

P24-14
South Harmony Street Additions

Property Owner: Louis and Julie Schubert
 Applicant: Louis and Julie Schubert
 Location: 248 South Harmony Street
 Zoning: R-2 (Medium Density Residential)
 Request: Certificate of Appropriateness approval for additions in the TC-OV District

LOCATION AND SURROUNDING USES

The subject site is composed of three properties encompassing 1.42 acres located on the northeast corner of East Smith Road and South Harmony Street. Adjacent properties contain the following uses and zoning:

- North – Single-Family Residential (R-2)
- East – Office (R-2)
- South – Single-Family Residential (R-2)
- West – Single-Family Residential (R-3)



BACKGROUND & PROPOSED APPLICATION

The existing site includes a two story 1,982 sq. ft. single-family home built in 1923 and a 2,423 sq. ft. detached garage. The location of an in-law suite in the detached garage was approved by the Planning Commission in 2021. The applicant is currently requesting the following one story additions to the single-family home:

- North Side – 590 sq. ft. addition for a master suite
- East Side – 598 sq. ft. addition for a living room, mud room, and laundry
- South/East/West Sides – 728 sq. ft. covered porch wrapping around the home

Andrew Dutton

From: Lisa Davis <ldavis@myoldworld.com>
Sent: Friday, May 3, 2024 9:47 AM
To: Andrew Dutton
Cc: Jason Amato
Subject: RE: Schubert Home || 248 S. Harmony St. || Variance and TCOV application

Hi Andrew, so sorry for the delay on my response. See below for answers to your questions. Thanks so much.

- The color of the proposed siding and roofing
Black dimensional shingles. White Hardie lap siding
- Color and material of proposed windows
Pella lifestyle series- white aluminum clad exteriors
- Type of existing siding
Aluminum lap siding



Lisa Davis | Production Manager
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****We will never send an email request to wire or transfer funds to a different bank account.*

****Any request to change wire instructions will be communicated offline.*

DEVELOPMENT STANDARDS

The property is located on a corner lot, which effectively has two front yards adjacent to South Harmony Street and East Smith Road. The required setback from each right-of-way is 40 ft., per Section 1123.05. The existing principal structure is located 41.15 ft. from the South Harmony Street right-of-way and 110 ft. from the East Smith Road right-of-way.

The two proposed additions meet the required setbacks from the rights-of-way. However, the covered porch is located 34.71 ft. from the South Harmony Street right-of-way. The applicant has filed a variance to Section 1123.05 to allow the covered porch to project into the required front setback.

TC-OV OVERLAY DEVELOPMENT GUIDELINES

The criteria contained in the Overlay District Development Guidelines shall be used by the Planning Commission to guide their decision. Applicable sections are as follows:

TCOV.6 Location, Orientation, Size, and Shape of Buildings.

- (b) New and remodeled buildings should be compatible with their surroundings. Architectural style, bulk, shape, massing, scale, and form of new and remodeled buildings and the shape between and around buildings should be consistent with the character of the area and be in harmony with neighboring buildings.
- (c) The front of the buildings should not exceed fifty (50) feet in horizontal length. A minimum of sixty percent (60%) of the front building façade shall consist of windows, doorways, awnings, etc., in order to break up the visual mass of the structure.

TCOV.8 Building Materials and Appurtenances.

- (a) The architectural character and exterior building materials of new and remodeled buildings should be harmonious with surrounding buildings in color and texture, proportion, scale, patterns and opening sizes and shapes.
- (b) Construction materials and colors for walls and fences that are visible from the street should be uniform and compatible with the architectural style, color and building material of the building and its surroundings.
- (c) The original pattern of window and door openings and their shape and configuration should not be altered. Window and door openings should not be reduced, enlarged, or filled-in on street facade. Replacement windows and doors should match the original in size, shape and design.
- (d) Original materials should be repaired, restored, and reused whenever possible. Where necessary missing or deteriorated materials should be replaced with appropriate recycled or new materials which match the original as closely as possible.

The proposed single story additions on the side and rear of the home incorporate vinyl siding, asphalt shingles, and multiple windows and rooflines. The sides of the home facing streets include a wrap-around porch. The side of the home facing East Smith Road also includes the replacement of two smaller second story windows with a single larger window.

Though the additions have a relatively large footprint in comparison with the existing structure, they are single-story and appear subordinate to the home. The wrap around porch also appears to be appropriate for the structure.



TCOV.6(c) above indicates that the front of the buildings should not exceed fifty (50) feet in horizontal length. The fronts of the building are 70 ft. facing South Harmony Street and 79 ft. facing East Smith Road. The site is 225 ft. wide on South Harmony Street and 177 ft. wide on East Smith Road, which is far wider than most residential lots in the area. As the requirement indicates “should” rather than “shall”, the Planning Commission may or may not find the regulation applicable to the proposed project.

The applicant will need to indicate the colors of the proposed siding and roofing, which are assumed to match the home.

COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION

Staff recommends approval of application P24-12, as submitted with the condition that the project shall comply with Planning and Zoning Code Section 1123.05 regarding front yard setbacks or a variance shall be approved by the Board of Zoning Appeals.



PREPARED BY

Adam Cox

Old World Custom Renovations LLC

acox@myoldworld.com

7056 Mears Gate Dr NW, North Canton, OH 44720, USA

PREPARED FOR

Jeb & Julie Schubert

Schubert

248 S Harmony St, Medina, OH 44256, USA

PROPOSAL DETAILS

248 S Harmony St, Medina, OH 44256, USA

DESCRIPTION

QTY

Preconstruction & Permitting
Preconstruction & Permitting Costs

Master Suite Addition

596 Sq. Ft. Master Suite Addition

Demolition

Remove existing vinyl siding at addition, prepare walls for addition.

