 1, 2024
 PROJECT NO. 14423

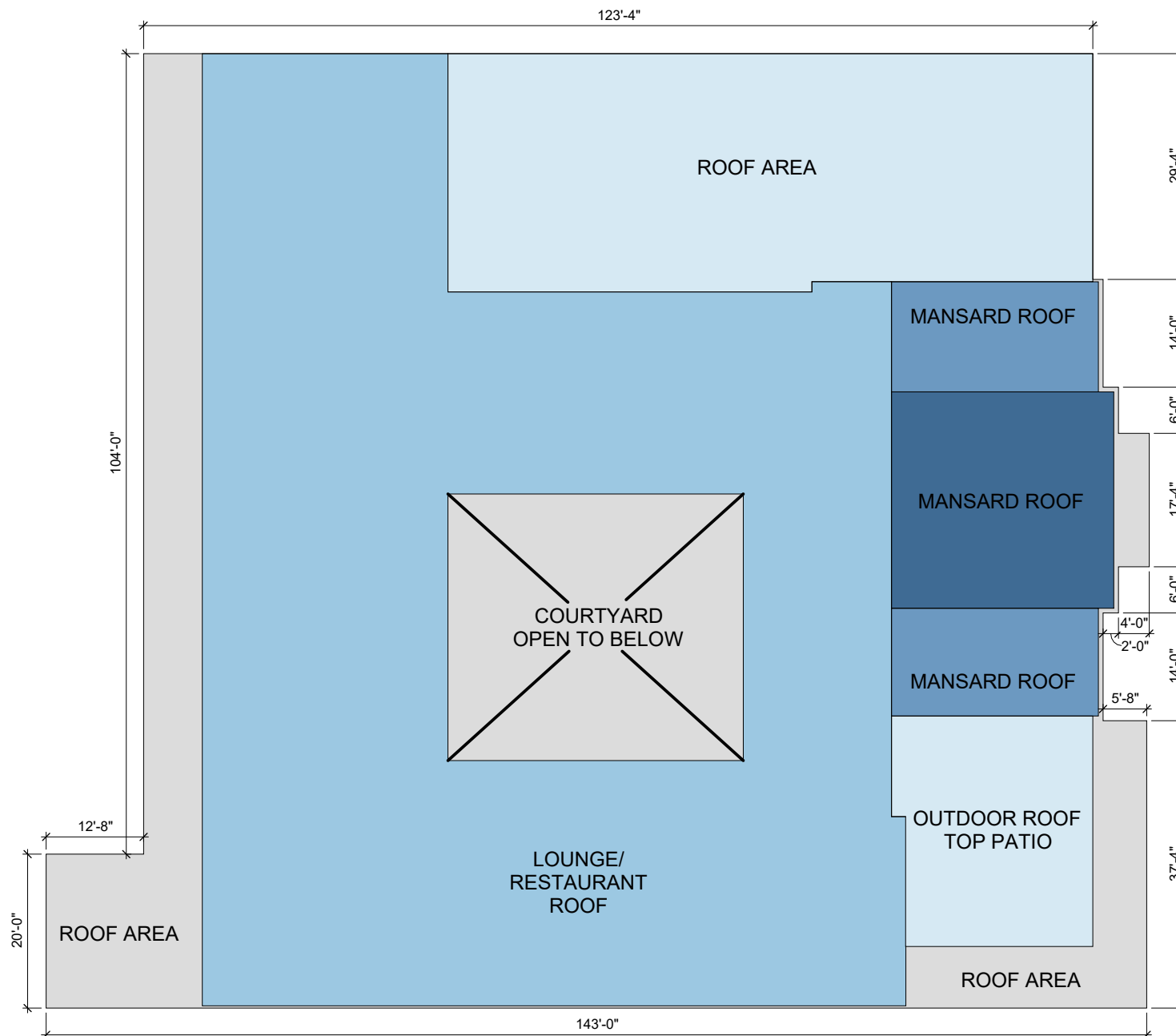
SHEET NAME

HOTEL - SOUTH
 EXTERIOR ELEVATION

SHEET NO.

