

**Z22-24**  
**Hotel Redevelopment**  
**REVISED**

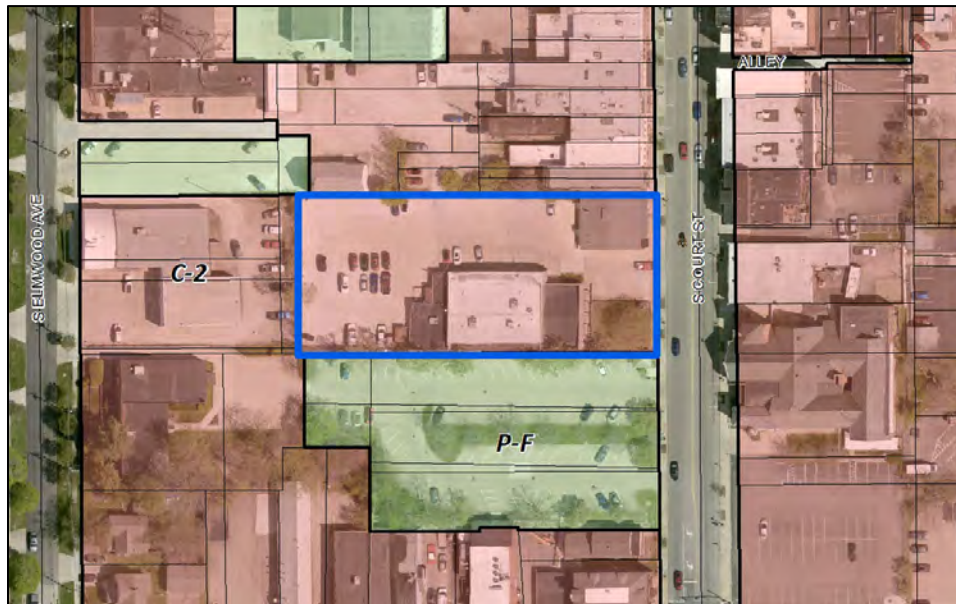
Property Owner: Legacy Hotel of Medina LLC  
Applicant: Jim Gerspacher  
Location: 253 and 257 South Court Street  
Zoning: C-2 (Central Business)  
Request: Revisions to an Area Variance to Sections 1135.06 regarding maximum building footprint and minimum front setback, 1135.08(a) regarding the location of parking in the front yard, and 1135.13(b)(4) regarding the division of the building into storefronts and a new Area Variance request to Section 1135.06 regarding maximum building height

**LOCATION AND SURROUNDING USES**

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The subject property encompasses 0.96 acres located on the west side of South Court Street. Adjacent properties contain the following uses and zoning:

- North – Retail (C-2)
- East – Automotive Retail (C-2)
- South – Parking Lot (P-F)
- West – Retail and Entertainment (C-2)



**BACKGROUND & PROPOSED APPLICATION**

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At the November 9, 2022 meeting of the Board of Zoning Appeals (BZA), application Z22-22 was approved for an Area Variance to Sections 1135.06 regarding maximum building footprint and minimum front setback, 1135.08(a) regarding the location of parking in the front yard, and 1135.13(b)(4) regarding the division of the building into storefronts.

At the October 12, 2023 meeting of the BZA, the Board extended the approval.

At the March 14<sup>th</sup>, 2024 meeting of the BZA, the Board approved a separate application, Z24-08, a variance to Section 1135.06 to allow a larger building footprint than permitted for an event center to the rear of the hotel.

The current application revises the footprint and height of the hotel building, updates building elevations, and provides greater detail. In addition, the proposed hotel incorporates a first floor restaurant, four stories of hotel rooms, a partial fifth story with a rooftop lounge, and a small one-story area located at the rear of the building for deliveries. The proposed revision does not alter the previous approval of Z24-08.

**BUILDING SIZE, SETBACK, AND HEIGHT REQUIREMENTS (SECTION 1135.06)**

Section 1135.06 includes a table indicating lot development standards for buildings in the C-2 zoning district and includes a maximum building footprint for buildings in the Public Square Area, required front setback, and maximum building height. Requirements, previous approvals, and proposed items are as indicated below:

	Required	Approved	Proposed
Max Building Footprint	5,000 sq. ft.	12,784 sq. ft.	16,013 sq. ft.
Required Front Setback	0 ft.	18 ft.	21 ft.
Max Building Height	40 ft., 60 ft. w/ PC Approval	55 ft.	61 ft.

**Maximum Building Footprint** – The previously approved building contained an open courtyard in the center of the entire building. The proposed building’s footprint has increased due to the removal of the courtyard on the first floor and modifications to the east and west sides of the building. The open courtyard remains on all other floors of the building and the width of the building adjacent to South Court Street remains unchanged. The applicant has provided a detail of the changes in the building footprint on the “Site Plan and Building Footprint Original” page.

Section 1135.06 applies to buildings in the Public Square area that are zoned C-2.

- The adjacent map illustrates buildings within one block of the square and shows the C-2 district in pink.
- In the C-2 district, 17 buildings have footprints larger than 5,000 sq. ft., which are highlighted in yellow.
- Two existing buildings on the subject site have footprints larger than 5,000 sq. ft.
- Though not subject to a building footprint maximum, 9 buildings are larger than 5,000 sq. ft. in the P-F zoning district. Most far exceed 5,000 sq. ft., with the County Parking Garage having the largest footprint at 52,460 sq. ft.



**Required Front Setback** – The previous approval located the hotel building at an 18 ft. front setback to accommodate the front drop off lane. Plans have been adjusted incorporating a 21 ft. front setback, though the layout and function of the drop off lane remains unchanged.

**Building Height** – The effective building height of 55 ft. was previously approved by the Planning Commission, which can approve a building height up to 60 ft. The overall effective height of the building has increased by 6 ft. to sufficiently accommodate mechanical components. The effective height of the revised building is 61 ft., which is the roof line of the building. Decorative architectural features that do not have functional interior area above this height are not included in the effective height of the building.

The applicant has provided a contrast between the approved and proposed building heights, particularly on “Hotel – Original East Exterior Elevation” and “Hotel – Original East Exterior Elevation” pages. In addition, the “South East Corner – 3D Street Perspective” page illustrates that the proposed hotel building is located 3 ft. 6 in. lower in grade than the building to the north.

#### **PARKING LOCATION (SECTION 1135.08(a))**

Section 1135.08(a) states that parking is not permitted in the front yard in the C-2 zoning district. Approved and proposed plans show a drop-off lane in the front yard accommodating 3 or 4 passenger vehicles. There is little change in the front drop off lane from the previously approved variance. Though drop-off lane spaces are not defined in the Planning and Zoning Code and spaces are not counted towards off-street parking, the intent of the requirement is to locate vehicles to the side or rear of the building in the C-2 district.

#### **BUILDING STOREFRONT DIVISION (SECTION 1135.13)**

Section 1135.13(b)(4) states that the front face of the building shall be broken up into storefront modules not exceeding 50 feet in width. Though the front face is not broken up into separate storefronts, it includes several projections and recessions and incorporates a cohesive design. The proposed front face of the building is similar in style to the original approval and the width of the building remains at 124 ft.

#### **STANDARDS FOR VARIANCES AND APPEALS (SECTION 1107.08(i))**

Factors applicable to area or size-type variances ("practical difficulty"). The applicant shall show by a preponderance of the evidence that the variance is justified, as determined by the Board. The Board shall weigh the following factors to determine whether a practical difficulty exists and an area or size-type variance should be granted:

- A. Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance;
- B. Whether the variance is substantial;
- C. Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer substantial detriment as a result of the variance;
- D. Whether the variance would adversely affect the delivery of governmental services (e.g., water, sewer, garbage);
- E. Whether the property owner purchased the property with knowledge of the zoning restrictions;
- F. Whether the property owner's predicament feasibly can be obviated through some method other than a variance; and/or
- G. Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting a variance.

The applicant has indicated the following regarding the Standards for Variances and Appeals:

- The variances would allow beneficial use of the property by accommodating mechanical duct work (height) and functionality of the building (footprint).
- The variances are not substantial as the building footprint is only moderately increased and building height is only increased by 6 ft.
- The essential character of the neighborhood would not be altered as the building height and footprint are only an incremental increase from structures in the area.
- The variances cannot be obviated through another method as they are necessary to improve constructability and operations.
- The spirit and intent of the zoning requirements would be observed as the requested variances are minimal and the project will be an asset to the Medina Historic District and South Town District.

May 1, 2024

Andrew Dutton  
Community Development Director  
The City of Medina  
132 North Elmwood Ave.  
Medina, OH 44256

Mr. Dutton,

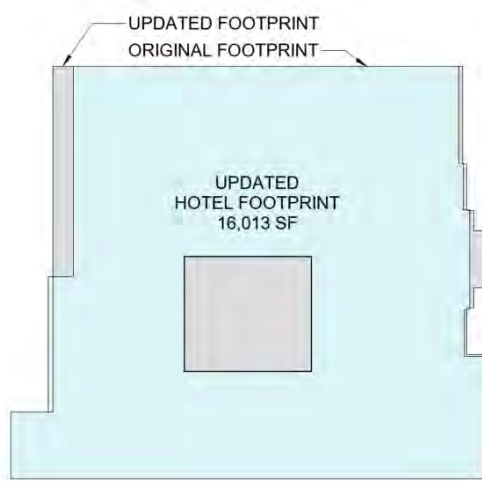
This letter is regarding the proposed hotel on parcel 028-19A-21-397. Our team has been working on adjustments to the overall building design to improve constructability, enhance the floor plans for both operational efficiency and guest experience, as well as enhance the exterior design and compatibility within the Historic District.

These adjustments have resulted in changes that require approval from the Boards and Commissions have authority and a summary of these changes is provided below for their reference.

**Building Structure:**

- 1- Footprint increase of 3,229 sf: Previously approved footprint was approximately 12,784 sf and proposed is 16,013 sf.

While there are minor changes to the perimeter dimensions, the square footage increase is largely due to the infill of the courtyard on the first floor. The courtyard remains a feature in the project accessed by guests on the second floor. The exterior perimeter of the hotel has grown negligibly, and it would be nearly impossible for someone to see that increase from outside the hotel. Please see below a snippet showing both footprints overlapped (blue is original footprint – gray is updated)



- 2- Height increase: the original approved elevations show the top of roof at 55'-0", the updated drawings show 61'-0". The additional height requested is 6'-0" higher than the previously approved plans. This increase in floor height accommodates more advanced HVAC systems than previously approved without sacrificing quality of interior spaces. Unlike the previous design, no suites will have exterior louvered grilles on the newly proposed plans. Without the new height variance, the available methods of construction are narrowed to options that are not as feasible and accommodating mechanical duct work becomes difficult.

The mansard roof was previously approved at 66'-8", the proposed is at 71'-0". This is purely an architectural feature that gives the hotel its historical character and is visible on S Court Street from all sides. The added height is not being used to generate profit to the developer(s).

- 3- Setback increase from 18ft to 21ft: the building was pushed back a few feet to allow more space between the hotel and the existing southeast building, accommodating the new accessible ramp on the southeast corner. We believe that the dimension increase will also help reduce the perceived height of the building.

### **Building Exterior Facades:**

- 1- Brick detail added on all facades, especially primary façade (Brick reveals and soldier courses)
- 2- VTAC louvers have been eliminated on north and south facades.
- 3- Window size and shape: In the previously approved design, each hotel suite has a single wide and low window. The proposed design replaces that single window with two tall and slender windows per suite to better fit proportionally within the context of Medina's Historic District.
- 4- Replace the use of EIFS with Fiber cement (for maintenance and durability purposes - similar color) on the fifth floor.
- 5- The front canopy is reduced in size.
- 6- Cornice updates: We have assigned Sherwin William color codes to the previously submitted cornice colors to better define the selections. We have also updated the configuration of the colors on the cornice profiles.

### **Interior Program Changes**

- 1- Hotel Suites: 77 rooms are now proposed instead of 75.
- 2- Restaurant/lounge: The hotel will include restaurant / lounge space on the first and fifth floors.

We hope this letter aids the respective boards and commission during their review. If you have any questions, please feel free to contact me. Thank you for your consideration.

Thank you,

Jana Call

## FACTORS APPLICABLE TO AREA OR SIZE-TYPE VARIANCES ("PRACTICAL DIFFICULTY")

The applicant shall show by a preponderance of the evidence that the variance is justified, as determined by the Board. The Board shall weigh the following factors to determine whether a practical difficulty exists and an area or size-type variance should be granted:

A. Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance;

The variances are requested to improve functionality of the floor plan and constructibility of the building. Without the new height variance the available methods of construction are narrowed to options that are not as feasible and accommodating mechanical duct work becomes difficult. The functionality gained by the footprint changes improve operations and functionality of back of house areas for staff.