Foundation

8' Foundation concrete poured walls. 16" concrete footer, exposed foundation

Add Bilco Door to Foundation

Framing, Roofing, and Concrete

2x6 Exterior walls, 8' high. Roofing to be Certaineed Landmark dimensional shingles. 4" thick concrete floor in crawl space.

Windows & Doors

Windows & Doors per plans

Exterior Finishes

Siding to be ProVia 5" Lap vinyl siding. Aluminum soffit & fascia. Gutters & Downspouts to run to splash blocks

Siding, ProVia 5" Lap Vinyl Siding

Install ProVia 5" Lap Vinyl Siding

Siding, Upgrade to Hardie-Board

Upgrade addition siding from vinyl to painted Hardie-Board

Stone Veneer

Add brick veneer to exterior chimney

Gutters & Downspouts

Aluminum gutters & downspouts, per linear feet of exterior wall

Porch Addition

676 Sq. Ft. Covered Porches per plans

Demolition

Remove existing vestibule, prep existing structure for porch addition. Move existing door to existing exterior wall.

Foundation

4' Frost foundation, to be 8" concrete block or poured walls. 16" concrete footer, exposed foundation.

Framing, Roofing, and Concrete

Engineered truss roof structure. Roofing to be standing seam metal roof.
4" thick concrete porch floor.

Exterior Finishes

Porch Soffit

Porch ceiling to be aluminum soffit, white

Porch Posts

Wrap porch posts in LP Smartside exterior siding, paint

Porch Railing

Add TimberTech low-maintenance white railing per plans

Gutters & Downspouts

Aluminum gutters & downspouts, per linear feet of exterior wall

Exterior Window

Remove existing bay window, replace with Pella 250-Series vinyl window, white, with transom

Replace existing exterior cladding

Remove existing vinyl siding on house, replace with painted Hardie-Board siding, 10" corner trims, 10" friezeboard.

Replace windows

Allowance to replace windows in existing house. Note this is an allowance only, actual cost will be highly variable based on selection and type of window (replacement or new construction window).

Roofing, Materials & Labor per sq. ft.

Replace existing roof, Certainteed Landmark shingles installed

Hearth Room Addition

606 Sq. Ft. Hearth Room Addition

Demolition

Remove existing vinyl siding at addition, prepare walls for addition.

Foundation

4' Frost foundation, to be 8" concrete block or poured walls. 16" concrete footer, exposed foundation.

Framing, Roofing, and Concrete

2x6 Exterior walls, 8' high. Roofing to be Certainteed Landmark dimensional shingles. 4" thick concrete floor in crawl space.

Windows & Doors

Windows & Doors per plans

Exterior Finishes

Siding to be ProVia 5" Lap vinyl siding. Aluminum soffit & fascia. Gutters & Downspouts to run to splash blocks

Looking Southeast from N. Harmony St.



Looking East from N. Harmony St.



Looking Northwest from E. Smith Rd.



Looking Northwest from E. Smith Rd.



248 S. HARMONY = ALL ADDITIONS TO MATCH CURRENT HOME









- LEGEND**
- COO CURVE DATA
 - EXISTING FIRE HYDRANT
 - EXISTING VALVE
 - EXISTING MANHOLE
 - EXISTING BOX INLET
 - EXISTING CURB INLET
 - EXISTING LIGHT POLE
 - EXISTING POWER POLE
 - FLOW DIRECTION OF DRAINAGE
 - 00.00 NEW FINISHED GRADE ELEVATION
 - NEW EX. NEW/EXISTING COMBINED GRADE ELEVATION
 - 00.00 NEW FINISHED TOP CONCRETE GRADE ELEVATION
 - C.O. NEW LATERAL CLEAN OUT
 - EXISTING TREE
 - LC LC LIMITS OF DISTURBANCE
 - NEW TEMPORARY EROSION CONTROL (SILT FENCE)
 - NEW TEMPORARY EROSION CONTROL AT INLET, USE ADS FLEXSTORM OR EQUAL
 - 780 NEW FINISHED GRADE CONTOURS
 - 775 EXISTING GRADE CONTOURS
 - 784 EXISTING GRADE CONTOURS
 - SAN EXISTING SANITARY SEWER
 - LAT EXISTING SANITARY LATERAL
 - LAT NEW SANITARY LATERAL
 - ST EXISTING STORM SEWER
 - RD EXISTING STORM LATERAL
 - RD NEW STORM LATERAL
 - W EXISTING WATER MAIN
 - WS EXISTING WATER SERVICE
 - WS NEW WATER SERVICE
 - G EXISTING GAS LINE