HSK04

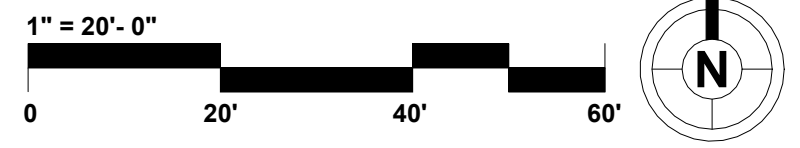




ROOF AREA LEGEND

- BUILDING FOOTPRINT (100%)
ROOF ELEVATION: 15'-0" (~20%)
- ROOF AREA (~20%)
ROOF ELEVATION: 49'-4" - PARAPET @ 53'-3"
- LOUNGE/ RESTAURANT ROOF (~50%)
ROOF ELEVATION: 61'-1" - PARAPET @ 62'-2"
- MANSARD ROOF (~5%)
ROOF ELEVATION: 66'-11"
- MANSARD ROOF (~5%)
ROOF ELEVATION: 71'-0"

1 PLAN ROOF PLAN OUTLINE AND HEIGHTS
1" = 20'-0"

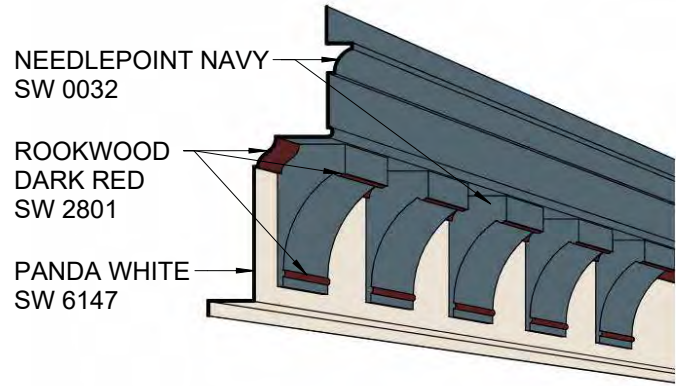


PROJECT INFORMATION
 MEDINA HOTEL - EVENT CENTER
 DATE: MAY 1, 2024
 PROJECT NO. 14423

SHEET NAME ROOF OUTLINE & HEIGHT	SHEET NO. HSK05
--	---------------------------

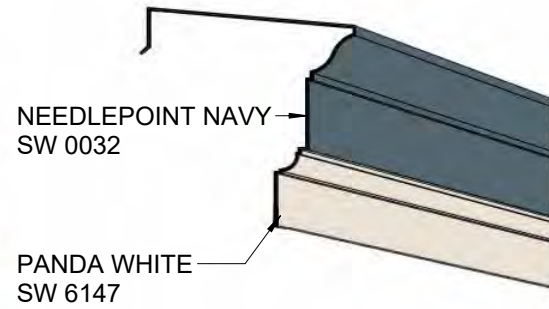
FIBERGLASS CORNICE - AMERICAN
FIBERGLASS INC. C-332 (NO CHANGE)

C-332
DEPTH: 1'-8"
HEIGHT: 3'-6 3/4"



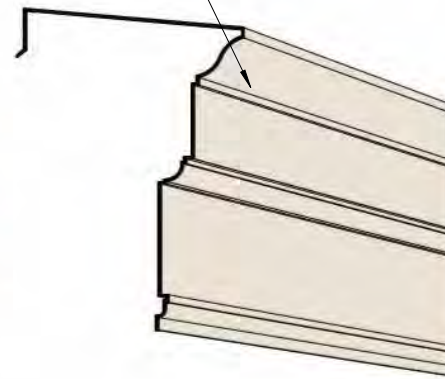
FIBERGLASS CORNICE - AMERICAN
FIBERGLASS INC. C-345

C-345
DEPTH: 1'-10 1/2"
HEIGHT: 2'-7 7/8"