B. Whether the variance is substantial;

The new area variance to the building perimeter size is not substantial as it is only a net change of 500sf. The footprint increase (3,229 SF) is largely due to the infill of the courtyard on the first floor. The exterior perimeter of the hotel has grown negligibly, and it would be nearly impossible for someone to see that increase from outside the hotel. The additional height requested is approximately 5' higher than the previously approved plans. This increase in floor height accommodates more advanced HVAC systems than previously approved without sacrificing quality of interior spaces. Unlike the previous design, no suites will have exterior louvered grilles on the new proposed plans.

C. Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer substantial detriment as a result of the variance;

Because the proposed heights and areas are only incrementally larger than what was previously approved, there would be no discernible difference in impact of the neighborhood. The hotel as proposed will be a positive impact to the character of the neighborhood.

D. Whether the variance would adversely affect the delivery of governmental services (e.g., water, sewer, garbage);

These variances will have no adverse affect on the delivery of governmental services.

E. Whether the property owner purchased the property with knowledge of the zoning restrictions;

Our client understands that there are zoning limitations that are compatible with the proposed vision of the property, and that there may be some zoning limitations that require variances or collaboration on unique solutions.

F. Whether the property owner's predicament feasibly can be obviated through some method other than a variance; and/or

These variances are requested to improve constructibility and operations, which are both critical to the success of the project.

G. Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting a variance.

While the benefits of these variances, if approved, would greatly improve the overall project, the overall changes in height and area are relatively minimal. Therefore, we believe justice would be done by granting these changes. As demonstrated in the overall project design, the project will be thoughtfully executed and once completed will be an asset that contributes to the continued success of the Medina Historic District and serves as a hinge to the rising South Town District.

# Previously Approved Plan - For Reference

## PLANT MATERIAL LIST

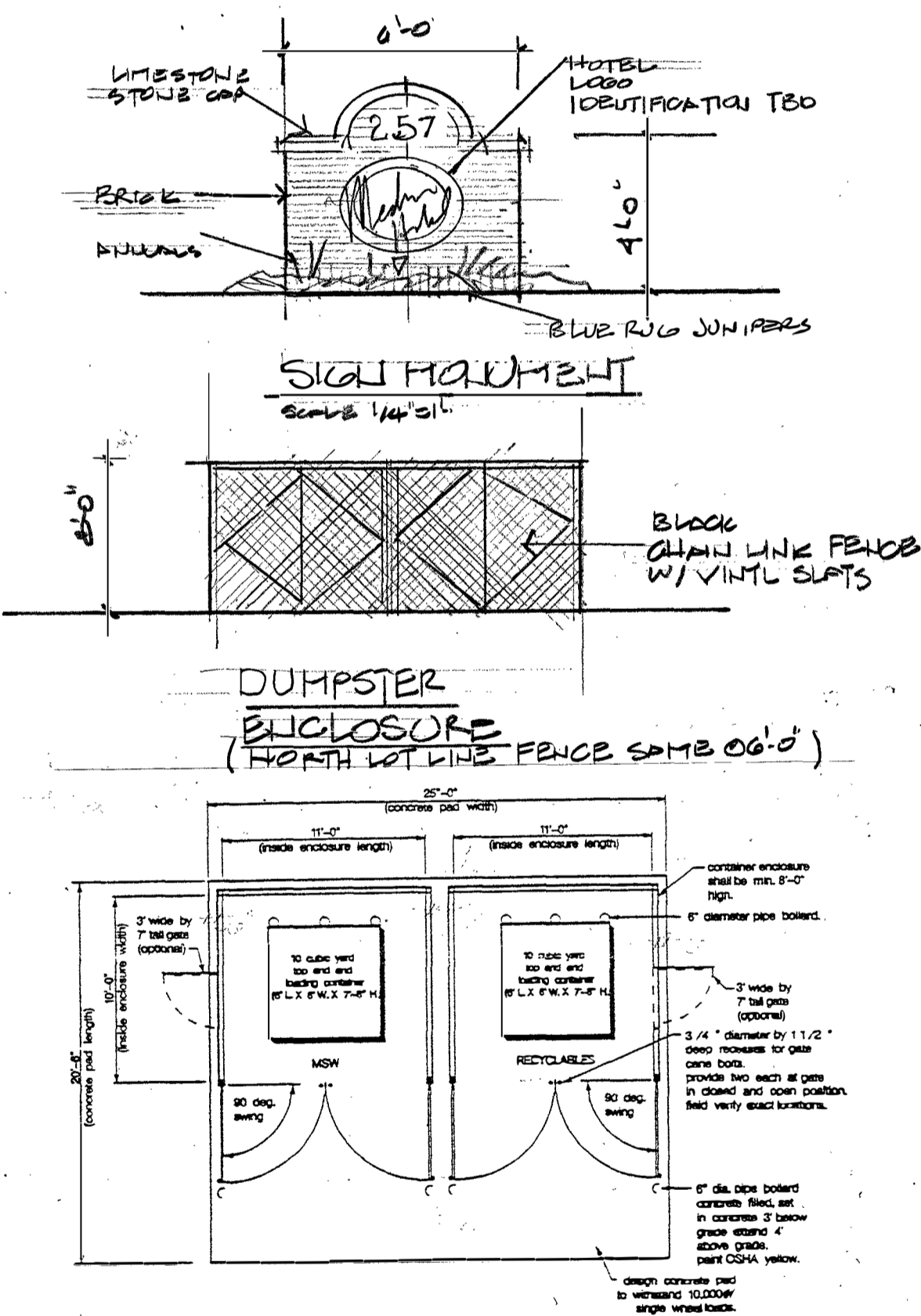
KEY	QTY.	SIZE	COMMON NAME	SCIENTIFIC NAME	SPACING	REMARKS	
JP	SEE DUG.	5'	SEAGREEN JUNIFER	JUNIFERUS CHINENSIS	AS SHOWN	---	
BBD	SEE DUG.	24"	DUF. BURNING BUSH	EUONYMUS ACATA 'COMPACTA'	AS SHOWN	---	
BBL	SEE DUG.	32"	STD. BURNING BUSH	EUONYMUS ALATUS	AS SHOWN	---	
CL	SEE DUG.	6'-1"	CLEVELAND PEAR	PYRUS	AS SHOWN	2' CALF	
HL	SEE DUG.	6'-1"	SUNBURST HONEY LOCUST	GLEDITSIA SKYLINE	AS SHOWN	2' CALF	
SP	SEE DUG.	6'-1"	ALBERTA SPRUCE	GLAUCA CONICA	AS SHOWN	2' CALF	
NOTE A	HOSTA	SEE DUG.	8'-12"	HOSTA	FORTUNEI 'AUREO MARGINATA'	AS SHOWN	---
FL	SEE DUG.	12"	FLOWERING ANNUALS	DAYLILLY, RED IMPATIANTS COREOPSIS, SWEET WILLIAM'S ASTER, GERANIUMS	AS SHOWN	---	
ORN GRASS	SEE DUG.	18"	ORNAMENTAL GRASS	ELYMUS ARENARIUS	AS SHOWN	---	
BB	SEE DUG.	6'-1"	VIOLA BLUE SPRUCE	P. GLAUCA 'VIOLA'	AS SHOWN	2' CALF	
NOTE A	PHLOX	SEE DUG.	6"	CREEPING PHLOX	PHLOX SUBULATA - WHITE AND PINK	AS SHOWN	---
BRJ	SEE DUG.	5'	BLUE RUG JUNIFER	WILTONII	AS SHOWN	---	

FLOWERING DOGWOOD OPTIONAL BASED ON AVAILABILITY

NOTE A PER PLANNING COMMISSION'S RECOMMENDATION- IF PHLOX OR HOSTA ARE NOT AVAILABLE AT TIME OF PLANTING OWNER CAN SUBSTITUTE DAYLILLY, RUDBECKIA, COREOPSIS, ASTER, CONE FLOWER, SEDUM OR GERANIUM

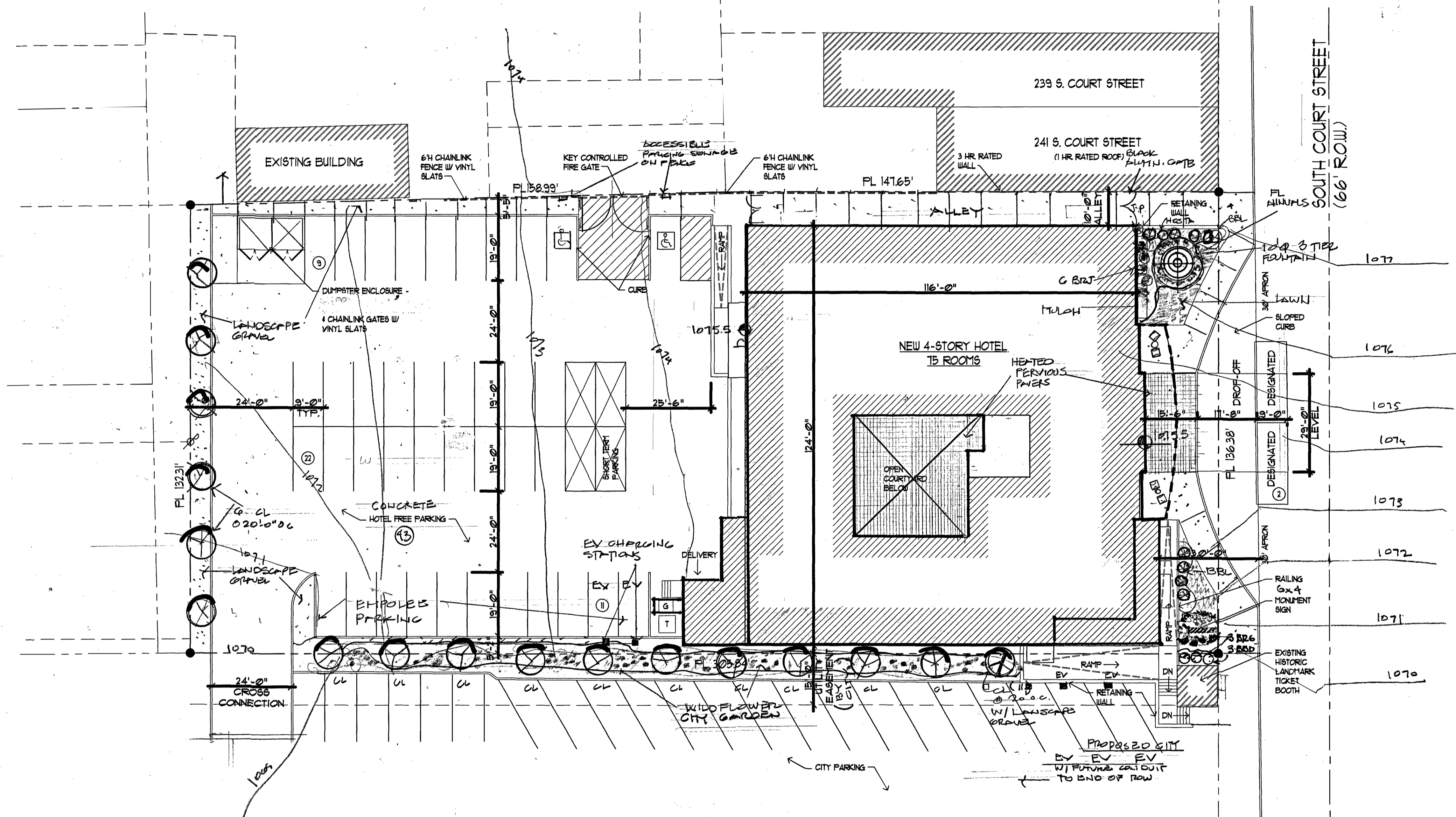
### SITE IRRIGATION

WILL COMPLY WITH CITY REQUIREMENT OF LANDSCAPE SITE IRRIGATION SYSTEM



MSW & RECYCLABLES CONTAINER ENCLOSURE PLAN

SCALE: 1/8" = 1'-0"