- PLOT PLAN NOTES:**
1. THIS PLAN SHALL NOT BE CONSIDERED A BOUNDARY SURVEY OF THE PARCEL SHOWN.
 2. LATERAL INVERT ELEVATIONS AND LOCATIONS ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY ACTUAL LATERAL INVERT ELEVATION AND LOCATION PRIOR TO CONSTRUCTION.
 3. CONTRACTOR TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES ON THE LOT PRIOR TO THE EXCAVATION OF THE FOUNDATION.
 4. EXISTING UNDERGROUND UTILITIES AND PAVEMENT ARE SHOWN PER SURVEY DATED MARCH 2024 AND IMPROVEMENT PLANS.
 5. EXISTING CONTOURS SHOWN ARE REPRESENTATIVE OF FIELD WORK DATED MARCH 2024.
 6. FOUNDATION DIMENSIONS ARE MEASURED TO THE OUTSIDE CORNER OF FOUNDATION WALL OR BRICK FACE IF APPLICABLE.
 7. FOUNDATION DRAIN SUMP PUMP IS REQUIRED UNLESS HOMEOWNER DETERMINES OTHERWISE DURING CONSTRUCTION.
 8. 2% SLOPE FOR SWALES IS PREFERRED, 1% MINIMUM.
 9. MOWABLE AREAS OF THE YARD ARE NOT TO EXCEED 3:1 SLOPE UNLESS OTHERWISE SHOWN ON PLAN.
 10. DOWNSPOUTS TO BE CONNECTED TO STORM SEWER LATERAL FOR THIS LOT UNLESS HOMEOWNER DETERMINES OTHERWISE DURING CONSTRUCTION OR UNLESS OTHERWISE SHOWN ON PLAN.
 11. TEMPORARY CONSTRUCTION DRIVE TO BE MINIMUM 30' LONG WITH 8" LAYER OF #1 AND #2 AGGREGATE OVER GEOTEXTILE FABRIC AND IN SAME LOCATION AS THE PERMANENT DRIVEWAY.
 12. TEMPORARY CONCRETE WASHOUT BASIN TO BE LOCATED ON OPPOSITE SIDE OF LOT FROM CONSTRUCTION DRIVE OR BY HOMEOWNER CONSTRUCTION TRAILER.
 13. LOT TO COMPLY WITH OEPA NPDES PERMIT AS ISSUED TO THE SITE OPERATOR.
 14. CONTRACTOR MUST CHECK THE BENCHMARK ELEVATION WITH THE TOP OF CURB ELEVATIONS SHOWN ON THE PLAN PRIOR TO START OF CONSTRUCTION.
 15. IF CURB CUT REQUIRED, MAINTAIN 1" BOTTOM LIP AT DRIVEWAY.
 16. ALL CONSTRUCTION TRAFFIC IS RESTRICTED TO THE CONSTRUCTION ENTRANCE.
 17. MAINTAIN MINIMUM DEPTH REQUIREMENTS OF INSTALLED UTILITIES. WATER (4 FEET DEEP) AND SANITARY (2 FEET LOWER AND 2 FEET AWAY) IF INSTALLED IN SAME TRENCH. OTHERWISE NEED TO MAINTAIN 10 FEET OF HORIZONTAL SEPARATION.

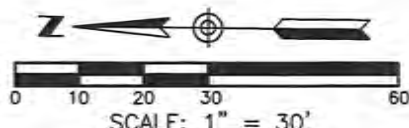
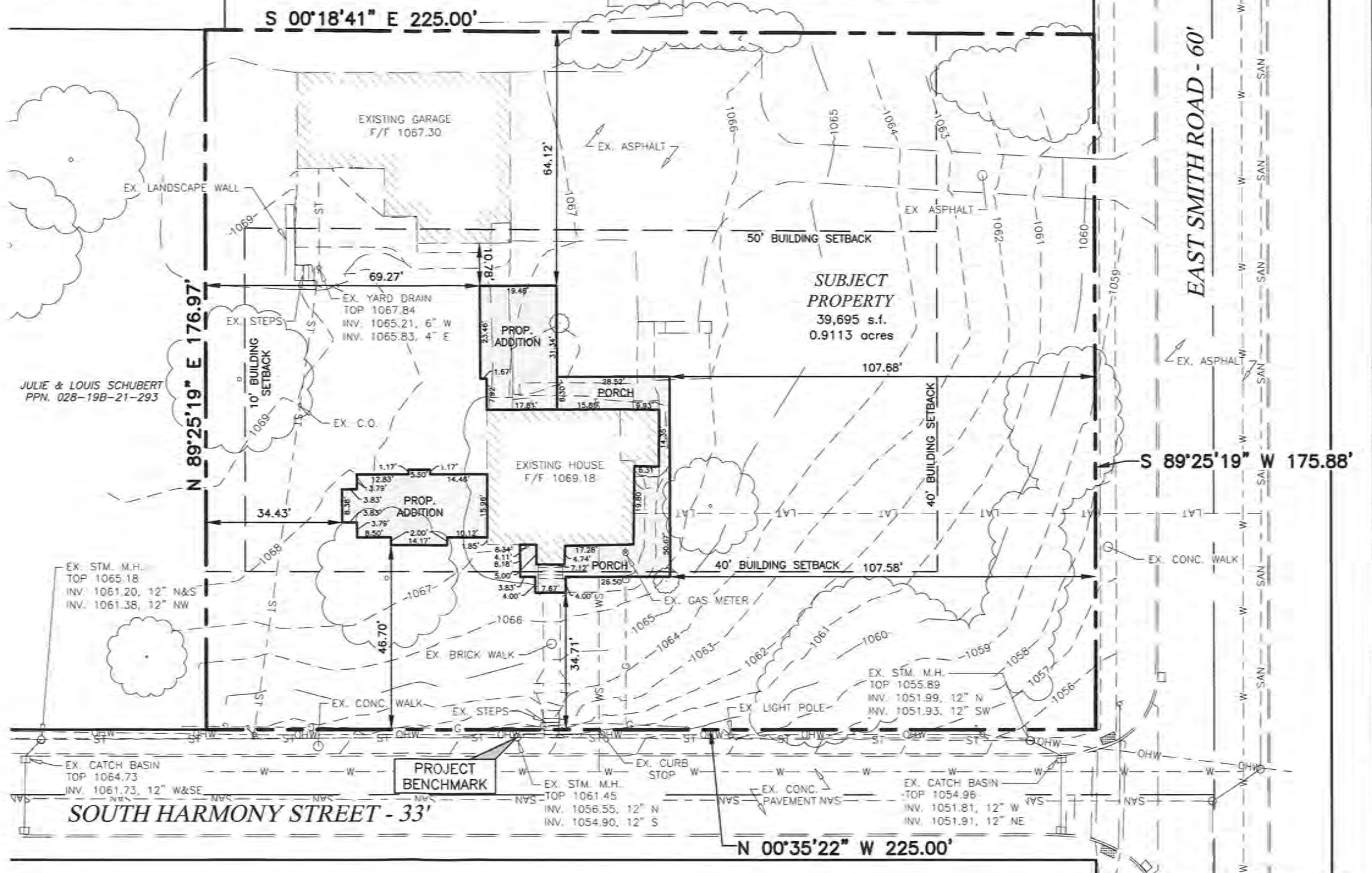
BUILDER:
 OLD WORLD CUSTOM HOMES, LLC
 7054 MEARS GATE DR. NW
 NORTH CANTON, OHIO 44720
 ANDREW EGGEMAN
 330-494-0228