-10 1/2"
-7 7/8"

PANDA WHITE
SW 6147



STO LIMESTONE FINISH @
LINTELS & SILLS. (NO CHANGE)

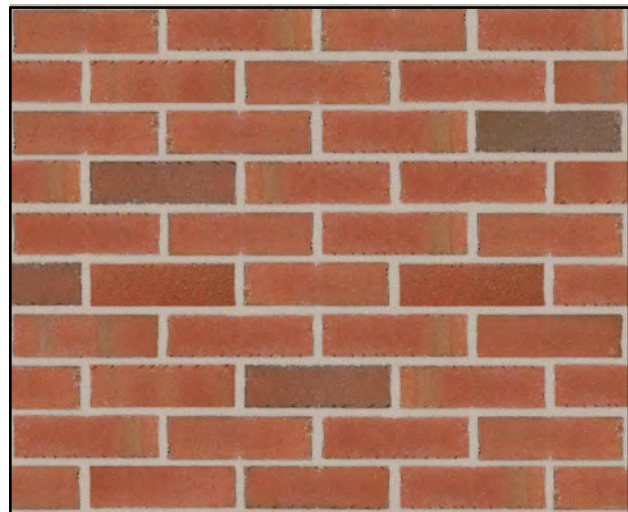
STO LIMESTONE FINISH



ARRISCRAFT - RENAISSANCE MASONRY UNITS,
COLOR: LIMESTONE, FINISH: SATIN



GLEN-GERY BRICK : OLDE DETROIT
(NO CHANGE)



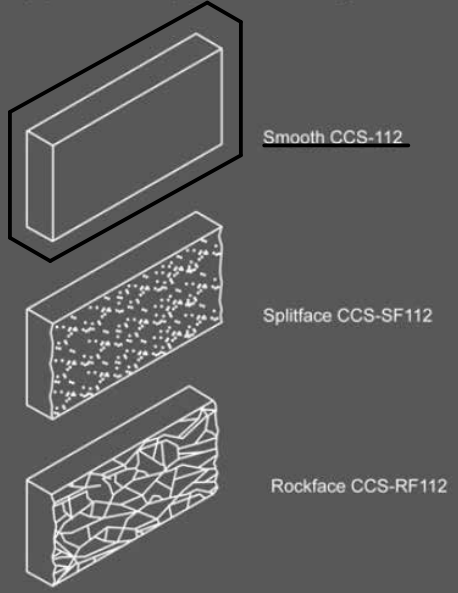
SUNBRELLA FABRICS
COLOR: HOGAN ADMIRAL



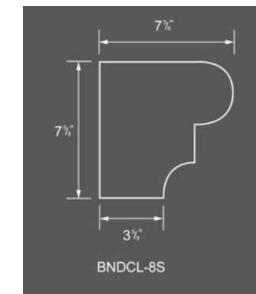
ARCHITECTURAL CAST STONE BASE, CUSTOM CASTSTONE.
STONE SMOOTH FINISH CCS-112, CAP BNDCL-8S
COLOR: LIMESTONE

STONE SIZE AND FINISH

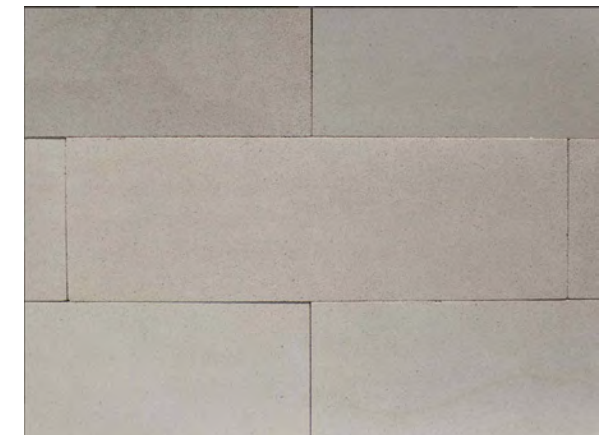
(d) 3 5/8" x (h) 11 5/8" x (l) 23 5/8"



CAP PROFILE



COLOR



PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER
DATE: MAY 1, 2024
PROJECT NO. 14423

SHEET NAME

EXTERIOR ELEVATIONS
MATERIALS

SHEET NO.