LANDSCAPE SITE PLAN

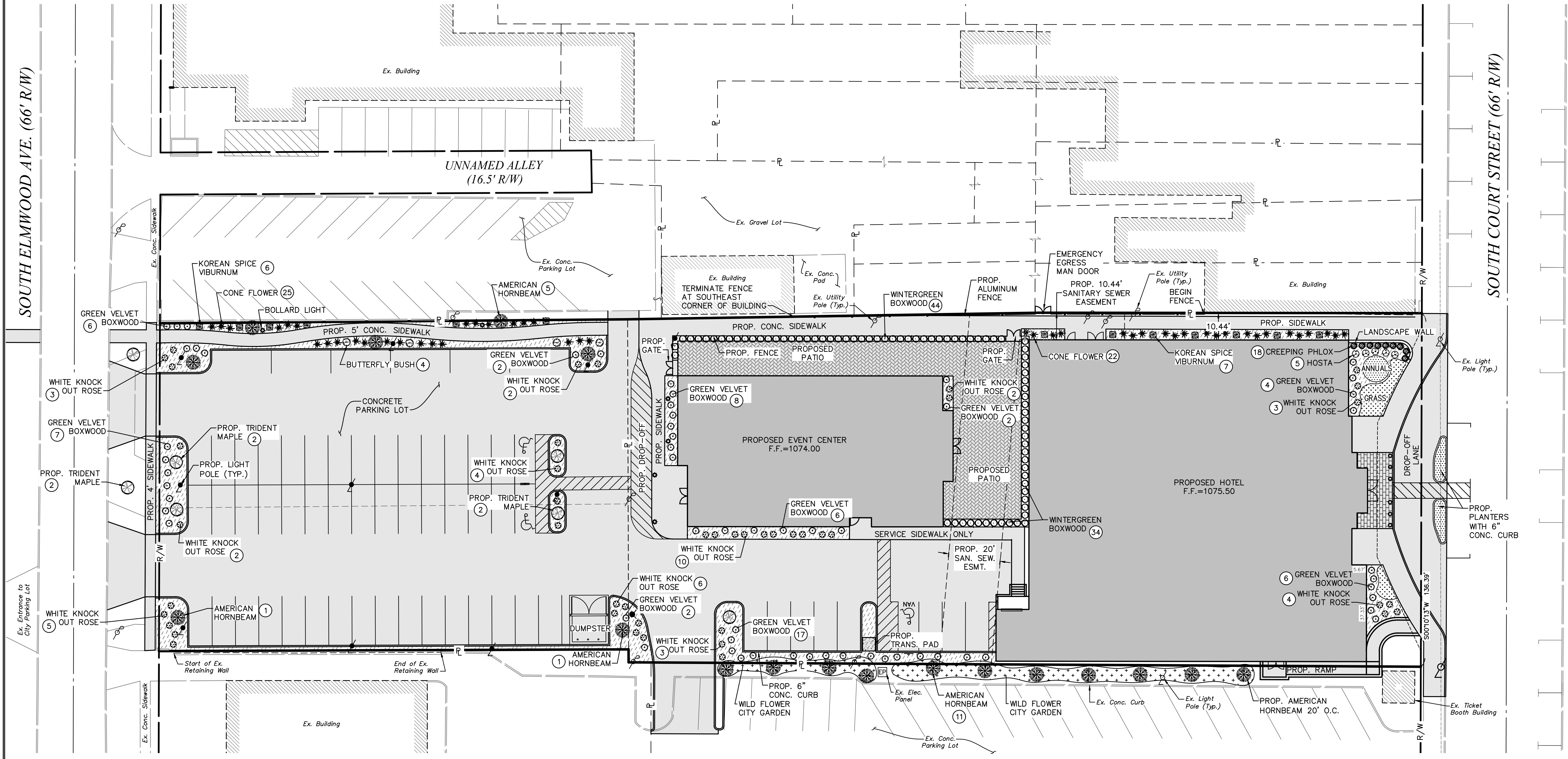
SCALE = 1" = 20'

NOTE:  
NOT A SURVEY. ALL DIMENSIONS TO BE VERIFIED IN-FIELD



SOUTH ELMWOOD AVE. (66' R/W)

SOUTH COURT STREET (66' R/W)



DATE	DESCRIPTION	BY

**LEGACY HOTEL OF MEDINA**  
 LOCATED IN  
 COUNTY OF MEDINA  
 CITY OF MEDINA

**CUNNINGHAM & ASSOCIATES, INC.**  
 CIVIL ENGINEERING and SURVEYING  
 203 W. LIBERTY ST. MEDINA, OHIO 44226 330-725-5980

**LANDSCAPE PLAN**

SHEET TITLE:

DRAWN BY: CAH  
 DATE: 03/22/2024  
 CHECKED BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_

PROJECT No.  
 22-137

ACAD FILE No.  
 MFL-22-137 SITE LS

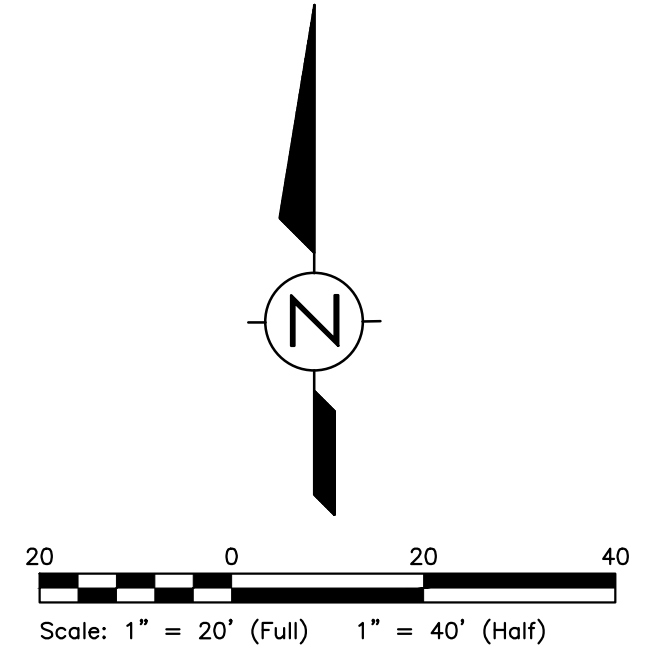
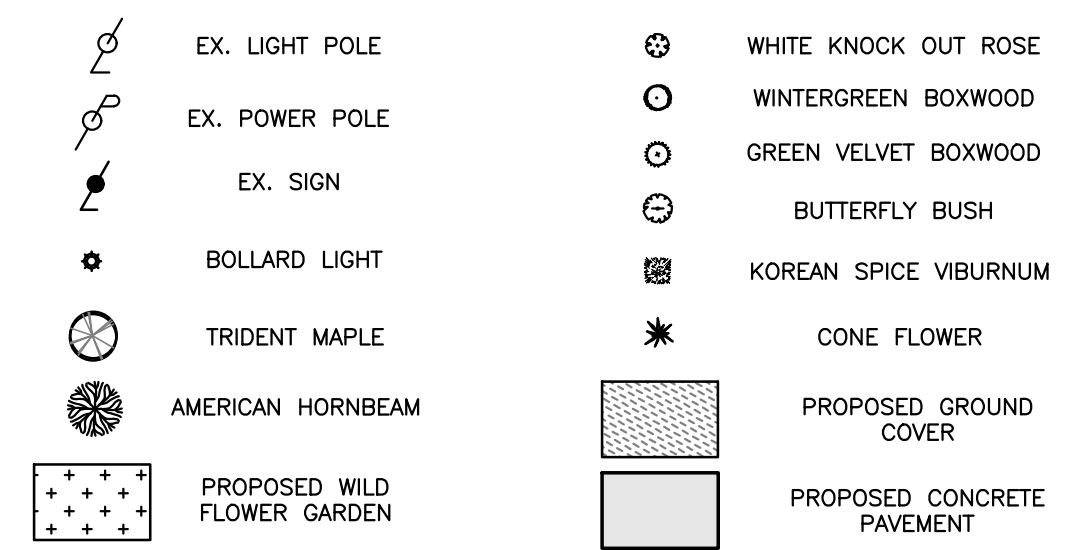
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 PROFILE-Horz. Vert.

SHEET NO.  
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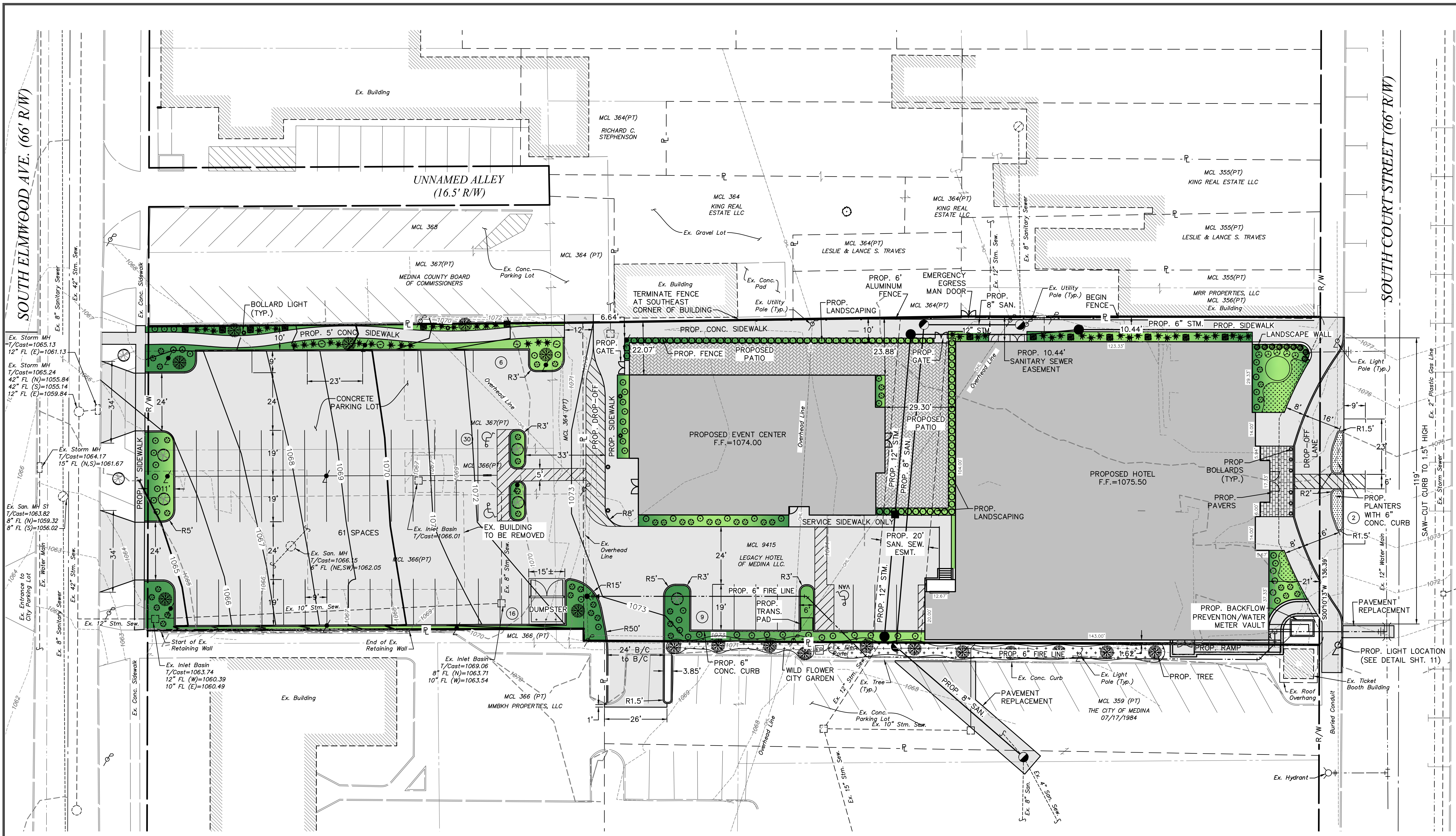
PLANT MATERIALS LIST			
QTY.	COMMON NAME	BOTANICAL NAME	SIZE
DECIDUOUS TREES			
8	TRIDENT MAPLE	<i>Acer buergerianum</i>	6'-7'
18	AMERICAN HORNBEAM	<i>Carpinus caroliniana</i>	6'-7'
FLOWERING AND EVERGREEN SHRUBS			
78	WINTERGREEN BOXWOOD	<i>Buxus sinica var. insularis 'Wintergreen'</i>	12"
59	GREEN VELVET BOXWOOD	<i>Buxus koreana 'Green Velvet'</i>	12"
44	WHITE KNOCK OUT ROSE	<i>Rosa x 'RADwhite'</i>	12"
13	KOREAN SPICE VIBURNUM	<i>Viburnum carlesii</i>	12"
4	BUTTERFLY BUSH	<i>Buddleja davidii</i>	12"
PERENNIALS			
18	CREeping PHLOX	<i>Phlox subulata-white and pink</i>	6"
47	CONE FLOWER	<i>Echinacea purpurea</i>	8"-12"
5	HOSTA	<i>Fortunei 'aureomarginata'</i>	8"-12"
ANNUALS			
72	FLOWERING ANNUALS	Daylily, Red Impatiens, Coreopsis, Sweet williams, Aster, Geraniums	12"

- GENERAL NOTES - PLANTING**
- EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
  - EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
  - CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
  - ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD BARK MULCH BED.
  - CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
  - FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
  - CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION, SEE PLAN.
  - ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
  - ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
  - LANDSCAPING MUST CONFORM TO THE CITY OF MEDINA PLANNING AND ZONING CODE CHAPTER 1149.
  - BACKFILL WITH TOPSOIL AS REQUIRED TO BRING FINISHED GRADE FLUSH WITH GRADE ADJACENT, INSURING POSITIVE DRAINAGE OVER ALL SURFACE.
  - LAWN AREA, FILL WITH TOPSOIL, MINIMUM DEPTH SHALL BE 6". MEET ADJACENT SURFACES FLUSH. MOUND TO PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
  - LANDSCAPE AREA, FILL WITH TOPSOIL, MINIMUM DEPTH SHALL BE 24". MEET ADJACENT SURFACES FLUSH. MOUND TO PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.