REVISIONS:

RUGGIERO PROPERTIES LLC
 531 E SMITH ROAD
 PPN. 028-19B-21-279

JULIE & LOUIS SCHUBERT
 PPN. 028-19B-21-292



248 S HARMONY STREET
 PPN. 028-19B-21-294

LOT BENCHMARK:
 C.L. RIM OF STORM MANHOLE LOCATED AS SHOWN ON PLOT PLAN.
 ELEV. 1161.45

PRELIMINARY PLOT PLAN PREPARED FOR
 OLD WORLD CUSTOM HOMES
 SITUATED IN THE CITY OF MEDINA
 COUNTY OF MEDINA, STATE OF OHIO

PREPARED BY:
GBC DESIGN, INC.
 565 White Pond Dr. Akron, OH 44320-1123
 Phone 330-836-0228 Fax 330-836-5782

DATE: 4/3/2024
 DRAWN BY: BAW
 PROJECT No. 57031A



FRONT ELEVATION

SCALE: 1/8" = 1'-0"

(Facing East Smith Street - South)



REAR ELEVATION

SCALE: 1/8" = 1'-0"

(Facing North)

The Schubert Residence

OH

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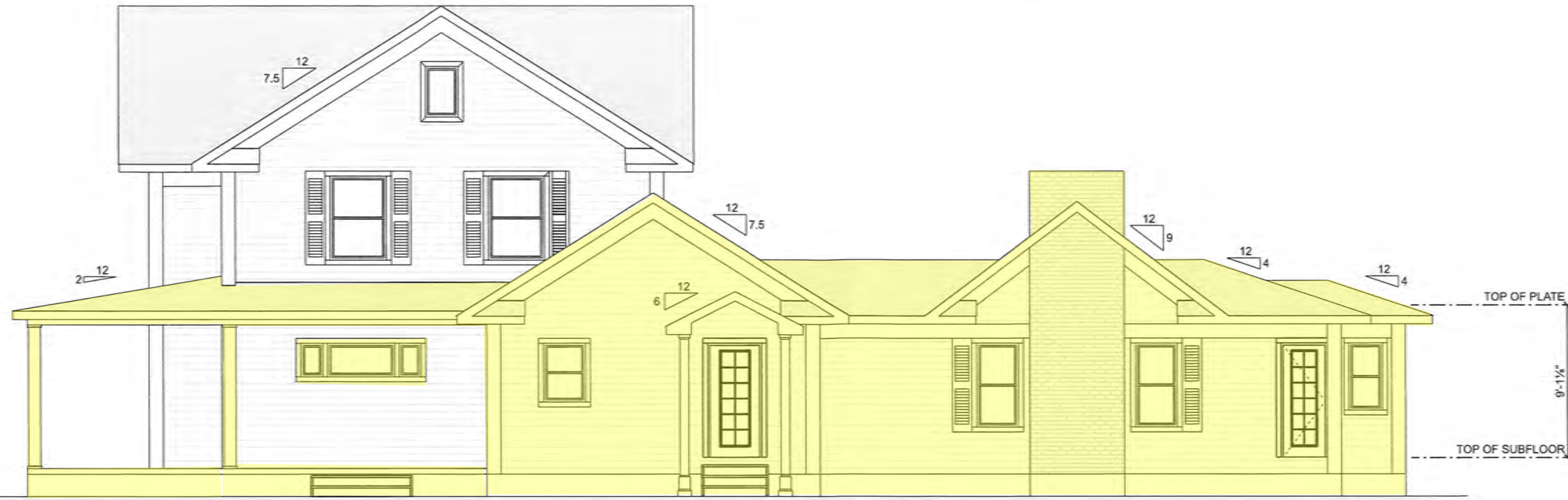
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FRONT & REAR ELEVATION



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RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

(Facing East)



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

(Facing South Harmony Street - West)

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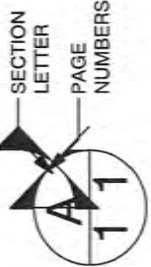
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SIDE ELEVATIONS