HSK06



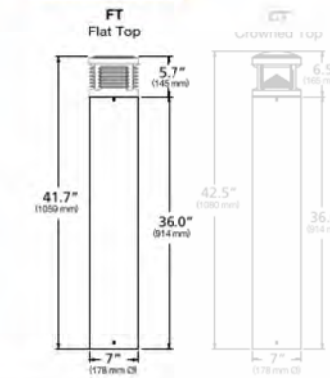


KIMLIGHTING®

PA7R IMPACT RATED

BOLLARD

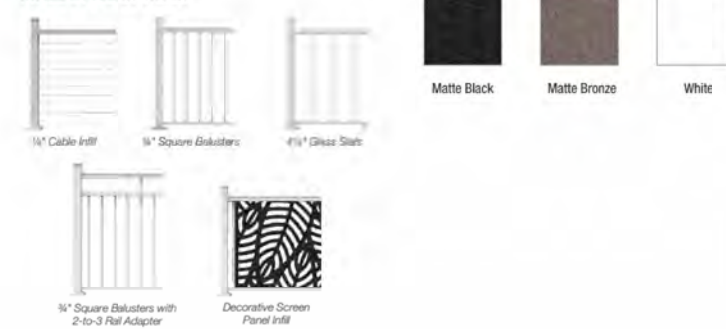
DIMENSIONS



BARRETTE OUTDOOR LIVING AVALON ALUMINUM RAILING

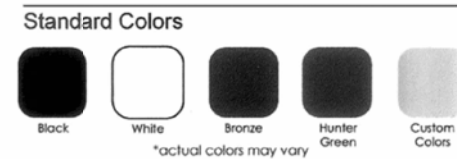


INFILL STYLE OPTIONS

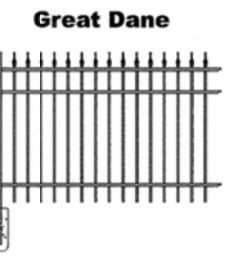


Aluminum Fence at Wholesale Prices Delivered to You

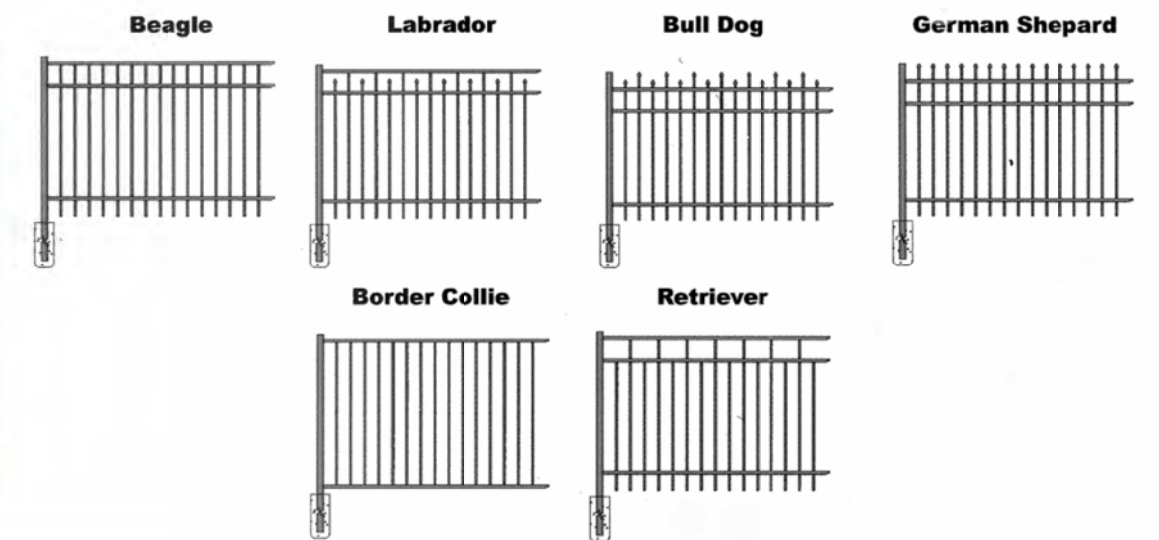
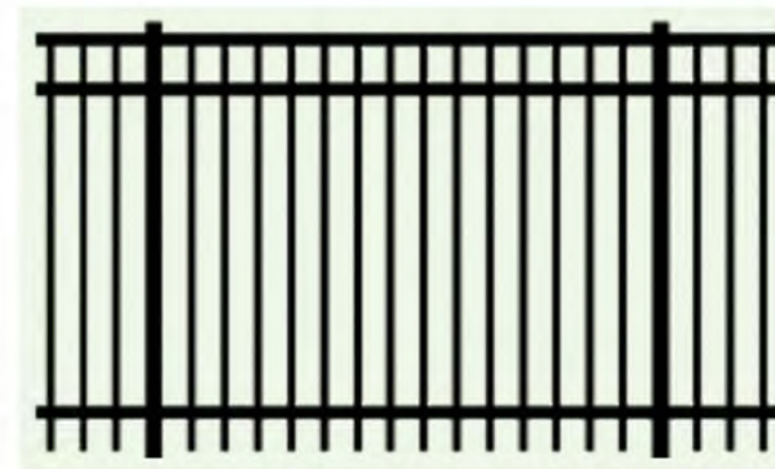
Fence Specs	Residential	Commercial
Picket	5/8" sq.	3/4" sq.
Rail	1-3/8" x 1"	1-3/4" x 1-1/4"
Fence Post	2" sq. x .062	2" x.062 or 2-1/2" x .075
Gate Post	2" sq. x .125	2" sq., 2-1/2" sq.



Fence Styles



BEAGLE COMMERCIAL FENCE



PROJECT INFORMATION

SHEET NAME

SHEET NO.

MEDINA HOTEL - EVENT CENTER
 DATE: MAY 1, 2024
 PROJECT NO. 14423

FENCE AND LIGHT
 FIXTURE EXAMPLES

HSK07





PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER
DATE: MAY 1, 2024
PROJECT NO. 14423



SHEET NAME
SOUTH EAST CORNER -
3D STREET
PERSPECTIVE

SHEET NO.
HSK08



PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER
DATE: MAY 1, 2024
PROJECT NO. 14423

SHEET NAME
EAST FACADE - 3D
PERSPECTIVE

SHEET NO.
HSK09





PROJECT INFORMATION



MEDINA HOTEL - EVENT CENTER
DATE: MAY 1, 2024
PROJECT NO. 14423

SHEET NAME

EAST FACADE - 3D
PERSPECTIVE

SHEET NO.

HSK10



PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER
DATE: MAY 1, 2024
PROJECT NO. 14423

SHEET NAME

SOUTH EAST CORNER -
3D PERSPECTIVE

SHEET NO.

HSK11





PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER
DATE: MAY 1, 2024
PROJECT NO. 14423

SHEET NAME

SOUTH WEST CORNER -
3D PERSPECTIVE

SHEET NO.