**LEGEND**



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DATE	DESCRIPTION	BY

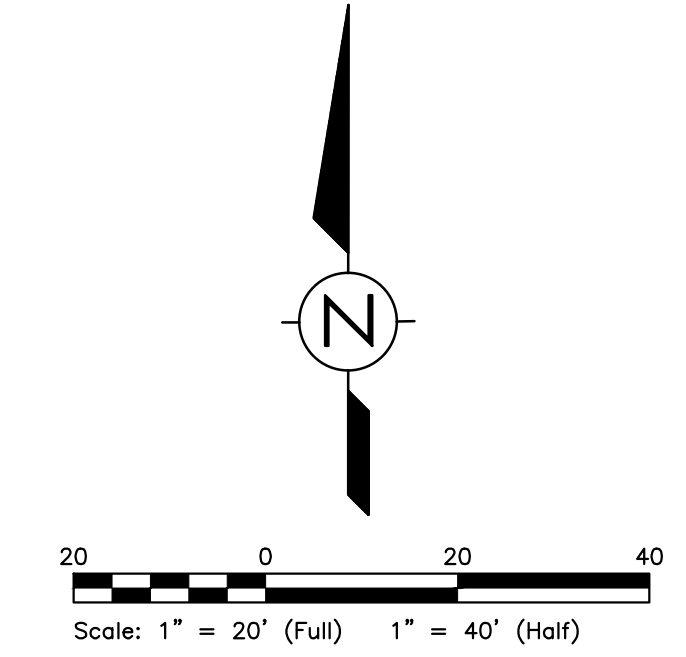
**LEGACY HOTEL OF MEDINA**  
 LOCATED IN  
 COUNTY OF MEDINA  
**CUNNINGHAM & ASSOCIATES, INC.**  
 CIVIL ENGINEERING and SURVEYING  
 203 W. LIBERTY ST. MEDINA, OHIO 44026 330-725-5980

**PRELIMINARY SITE PLAN**

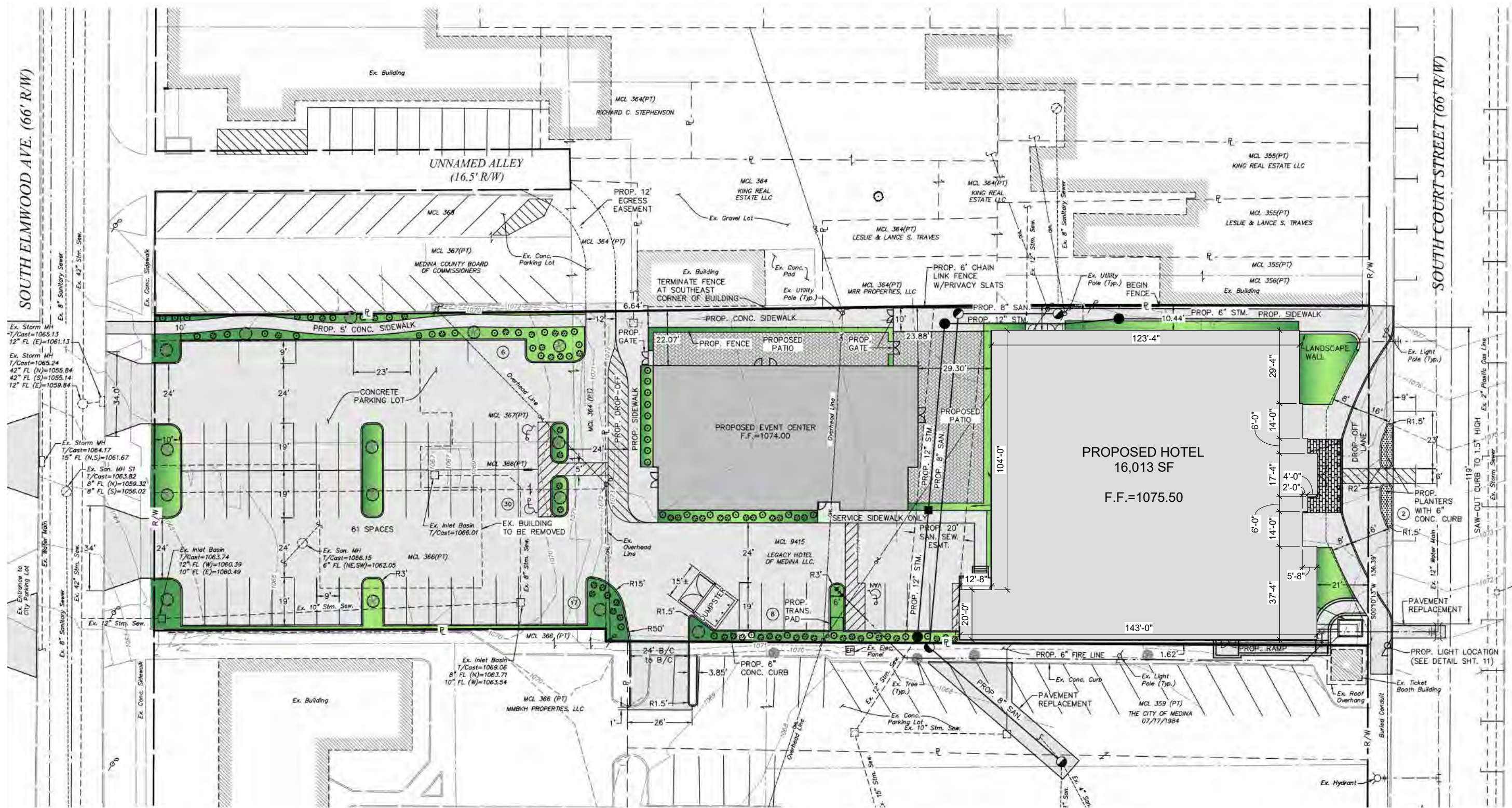
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 DATE: 03/22/2024  
 CHECKED BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PROJECT No. 22-137  
 ACAD FILE No. M:\...22-137 SITE

SCALE: PLAN- 1"=20'  
 PROFILE-Horz. Vert.  
 SHEET NO.  
 2 / 2

- LEGEND**
- EX. HYDRANT ASSEMBLY
  - EX. LIGHT POLE
  - EX. POWER POLE
  - PROP. LIGHT POLE
  - EX. OVERHEAD LINE
  - EX. SIGN
  - PROP. TREE
  - EX. CONCRETE PAVEMENT
  - PROP. CONCRETE PAVEMENT



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**1** PLAN PRELIMINARY SITE PLAN - HOTEL  
 1" = 40'-0"



PROJECT INFORMATION  
 MEDINA HOTEL - EVENT CENTER  
 DATE: MAY 1, 2024  
 PROJECT NO. 14423

SHEET NAME  
 SITE PLAN AND BUILDING  
 FOOTPRINT

SHEET NO.  
 HSK00

# Original Roof Plan








**S Court St**

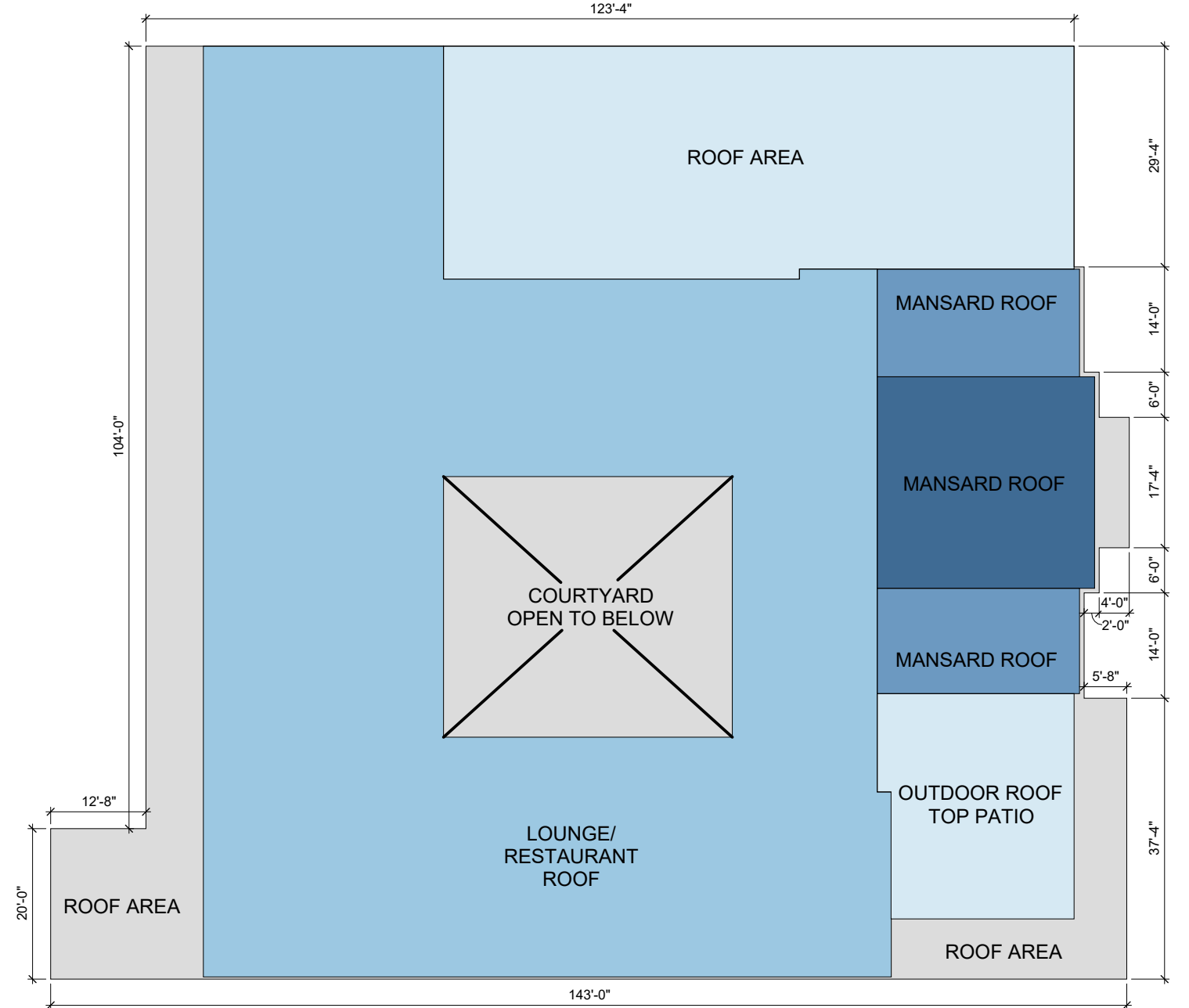
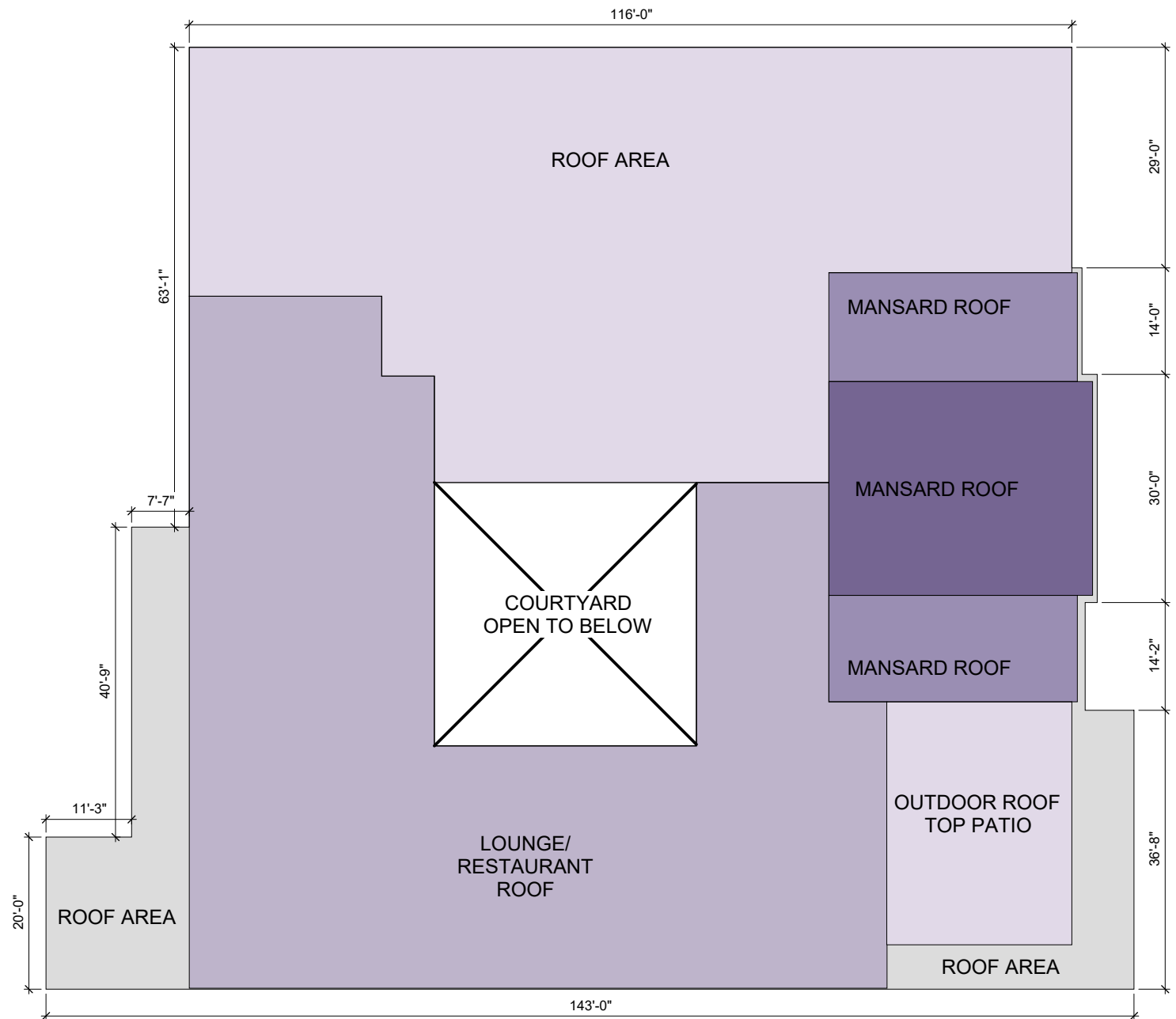
**5TH LEVEL**  
**ROOF TOP TERRACE PLAN**  
 SCALE: 1/8" = 1'-0"  
 678 SF