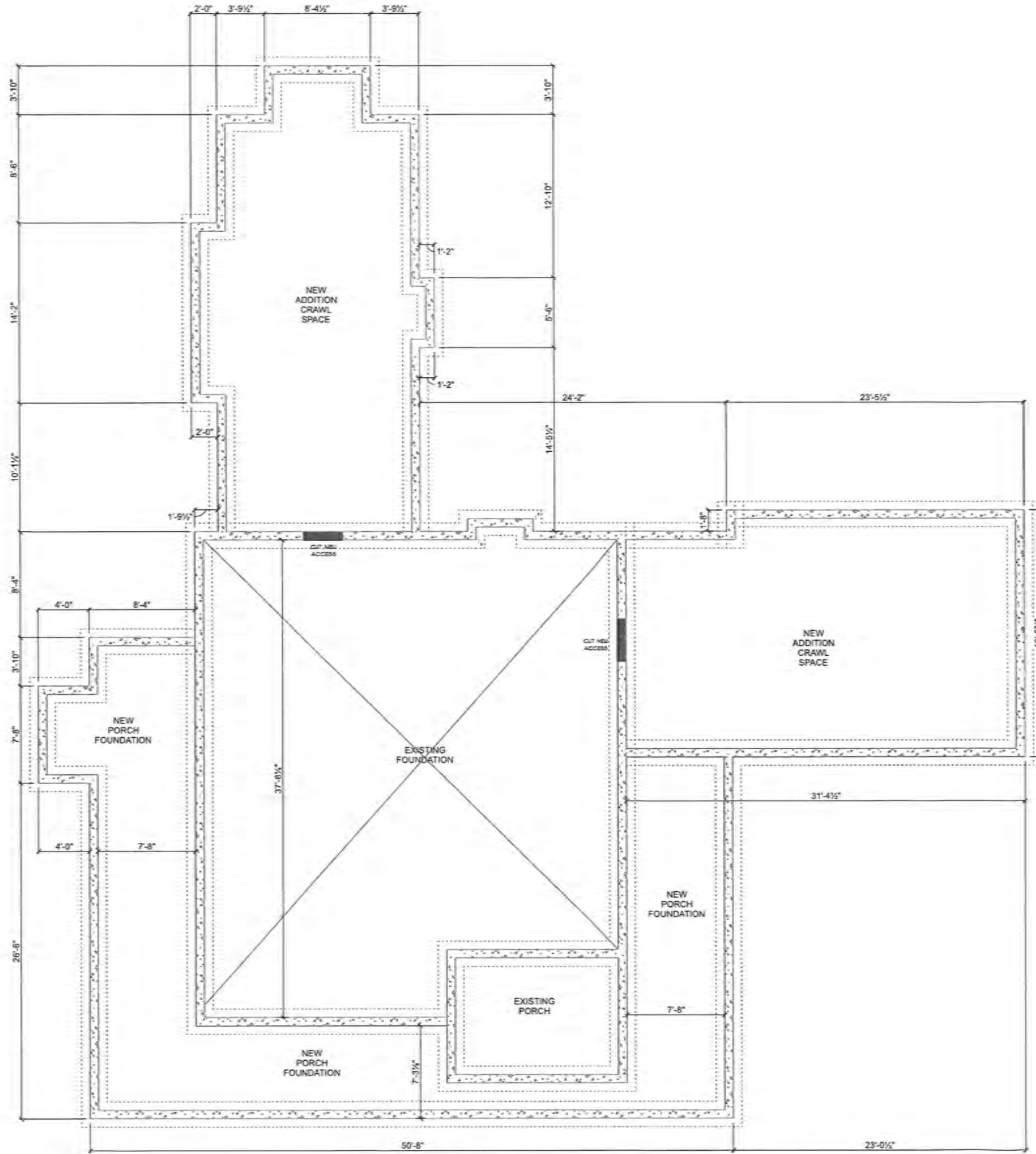
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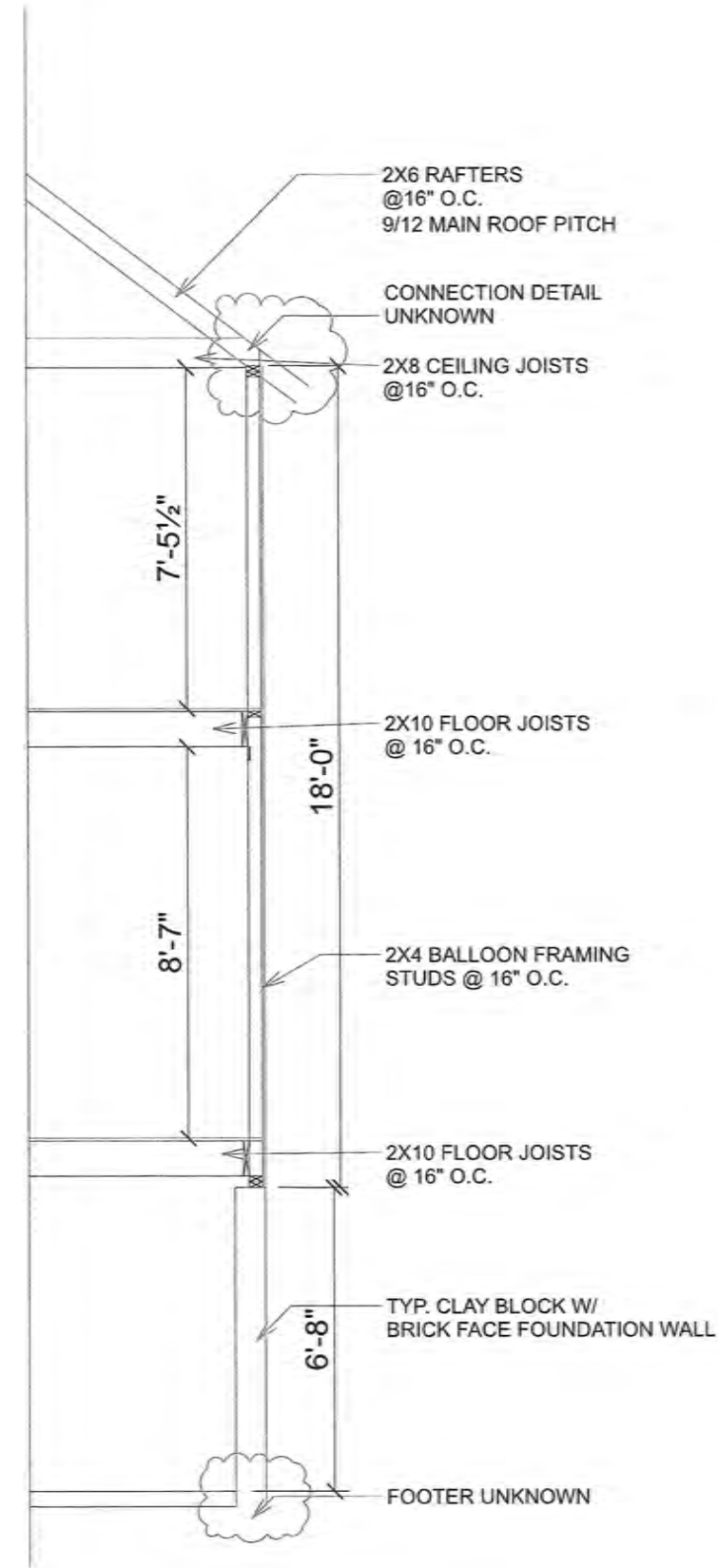
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BASEMENT
SCALE: 1" = 10'-0"