HSK12





PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER
DATE: MAY 1, 2024
PROJECT NO. 14423

SHEET NAME

NORTH WEST CORNER -
3D PERSPECTIVE

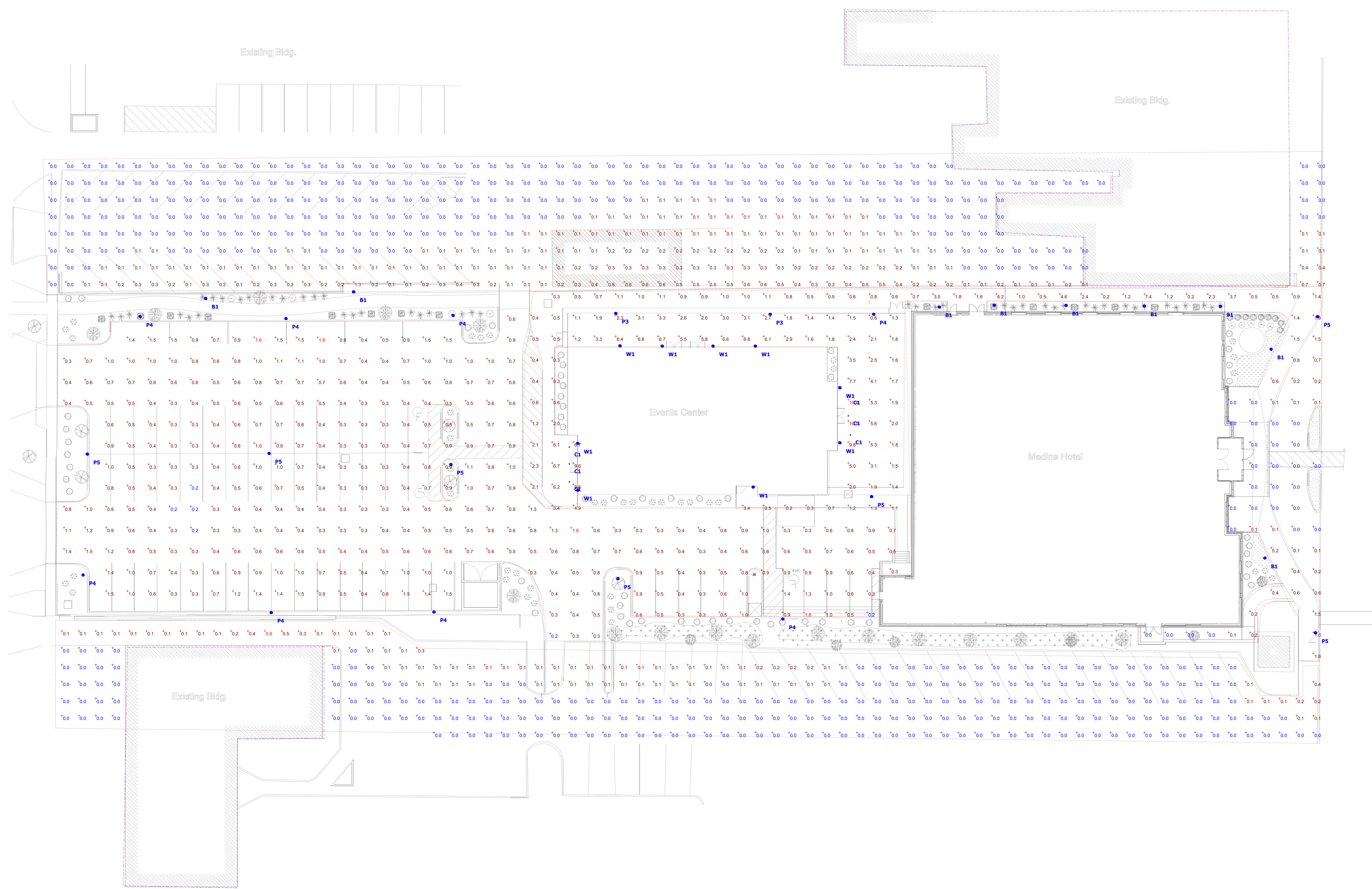
SHEET NO.