1 1/10/23  
 2 2/15/23  
 3 2/20/23  
 11/25/22

**ILLES ARCHITECTS INC.**  
 3697 FOREST RIDGE CIRCLE  
 MEDINA, OHIO 44256  
 PH: 330.725.6262

**ROOF AREA LEGEND**






 ROOF AREA (~20%) ROOF ELEVATION: 49'-4" - PARAPET @ 53'-3"	 MANSARD ROOF (~5%) ROOF ELEVATION: 66'-11"
 BUILDING FOOTPRINT (100%) ROOF ELEVATION: 15'-0" (~20%)	 MANSARD ROOF (~5%) ROOF ELEVATION: 71'-0"
 LOUNGE/ RESTAURANT ROOF (~50%) ROOF ELEVATION: 61'-1" - PARAPET @ 62'-2"	

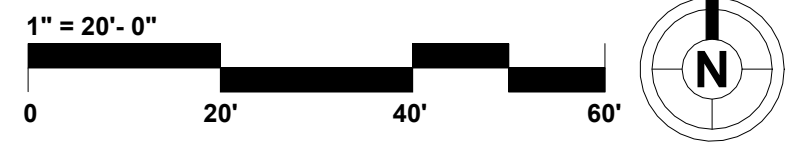


**2 PLAN ORIGINAL ROOF PLAN OUTLINE AND HEIGHTS**  
1" = 20'-0"

**1 PLAN ROOF PLAN OUTLINE AND HEIGHTS**  
1" = 20'-0"

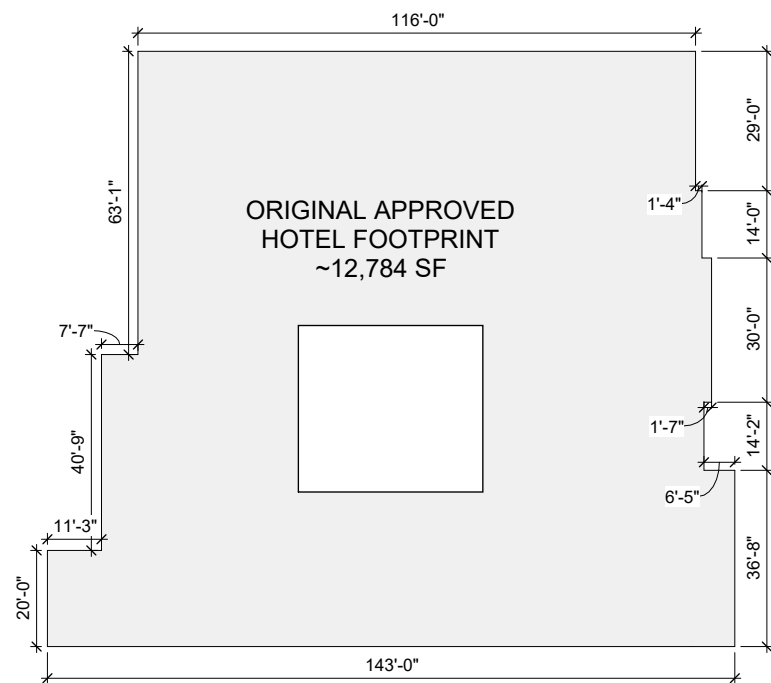
**ORIGINAL ROOF AREA LEGEND**

 ROOF AREA (~40%) ROOF ELEVATION: 45'-0"	 MANSARD ROOF (~6%) ROOF ELEVATION: 62'-8"
 BUILDING FOOTPRINT (100%) ROOF ELEVATION: 13'-0" (~9%)	 LOUNGE/ RESTAURANT ROOF (~38%) ROOF ELEVATION: 55'-0"
	 MANSARD ROOF (~7%) ROOF ELEVATION: 66'-8"

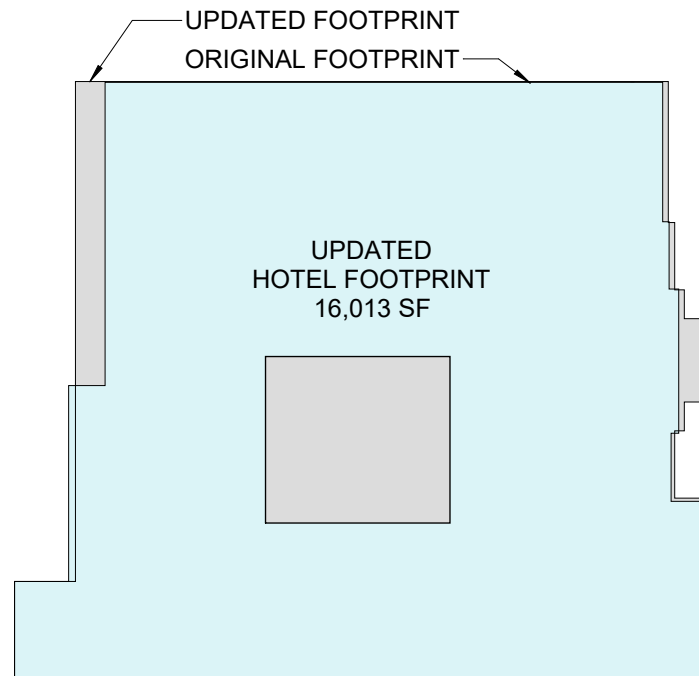


PROJECT INFORMATION  
 MEDINA HOTEL - EVENT CENTER  
 DATE: MAY 1, 2024  
 PROJECT NO. 14423

SHEET NAME ROOF OUTLINE & HEIGHT	SHEET NO. HSK05
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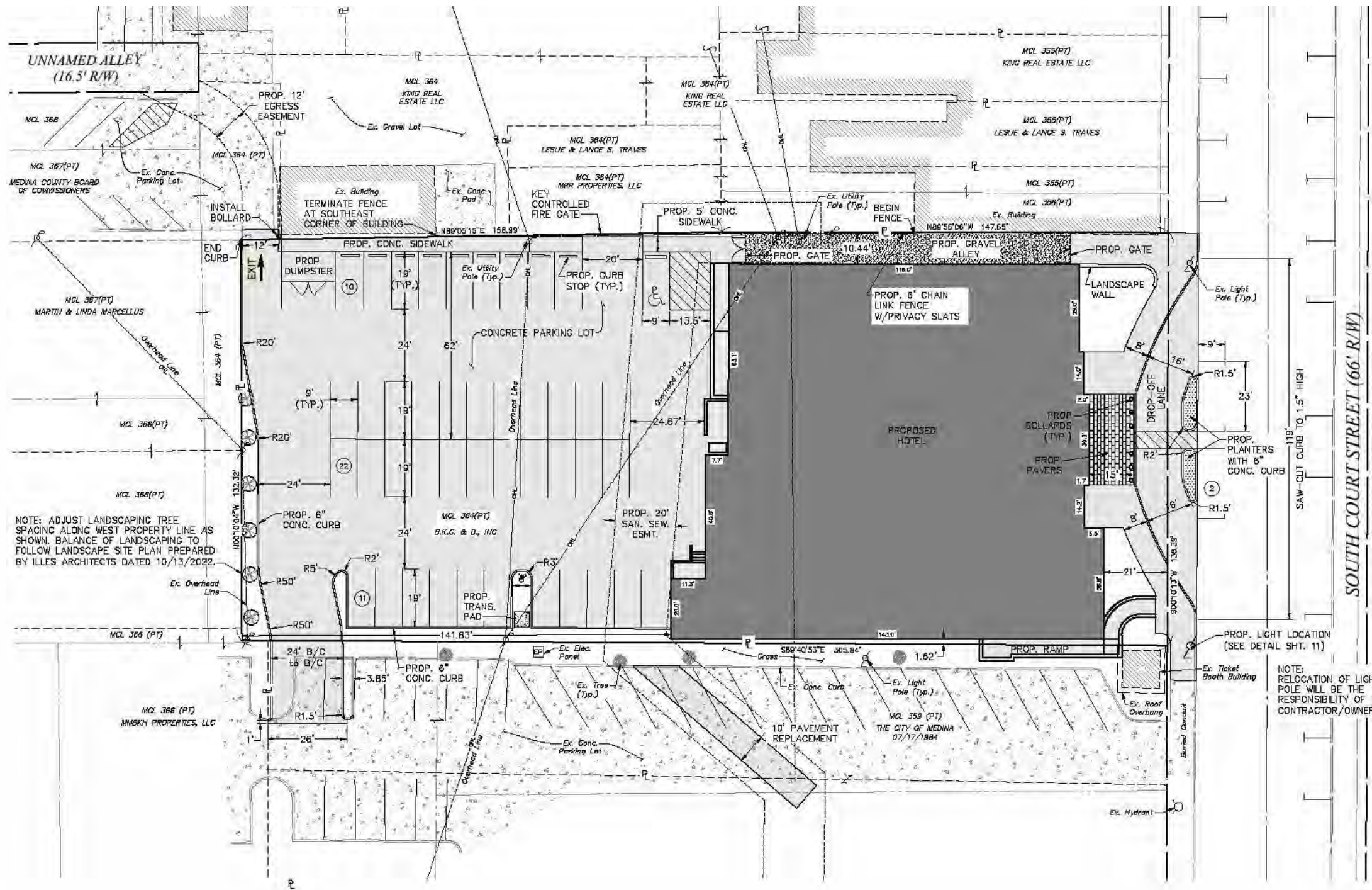