SECTION DETAIL
SCALE: 1/4" = 1'-0"

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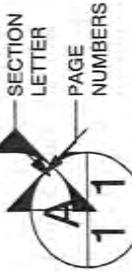
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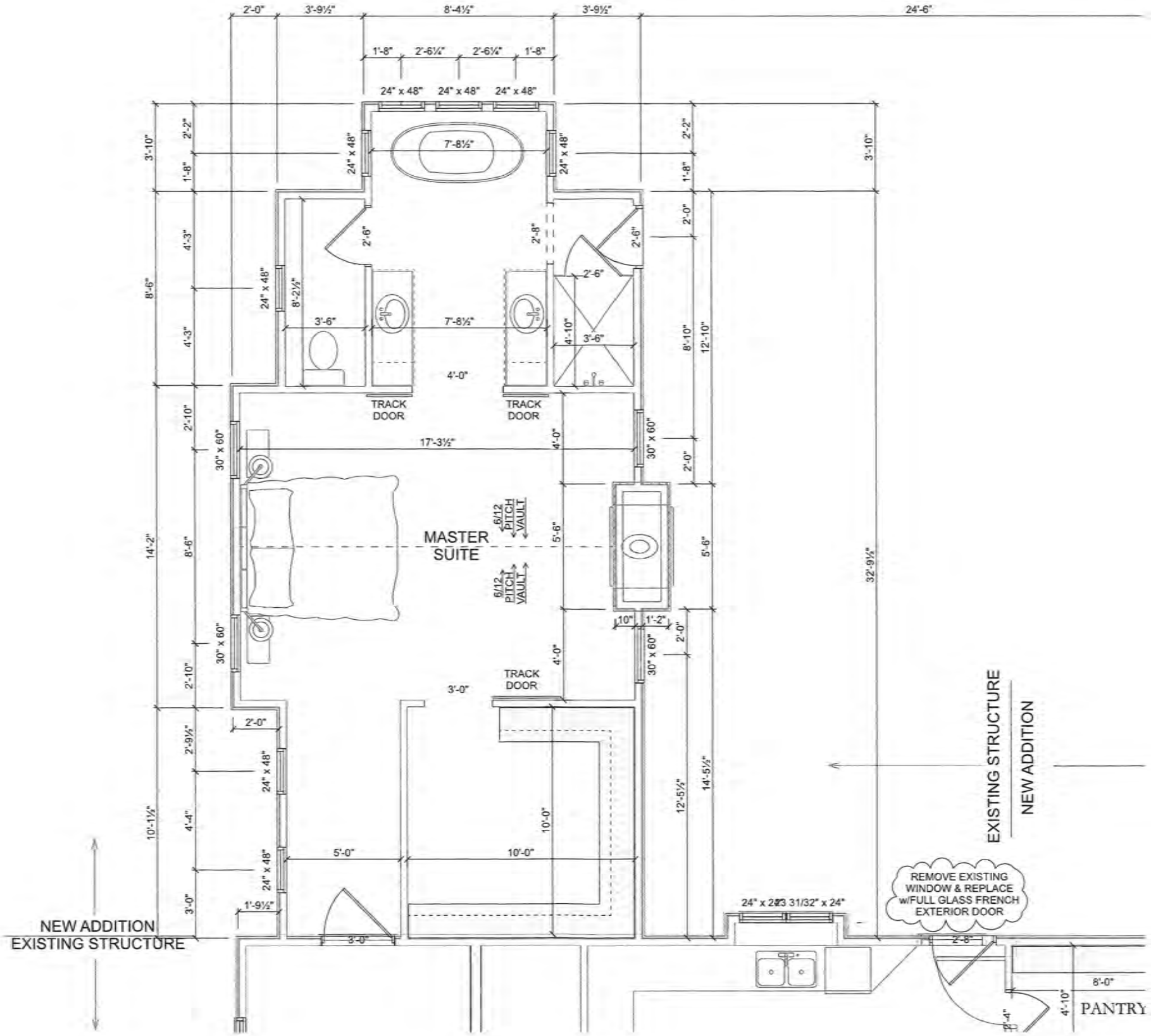
FOUNDATION