HSK13



Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	Input Power	Notes
	B1	9	TBD	SEE PROPOSED OPTIONS FOR HISTORIC PRESERVATION BOARD'S REVIEW.	BOLLARD @ 4ft	1	808	14.08	4' Mounting Height
	P3	2	ARCHITECTURAL AREA LIGHTING	PROS-Y3-2040	PROVIDENCE SMALL - 15ft Post Top Light Fixture with Type III Distribution	1	1830	25.1	15' Mounting Height
	P4	8	ARCHITECTURAL AREA LIGHTING	PROS-Y4W-3040	PROVIDENCE SMALL - 15ft Post Top Light Fixture with Type IV Distribution	1	2988	43	15' Mounting Height
	P5	7	ARCHITECTURAL AREA LIGHTING	PROS-Y5-3040	PROVIDENCE SMALL - 15ft Post Top Light Fixture with Type V Distribution	1	2893	43.2	15' Mounting Height
	W1	9	ARCHITECTURAL AREA LIGHTING	ALN440-Y3-32LED-4K-SBL-700	TOWNE COMMONS - ALN440 ONE PIECE SAND BLASTED LENS.	1	4953	74.9	
	C1	6	BEACON PRODUCTS	SRT1-15-4K7-5C-UNV	SRT1 12" ROUND EDGELIT CEILING	1	2458	16.85	

Statistics						
Symbol	Max	Avg	Min	Max/Min	Avg/Min	Description
+	1.6 fc	0.6 fc	0.2 fc	8.0:1	3.0:1	Parking Lot



Plan View
Scale - 1" = 25ft

PHOTOMETRIC SITE PLAN
LEGACY OF MEDINA HOTEL
257 S COURT ST.
MEDINA, OH 44256

Andrew Dutton

From: Jana Call <jana@mpg-architects.com>
Sent: Thursday, May 9, 2024 9:27 AM
To: Andrew Dutton
Cc: Ian Jones; Jason Stevenson (jstevenson@autonomycapitalgroup.com); Bobby Johnston
Subject: RE: Hotel HPB Meeting
Attachments: HSK10.A - EAST FACADE - 3D PERSPECTIVE OPTION 2.pdf; HSK11.A - SOUTH EAST CORNER - 3D PERSPECTIVE OPTION 2.pdf; HSK12.A - SOUTH WEST CORNER - 3D PERSPECTIVE OPTION 2.pdf; HSK13.A - NORTH WEST CORNER - 3D PERSPECTIVE OPTION 2.pdf

Good morning Andrew,

Please see attached "Option 2" renders with the painted roof cornice.

As requested, this is a brief balcony description: The new "observation deck" is a balcony feature added on the south façade of the fifth floor, serving the "Sky Lounge" not only as a balcony, but also as an extension when the full height glass door system is fully open. The crescent shaped balcony has an area of 175 sf, with 3'-0" at the narrow sides and 5'3" in the middle. The face of the balcony will be painted navy (SW 0032 Needlepoint Navy) to match the cornice, it will also have dark bronze aluminum guard with glass at 42" high.

Thank you again for all the feedback!

Thank you,

JANA CALL



PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER
DATE: MAY 9, 2024
PROJECT NO. 14423



SHEET NAME

EAST FACADE - 3D
PERSPECTIVE OPTION 2

SHEET NO.

HSK10.A



PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER
DATE: MAY 9, 2024
PROJECT NO. 14423

SHEET NAME
SOUTH EAST CORNER -
3D PERSPECTIVE
OPTION 2

SHEET NO.
HSK11.A





PROJECT INFORMATION



MEDINA HOTEL - EVENT CENTER
DATE: MAY 9, 2024
PROJECT NO. 14423

SHEET NAME
SOUTH WEST CORNER -
3D PERSPECTIVE
OPTION 2

SHEET NO.
HSK12.A



PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER
DATE: MAY 9, 2024
PROJECT NO. 14423



SHEET NAME
NORTH WEST CORNER -
3D PERSPECTIVE
OPTION 2

SHEET NO.
HSK13.A