ORIGINAL APPROVED  
HOTEL FOOTPRINT  
~12,784 SF



UPDATED FOOTPRINT  
ORIGINAL FOOTPRINT

UPDATED  
HOTEL FOOTPRINT  
16,013 SF



**1** PLAN PRELIMINARY SITE PLAN - ORIGINAL  
1" = 40'-0"





**1** ELEVATION EXTERIOR ELEVATIONS ORIGINAL - EAST  
 1" = 10'-0"



SLATE LOOK SHINGLE ROOF  
 ECO STAR MAJESTIC SLATE  
 TRADITIONAL CLASS C  
 COLOR: CHESTNUT BROWN,  
 FEDERAL GRAY, CEDAR  
 BROWN, MOUNTAIN PLUM,  
 DRIFTWOOD

FIBER CEMENT PANEL  
 PRIMED AND PAINTED,  
 COLOR: PANDA WHITE  
 SW 6147

FIBERGLASS CORNICE  
 ARCHITECTURAL  
 FIBERGLASS C-332. NO  
 CHANGE TO PROPOSED  
 COLOR PALETTE

BRICK VENEER,  
 GLEN-GERY: OLDE DETROIT

SIGNAGE TO BE DETERMINED  
 AT A FUTURE DATE

BRICK REVEAL DETAIL

STO LIMESTONE

SOLDIER COURSE DETAIL

ANODIZED ALUMINUM FIXED  
 WINDOW, LOW-E GLASS,  
 FRAME COLOR: DARK BRONZE,

AWNING, COLOR: HOGAN  
 ADMIRAL

ANODIZED ALUMINUM FIXED  
 WINDOW, LOW-E GLASS,  
 FRAME COLOR: DARK BRONZE

ARRISCRAFT - RENAISSANCE  
 MASONRY UNITS, COLOR:  
 LIMESTONE, FINISH: SATIN

CAST STONE BASE

CANOPY, COLOR: BRONZE

BOLLARD (FLAT TOP), COLOR: BLACK



1

ELEVATION HOTEL - EAST ELEVATION

1" = 10'-0"

1" = 10'-0"



PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
 DATE: MAY 1, 2024  
 PROJECT NO. 14423

SHEET NAME

HOTEL - EAST EXTERIOR  
 ELEVATION

SHEET NO.

HSK01







1

**ELEVATION** EXTERIOR ELEVATIONS ORIGINAL - WEST

1" = 10'-0"

1" = 10'-0"



PROJECT INFORMATION



MEDINA HOTEL - EVENT CENTER  
 DATE: MAY 1, 2024  
 PROJECT NO. 14423

SHEET NAME

HOTEL - ORIGINAL WEST  
 EXTERIOR ELEVATION

SHEET NO.

HSK02.0

FIBER CEMENT PANEL  
PRIMED AND PAINTED,  
COLOR: PANDA WHITE  
SW 6147

FIBERGLASS CORNICE  
ARCHITECTURAL  
FIBERGLASS C-345.  
COLOR:  
SW 6147 PANDA WHITE  
SW 0032 NEEDLEPOINT  
NAVY

BRICK VENEER,  
GLEN-GERY: OLDE  
DETROIT  
BRICK REVEAL DETAIL

STO LIMESTONE

SOLDIER COURSE DETAIL

ANODIZED ALUMINUM FIXED  
WINDOW, LOW-E GLASS,  
FRAME COLOR: DARK BRONZE

FIBERGLASS CORNICE  
ARCHITECTURAL  
FIBERGLASS C-332. NO  
CHANGE TO PROPOSED  
COLOR PALETTE

ARRISCRAFT -  
RENAISSANCE MASONRY  
UNITS, COLOR: LIMESTONE,  
FINISH: SATIN

CAST STONE BASE

TOP OF ROOF  
71'-0"

ROOF  
61'-0"

PARAPET  
53'-0"

FIFTH FLOOR  
47'-10 1/4"

FOURTH FLOOR  
36'-7 5/8"

THIRD FLOOR  
25'-9 7/8"

SECOND FLOOR  
15'-0"

FIRST FLOOR  
0'-0"

+ 62'-2"

+ 15'-0"

**1** ELEVATION HOTEL - WEST ELEVATION  
1" = 10'-0"

1" = 10'-0"

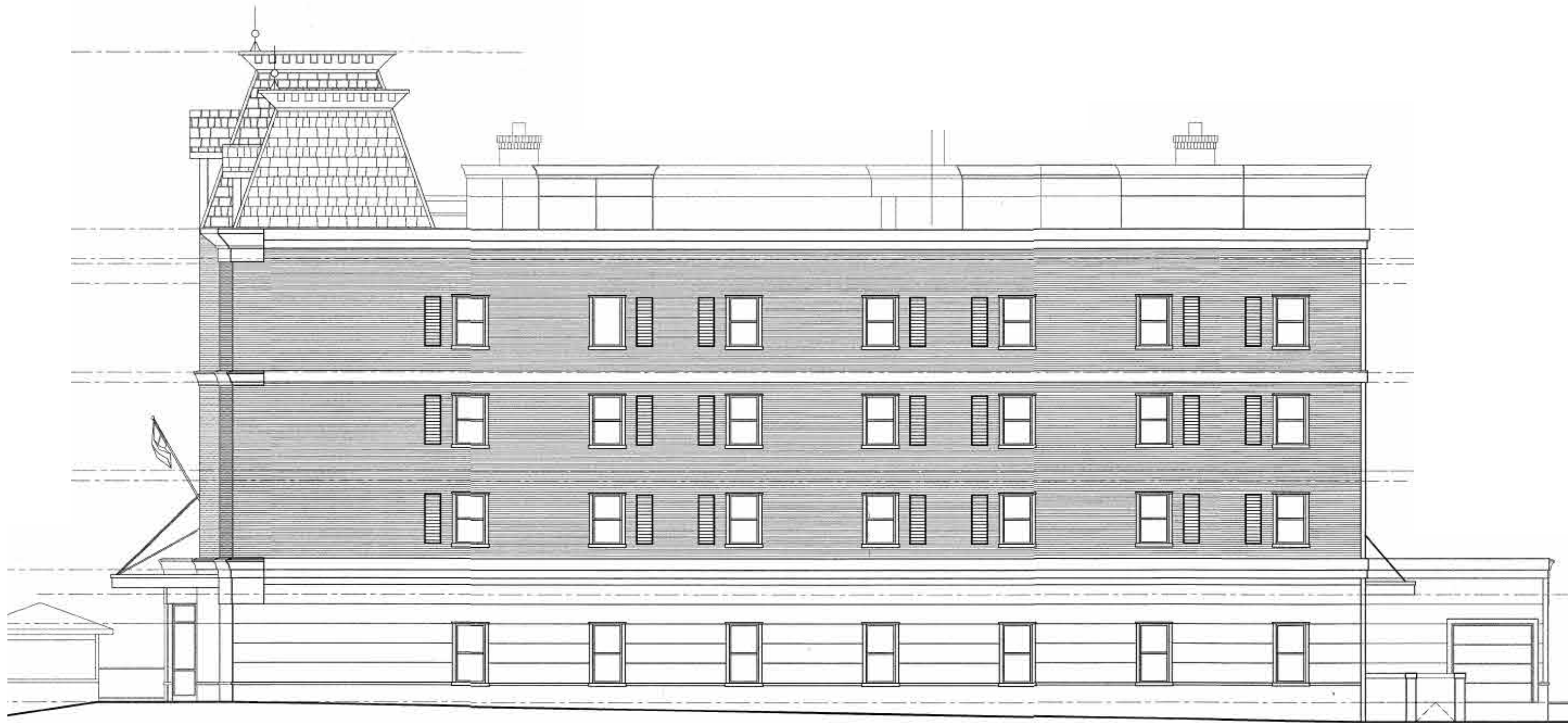
0 10' 20' 30'



PROJECT INFORMATION  
MEDINA HOTEL - EVENT CENTER  
DATE: MAY 1, 2024  
PROJECT NO. 14423

SHEET NAME  
HOTEL - WEST EXTERIOR  
ELEVATION

SHEET NO.  
HSK02



**1** ELEVATION EXTERIOR ELEVATIONS ORIGINAL - NORTH  
 1" = 10'-0"



PROJECT INFORMATION  
 MEDINA HOTEL - EVENT CENTER  
 DATE: MAY 1, 2024  
 PROJECT NO. 14423

SHEET NAME  
 HOTEL - ORIGINAL  
 NORTH EXTERIOR  
 ELEVATION

SHEET NO.  
 HSK03.0

SLATE LOOK SHINGLE ROOF  
 ECO STAR MAJESTIC SLATE  
 TRADITIONAL CLASS C  
 COLOR: CHESTNUT BROWN,  
 FEDERAL GRAY, CEDAR  
 BROWN, MOUNTAIN PLUM,  
 DRIFTWOOD

FIBER CEMENT  
 PANEL PRIMED AND  
 PAINTED, COLOR:  
 PANDA WHITE  
 SW 6147

FIBERGLASS CORNICE  
 ARCHITECTURAL  
 FIBERGLASS C-332. NO  
 CHANGE TO  
 PROPOSED COLOR  
 PALETTE

BRICK VENEER,  
 GLEN-GERY: OLDE DETROIT

BRICK REVEAL DETAIL

STO LIMESTONE

SOLDIER COURSE  
 DETAIL

ANODIZED ALUMINUM  
 FIXED WINDOW, LOW-E  
 GLASS,  
 FRAME COLOR: DARK  
 BRONZE

FIBERGLASS CORNICE  
 ARCHITECTURAL  
 FIBERGLASS C-332. NO  
 CHANGE TO  
 PROPOSED COLOR  
 PALETTE

CANOPY, COLOR:  
 DARK BRONZE

ARRISCRAFT -  
 RENAISSANCE  
 MASONRY UNITS,  
 COLOR: LIMESTONE,  
 FINISH: SATIN

CAST STONE BASE

ANODIZED ALUMINUM FIXED  
 WINDOW, LOW-E GLASS,  
 FRAME COLOR: DARK BRONZE

FIBERGLASS CORNICE  
 ARCHITECTURAL FIBERGLASS  
 C-345.  
 COLOR:  
 SW 6147 PANDA WHITE  
 SW 0032 NEEDLEPOINT NAVY



1

**ELEVATION** HOTEL - NORTH ELEVATION

1" = 10'-0"

1" = 10'-0"



PROJECT INFORMATION  
 MEDINA HOTEL - EVENT CENTER  
 DATE: MAY 1, 2024  
 PROJECT NO. 14423

SHEET NAME  
 HOTEL - NORTH  
 EXTERIOR ELEVATION

SHEET NO.  
 HSK03



**1** ELEVATION EXTERIOR ELEVATIONS ORIGINAL - SOUTH  
 1" = 10'-0"



PROJECT INFORMATION  
 MEDINA HOTEL - EVENT CENTER  
 DATE: MAY 1, 2024  
 PROJECT NO. 14423

SHEET NAME  
 HOTEL - ORIGINAL  
 SOUTH EXTERIOR  
 ELEVATION

SHEET NO.  
 HSK04.0

SLATE LOOK SHINGLE ROOF  
 ECO STAR MAJESTIC SLATE  
 TRADITIONAL CLASS C  
 COLOR: CHESTNUT BROWN,  
 FEDERAL GRAY, CEDAR  
 BROWN, MOUNTAIN PLUM,  
 DRIFTWOOD

FIBER CEMENT PANEL  
 PRIMED AND PAINTED,  
 COLOR: PANDA WHITE  
 SW 6147

FIBERGLASS CORNICE  
 ARCHITECTURAL  
 FIBERGLASS C-345.  
 COLOR:  
 SW 6147 PANDA WHITE  
 SW 0032 NEEDLEPOINT  
 NAVY

BRICK VENEER,  
 GLEN-GERY: OLDE DETROIT

STO LIMESTONE

BRICK REVEAL DETAIL

SOLDIER COURSE  
 DETAIL

ANODIZED ALUMINUM FIXED  
 WINDOW, LOW-E GLASS,  
 FRAME COLOR: DARK  
 BRONZE

FIBERGLASS CORNICE  
 ARCHITECTURAL  
 FIBERGLASS C-332. NO  
 CHANGE TO PROPOSED  
 COLOR PALETTE

ARRISCRAFT -  
 RENAISSANCE  
 MASONRY UNITS,  
 COLOR: LIMESTONE,  
 FINISH: SATIN

CAST STONE BASE

+ 62'-2"