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MASTER SUITE

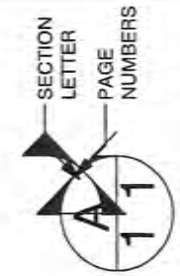
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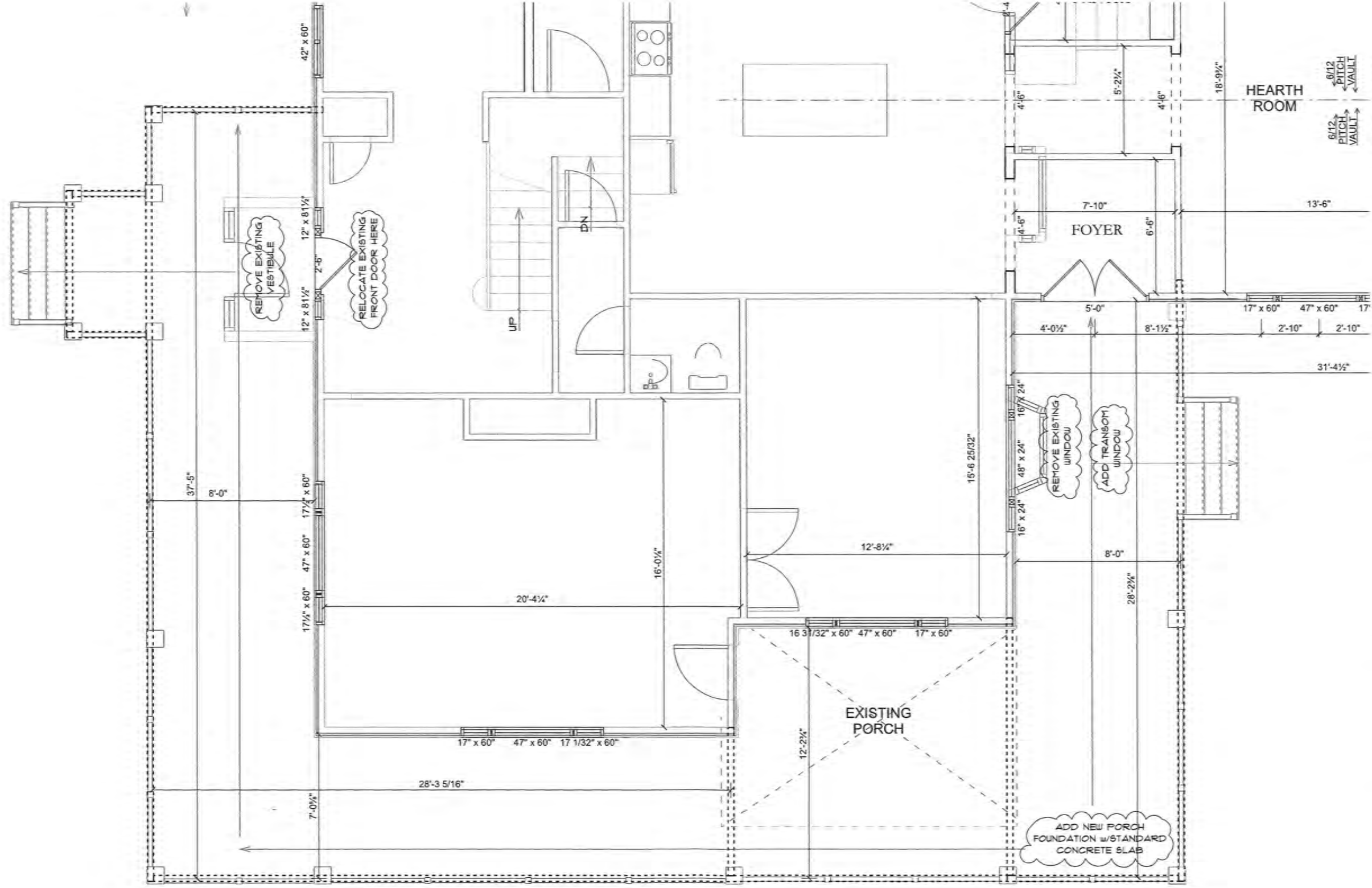
The Schubert Residence

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MASTER SUITE	



FRONT PORCH

SCALE: 3/16" = 1'-0"



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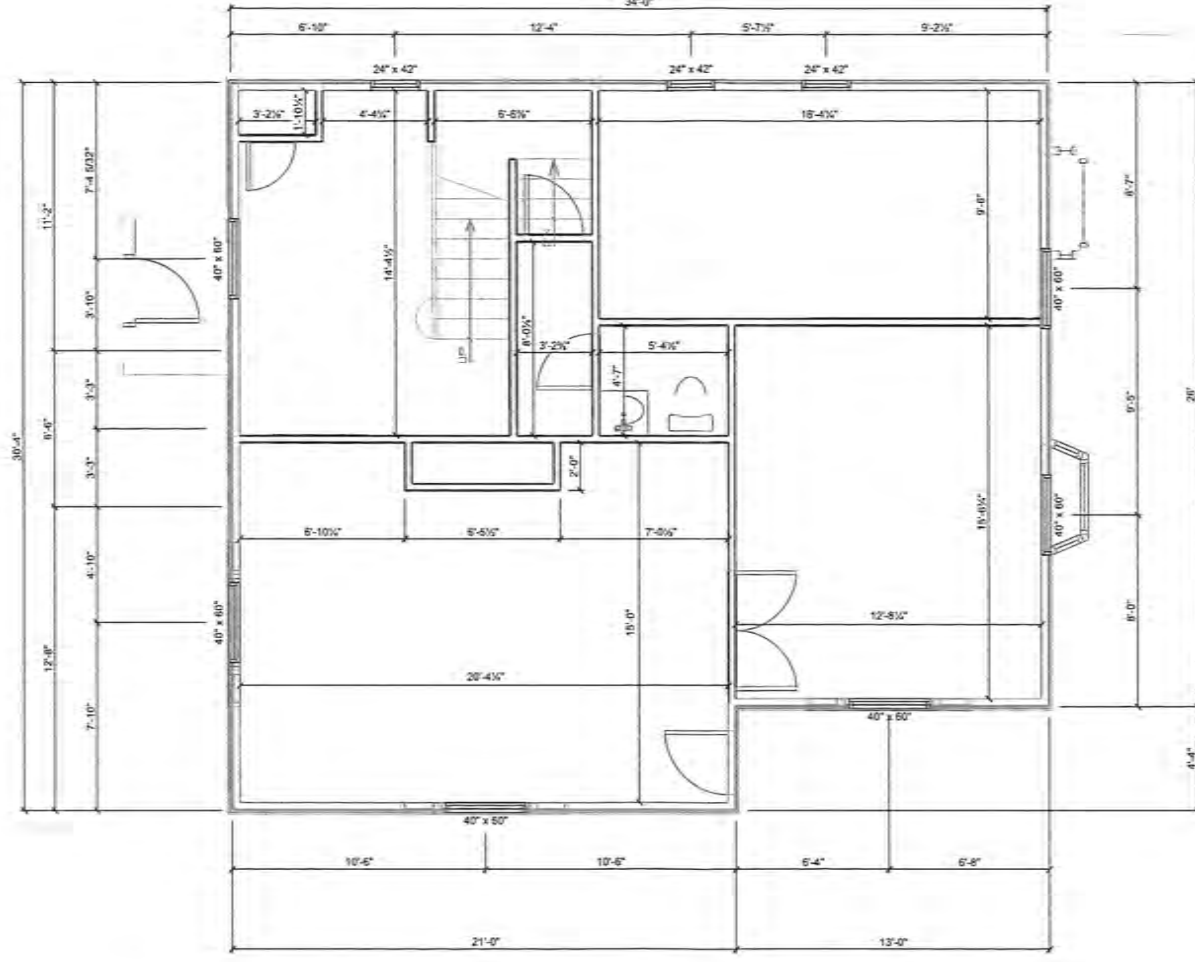
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DATE: 3/20/2024