+ 71'-0"

+ 66'-11"

TOP OF ROOF  
 71'-0"

ROOF  
 61'-0"

PARAPET  
 53'-3"

FIFTH FLOOR  
 47'-10 1/4"

FOURTH FLOOR  
 36'-7 5/8"

THIRD FLOOR  
 25'-9 7/8"

SECOND FLOOR  
 15'-0"

CANOPY, COLOR:  
 DARK BRONZE

FIRST FLOOR  
 0'-0"

+ 15'-0"

1

ELEVATION HOTEL - SOUTH ELEVATION

1" = 10'-0"

1" = 10'-0"



PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
 DATE: MAY 1, 2024  
 PROJECT NO. 14423

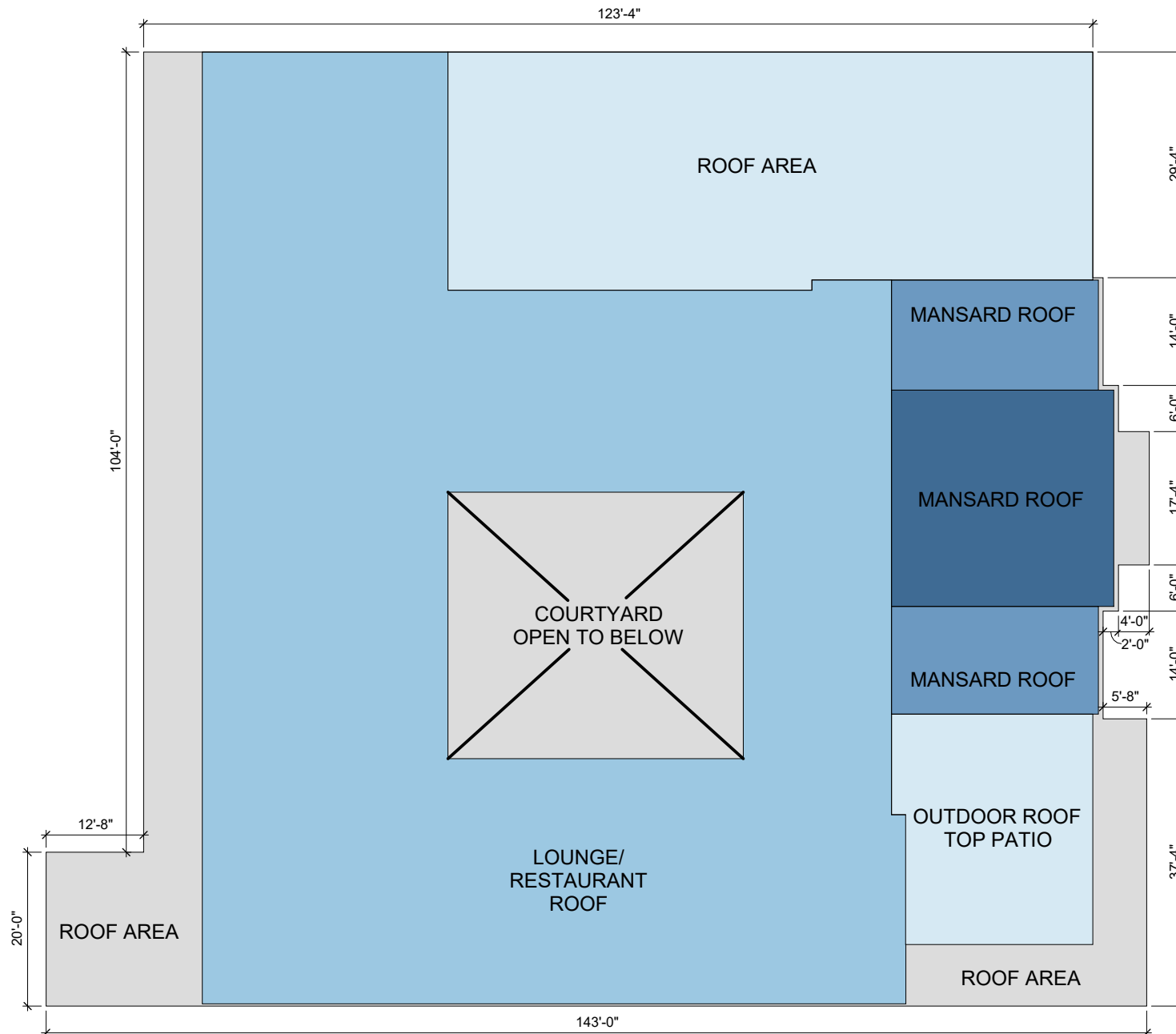
SHEET NAME

HOTEL - SOUTH  
 EXTERIOR ELEVATION

SHEET NO.

HSK04

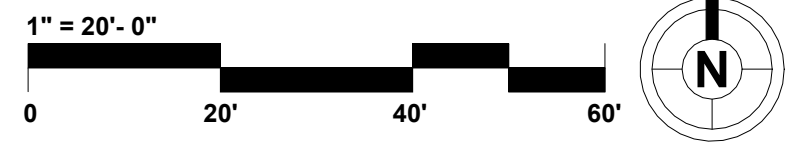




**ROOF AREA LEGEND**

- BUILDING FOOTPRINT (100%)  
ROOF ELEVATION: 15'-0" (~20%)
- ROOF AREA (~20%)  
ROOF ELEVATION: 49'-4" - PARAPET @ 53'-3"
- LOUNGE/ RESTAURANT ROOF (~50%)  
ROOF ELEVATION: 61'-1" - PARAPET @ 62'-2"
- MANSARD ROOF (~5%)  
ROOF ELEVATION: 66'-11"
- MANSARD ROOF (~5%)  
ROOF ELEVATION: 71'-0"

**1 PLAN** ROOF PLAN OUTLINE AND HEIGHTS  
1" = 20'-0"

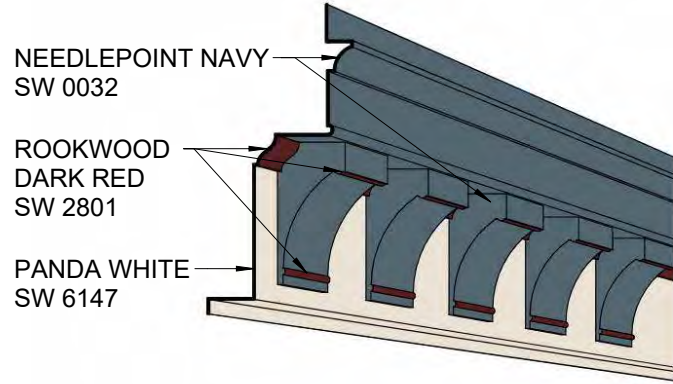


PROJECT INFORMATION  
 MEDINA HOTEL - EVENT CENTER  
 DATE: MAY 1, 2024  
 PROJECT NO. 14423

SHEET NAME: ROOF OUTLINE & HEIGHT  
 SHEET NO.: HSK05

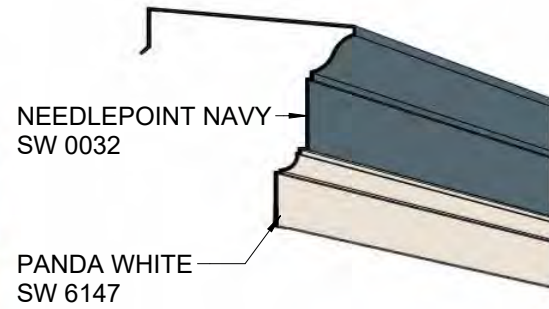
FIBERGLASS CORNICE - AMERICAN  
FIBERGLASS INC. C-332 (NO CHANGE)

C-332  
DEPTH: 1'-8"  
HEIGHT: 3'-6 3/4"



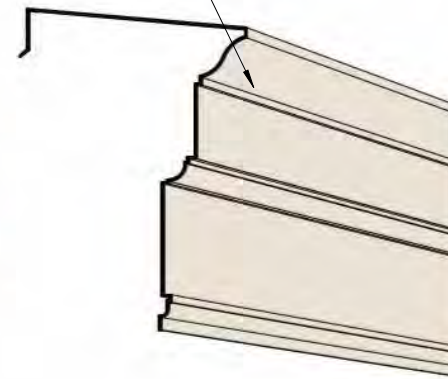
FIBERGLASS CORNICE - AMERICAN  
FIBERGLASS INC. C-345

C-345  
DEPTH: 1'-10 1/2"  
HEIGHT: 2'-7 7/8"



-10 1/2"  
-7 7/8"

PANDA WHITE  
SW 6147



STO LIMESTONE FINISH @  
LINTELS & SILLS. (NO CHANGE)

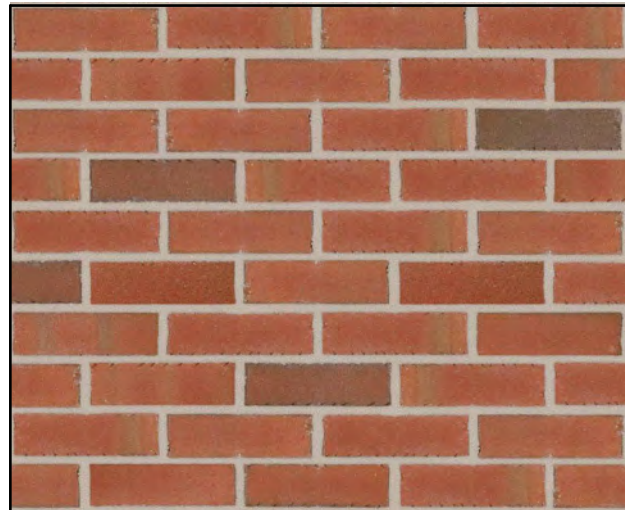
STO LIMESTONE FINISH



ARRISCRAFT - RENAISSANCE MASONRY UNITS,  
COLOR: LIMESTONE, FINISH: SATIN



GLEN-GERY BRICK : OLDE DETROIT  
(NO CHANGE)



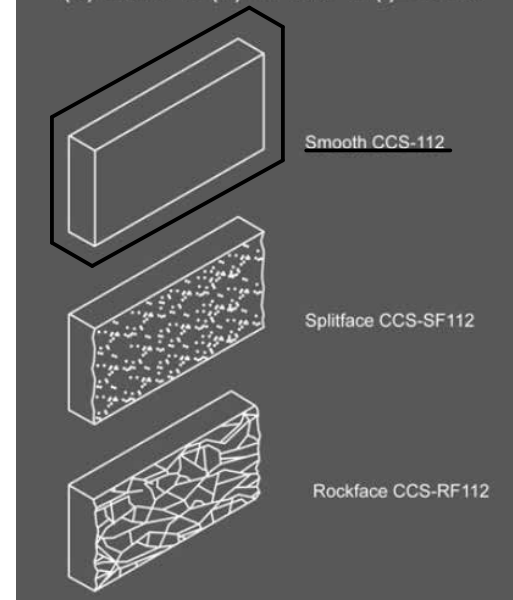
SUNBRELLA FABRICS  
COLOR: HOGAN ADMIRAL



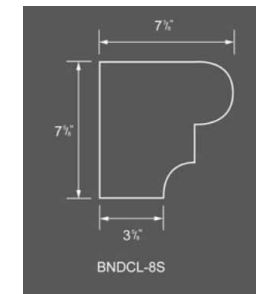
ARCHITECTURAL CAST STONE BASE, CUSTOM CASTSTONE.  
STONE SMOOTH FINISH CCS-112, CAP BNDCL-8S  
COLOR: LIMESTONE

STONE SIZE AND FINISH

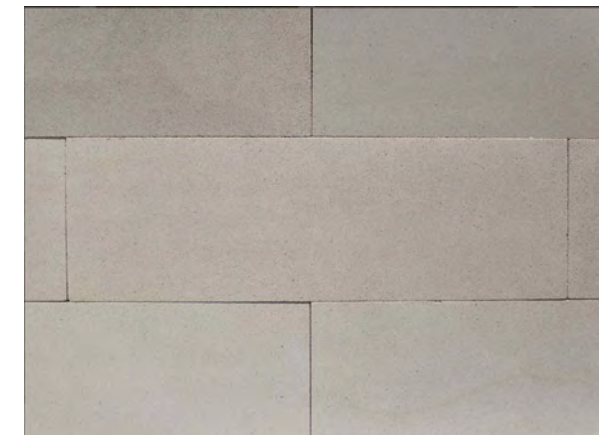
(d) 3 5/8" x (h) 11 5/8" x (l) 23 5/8"



CAP PROFILE



COLOR



PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
DATE: MAY 1, 2024  
PROJECT NO. 14423

SHEET NAME

EXTERIOR ELEVATIONS  
MATERIALS

SHEET NO.