FRONT PORCH

SECOND FLOOR

SCALE: 1/8" = 1'-0"



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OH



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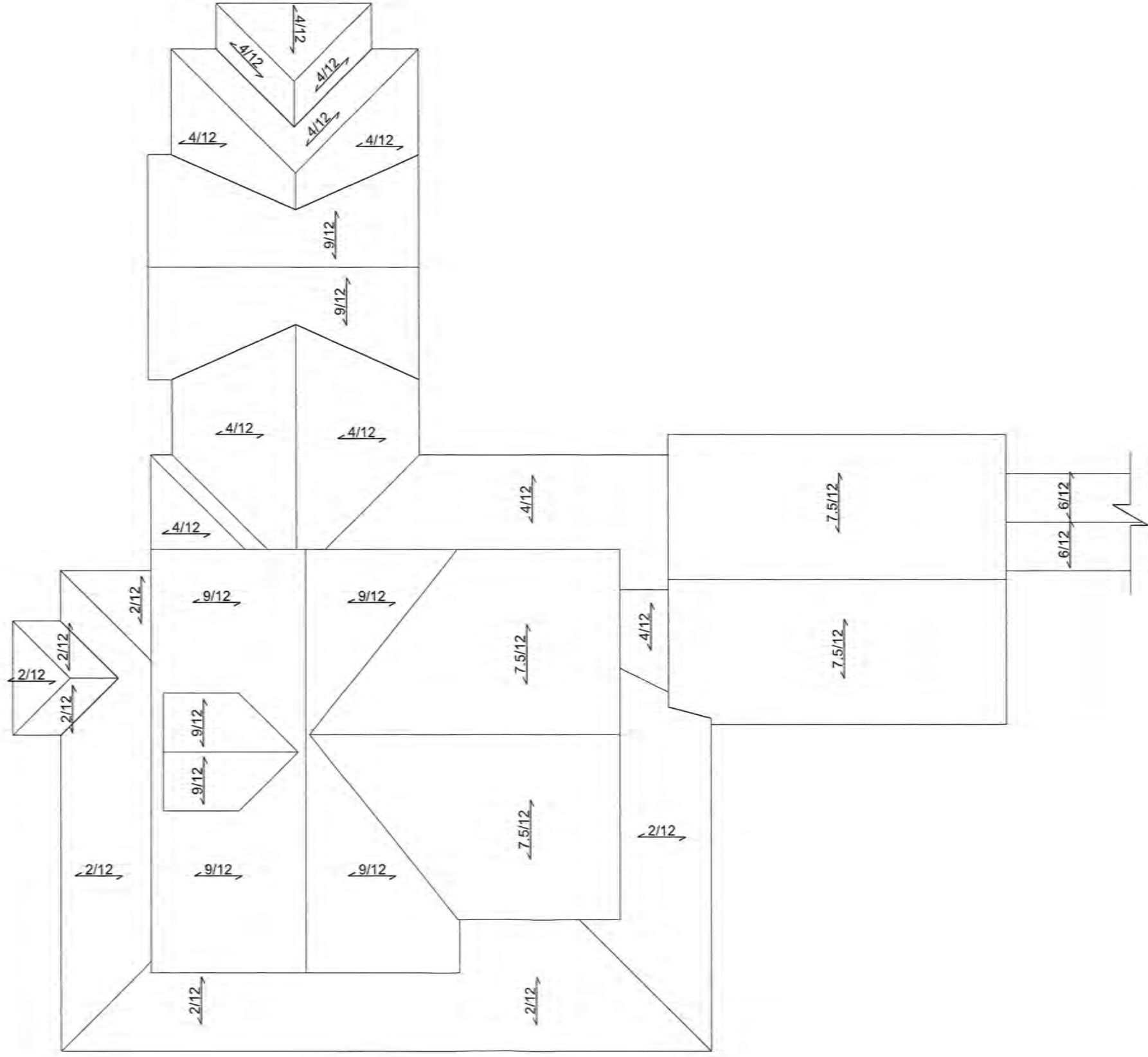
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SECOND FLOOR

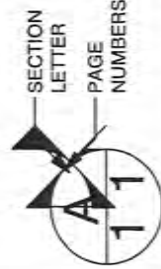
ROOF PLAN

SCALE: 1" = 10'-0"



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ROOF PLAN