HSK06





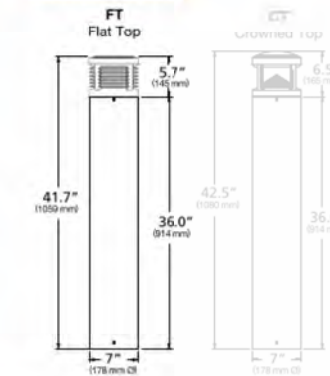


**KIMLIGHTING®**

**PA7R IMPACT RATED**

BOLLARD

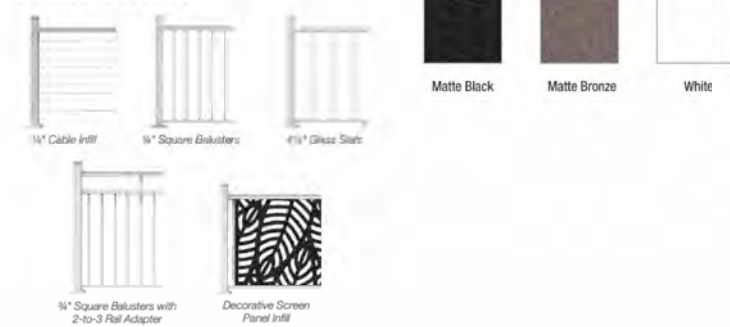
**DIMENSIONS**



**BARRETTE OUTDOOR LIVING AVALON ALUMINUM RAILING**



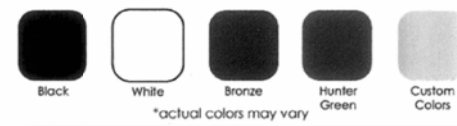
**INFILL STYLE OPTIONS**



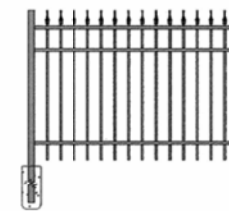
**Aluminum Fence at Wholesale Prices Delivered to You**

Fence Specs	Residential	Commercial
Picket	5/8" sq.	3/4" sq.
Rail	1-3/8" x 1"	1-3/4" x 1-1/4"
Fence Post	2" sq. x .062	2" x.062 or 2-1/2" x .075
Gate Post	2" sq. x .125	2" sq., 2-1/2" sq.

**Standard Colors**

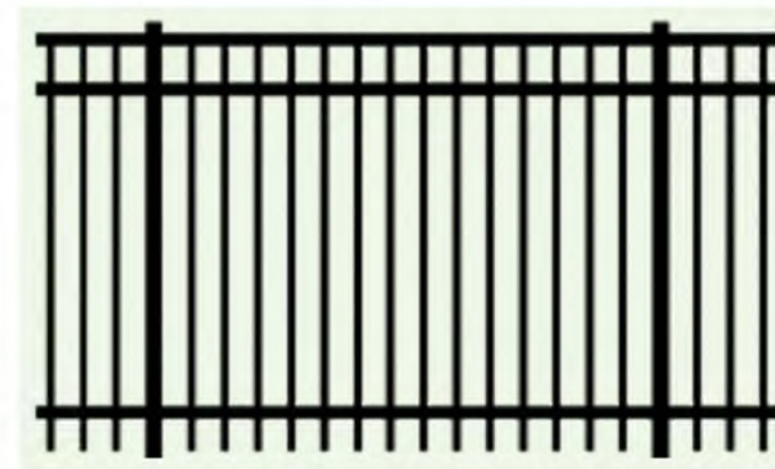


**Great Dane**

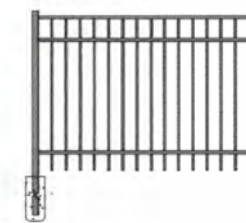


**Fence Styles**

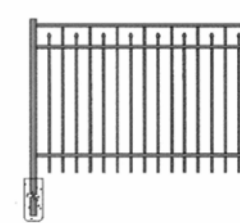
**BEAGLE COMMERCIAL FENCE**



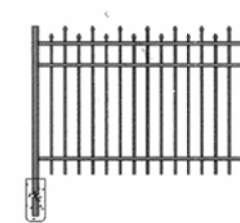
**Beagle**



**Labrador**



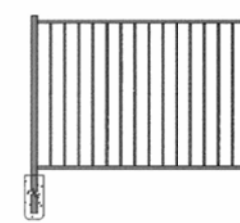
**Bull Dog**



**German Shepard**



**Border Collie**



**Retriever**



**PROJECT INFORMATION**

MEDINA HOTEL - EVENT CENTER  
 DATE: MAY 1, 2024  
 PROJECT NO. 14423

**SHEET NAME**

FENCE AND LIGHT  
 FIXTURE EXAMPLES

**SHEET NO.**

HSK07





PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
DATE: MAY 1, 2024  
PROJECT NO. 14423



SHEET NAME  
SOUTH EAST CORNER -  
3D STREET  
PERSPECTIVE

SHEET NO.  
HSK08



PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
DATE: MAY 1, 2024  
PROJECT NO. 14423

SHEET NAME  
EAST FACADE - 3D  
PERSPECTIVE

SHEET NO.  
HSK09





PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
DATE: MAY 1, 2024  
PROJECT NO. 14423

SHEET NAME  
EAST FACADE - 3D  
PERSPECTIVE

SHEET NO.  
HSK10





PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
DATE: MAY 1, 2024  
PROJECT NO. 14423

SHEET NAME

SOUTH EAST CORNER -  
3D PERSPECTIVE

SHEET NO.

HSK11



330.666.5770



PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
DATE: MAY 1, 2024  
PROJECT NO. 14423

SHEET NAME

SOUTH WEST CORNER -  
3D PERSPECTIVE

SHEET NO.

HSK12





PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
DATE: MAY 1, 2024  
PROJECT NO. 14423

SHEET NAME

NORTH WEST CORNER -  
3D PERSPECTIVE

SHEET NO.

HSK13



Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	Input Power	Notes
	<b>B1</b>	9	TBD	SEE PROPOSED OPTIONS FOR HISTORIC PRESERVATION BOARD'S REVIEW.	BOLLARD @ 4ft	1	808	14.08	4' Mounting Height
	<b>P3</b>	2	ARCHITECTURAL AREA LIGHTING	PROS-Y3-2040	PROVIDENCE SMALL - 15ft Post Top Light Fixture with Type III Distribution	1	1830	25.1	15' Mounting Height
	<b>P4</b>	8	ARCHITECTURAL AREA LIGHTING	PROS-Y4W-3040	PROVIDENCE SMALL - 15ft Post Top Light Fixture with Type IV Distribution	1	2988	43	15' Mounting Height
	<b>P5</b>	7	ARCHITECTURAL AREA LIGHTING	PROS-Y5-3040	PROVIDENCE SMALL - 15ft Post Top Light Fixture with Type V Distribution	1	2893	43.2	15' Mounting Height
	<b>W1</b>	9	ARCHITECTURAL AREA LIGHTING	ALN440-Y3-32LED-4K-SBL-700	TOWNE COMMONS - ALN440 ONE PIECE SAND BLASTED LENS.	1	4953	74.9	
	<b>C1</b>	6	BEACON PRODUCTS	SRT1-15-4K7-5C-UNV	SRT1 12" ROUND EDGELIT CEILING	1	2458	16.85	

Statistics						
Symbol	Max	Avg	Min	Max/Min	Avg/Min	Description
<b>+</b>	1.6 fc	0.6 fc	0.2 fc	8.0:1	3.0:1	Parking Lot



**Plan View**  
Scale - 1" = 25'

PHOTOMETRIC SITE PLAN  
LEGACY OF MEDINA HOTEL  
257 S COURT ST.  
MEDINA, OH 44256



## Andrew Dutton

---

**From:** Jana Call <jana@mpg-architects.com>  
**Sent:** Thursday, May 9, 2024 9:27 AM  
**To:** Andrew Dutton  
**Cc:** Ian Jones; Jason Stevenson (jstevenson@autonomycapitalgroup.com); Bobby Johnston  
**Subject:** RE: Hotel HPB Meeting  
**Attachments:** HSK10.A - EAST FACADE - 3D PERSPECTIVE OPTION 2.pdf; HSK11.A - SOUTH EAST CORNER - 3D PERSPECTIVE OPTION 2.pdf; HSK12.A - SOUTH WEST CORNER - 3D PERSPECTIVE OPTION 2.pdf; HSK13.A - NORTH WEST CORNER - 3D PERSPECTIVE OPTION 2.pdf

Good morning Andrew,

Please see attached "Option 2" renders with the painted roof cornice.

As requested, this is a brief balcony description: The new "observation deck" is a balcony feature added on the south façade of the fifth floor, serving the "Sky Lounge" not only as a balcony, but also as an extension when the full height glass door system is fully open. The crescent shaped balcony has an area of 175 sf , with 3'-0" at the narrow sides and 5'3" in the middle. The face of the balcony will be painted navy (SW 0032 Needlepoint Navy) to match the cornice, it will also have dark bronze aluminum guard with glass at 42" high.

Thank you again for all the feedback!

Thank you,

**JANA CALL**



PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
DATE: MAY 9, 2024  
PROJECT NO. 14423



SHEET NAME

EAST FACADE - 3D  
PERSPECTIVE OPTION 2

SHEET NO.

HSK10.A



PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
DATE: MAY 9, 2024  
PROJECT NO. 14423

SHEET NAME  
SOUTH EAST CORNER -  
3D PERSPECTIVE  
OPTION 2

SHEET NO.  
HSK11.A





PROJECT INFORMATION



MEDINA HOTEL - EVENT CENTER  
DATE: MAY 9, 2024  
PROJECT NO. 14423

SHEET NAME  
SOUTH WEST CORNER -  
3D PERSPECTIVE  
OPTION 2

SHEET NO.  
HSK12.A



PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
DATE: MAY 9, 2024  
PROJECT NO. 14423

SHEET NAME  
NORTH WEST CORNER -  
3D PERSPECTIVE  
OPTION 2

SHEET NO.  
HSK13.A



## Andrew Dutton

---

**From:** Jana Call <jana@mpg-architects.com>  
**Sent:** Thursday, May 9, 2024 9:27 AM  
**To:** Andrew Dutton  
**Cc:** Ian Jones; Jason Stevenson (jstevenson@autonomycapitalgroup.com); Bobby Johnston  
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**Attachments:** HSK10.A - EAST FACADE - 3D PERSPECTIVE OPTION 2.pdf; HSK11.A - SOUTH EAST CORNER - 3D PERSPECTIVE OPTION 2.pdf; HSK12.A - SOUTH WEST CORNER - 3D PERSPECTIVE OPTION 2.pdf; HSK13.A - NORTH WEST CORNER - 3D PERSPECTIVE OPTION 2.pdf

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Thank you again for all the feedback!

Thank you,

**JANA CALL**



PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
DATE: MAY 9, 2024  
PROJECT NO. 14423

SHEET NAME

EAST FACADE - 3D  
PERSPECTIVE OPTION 2

SHEET NO.

HSK10.A





PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
DATE: MAY 9, 2024  
PROJECT NO. 14423

SHEET NAME  
SOUTH EAST CORNER -  
3D PERSPECTIVE  
OPTION 2

SHEET NO.  
HSK11.A







PROJECT INFORMATION



MEDINA HOTEL - EVENT CENTER  
DATE: MAY 9, 2024  
PROJECT NO. 14423

SHEET NAME  
SOUTH WEST CORNER -  
3D PERSPECTIVE  
OPTION 2

SHEET NO.  
HSK12.A



PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
DATE: MAY 9, 2024  
PROJECT NO. 14423



SHEET NAME  
NORTH WEST CORNER -  
3D PERSPECTIVE  
OPTION 2

SHEET NO.  
HSK13.A