ORDINANCE NO. 84-25

AN ORDINANCE AUTHORIZING THE MAYOR TO ENTER INTO THE GUARANTEED MAXIMUM PRICE AGREEMENT NO. 3 WITH THE RUHLIN COMPANY, FOR WORK AT THE MEDINA MUNICIPAL COURTHOUSE, AND DECLARING AN EMERGENCY.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF MEDINA, OHIO:

- SEC. 1: That the Mayor is hereby authorized and directed to execute the Guaranteed Maximum Price Agreement No. 3 between the City of Medina and The Ruhlin Company to approve the attached amendment to the base agreement to complete the balance of the project at the Medina Municipal Courthouse.
- SEC. 2: That a copy of the Guaranteed Maximum Price Agreement No. 3 is marked Exhibit A, attached hereto and incorporated herein.
- **SEC. 3:** That the funds to cover the agreement, in the estimated amount of \$7,924,189.00 are available as follows: \$2,008,383.00 in Account No. 301-0716-54412 and \$5,915,806.00 in Account No. 169-0716-54412.
- SEC. 4: That it is found and determined that all formal actions of this Council concerning and relating to the passage of this Ordinance were adopted in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in such formal action, were in meetings open to the public, in compliance with the law.
- SEC. 5: That this Ordinance shall be considered an emergency measure necessary for the immediate preservation of the public peace, health and safety, and for the further reason to lock in costs and allow the project to continue without delay; wherefore, this Ordinance shall be in full force and effect immediately upon its passage and signature by the Mayor.

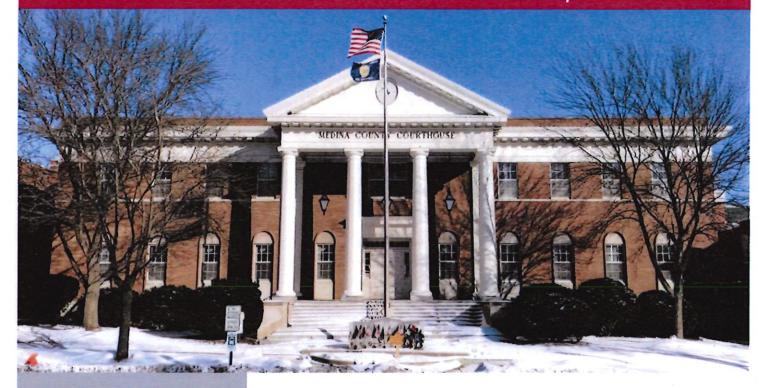
PASSED: SIGNED: President of Council

ATTEST: Deputy Clerk of Council

SIGNED: Mayor



Great People. Proven Results.



GMP AMENDMENT #3

Sitework, Carpentry, Finishes, Mechanical, Electrical, Plumbing, Technology

City of Medina

Medina Municipal Court Renovation

Project No. 24023







MEDINA MUNICIPAL COURTHOUSE

GMP AMENDMENT #3

Sitework, Carpentry, Finishes, Mechanical, Electrical, Plumbing, Technology

Form of Guaranteed Maximum Price Amendment - Exhibit A

Project Cost Breakdown – Exhibit B
Project Budget and Cost Breakdown

Drawings & Specifications – Exhibit C GMP Basis Document(s)

Assumptions & Clarifications - Exhibit D

Construction Schedule - Exhibit E

Allowances - Exhibit F

Alternates - Exhibit G not used

Unit Prices – Exhibit H not used

Staffing Plan - Exhibit I





EXHIBIT A – FORM OF AGREEMENT

MEDINA MUNICIPAL COURTHOUSE

GMP AMENDMENT #3

Sitework, Carpentry, Finishes, Mechanical, Electrical, Plumbing, Technology

Form of Guaranteed Maximum Price Amendment #3



EXHIBIT A

FORM OF GUARANTEED MAXIMUM PRICE AMENDMENT

GUARANTEED MAXIMUM PRICE AMENDMENT

Pursuant to Article 6 of the Standard Form of Agreement Between Owner and Construction Manager as Constructor (AIA® Document A133TM – 2019), dated as of August 26, 2024 (the "Agreement") between The City of Medina, ("Owner"), and The Ruhlin Company, an Ohio corporation ("Construction Manager" or "CMR"), Owner and Construction Manager desire to enter into this Guaranteed Maximum Price Amendment (this "Amendment") and establish a guaranteed maximum price for the Work (as defined in the Agreement and further herein). Therefore, Owner and Construction Manager agree as follows:

ARTICLE 1, GUARANTEED MAXIMUM PRICE

- 1. This Amendment covers the following Work: Sitework, Carpentry, Finishes, Mechanical, Electrical, Plumbing, Technology
- 2. Capitalized words and phrases used but not defined herein shall have the same meanings as are ascribed to such words in the Agreement.
- 3. The Architect on the project is Brandstetter Carroll, Inc. ("Architect").
- 4. Construction Manager's guaranteed maximum price for the Work described herein and the GMP Documents attached hereto, including the Cost of the Work, Construction Manager's Fee and the Construction Contingency with respect to such work is <u>Seven Million</u>, <u>Six Hundred Seventy-Four Thousand</u>, <u>One Hundred Eighty-Nine</u> (\$7,674,189.00).
- 5. The attached Exhibits are a part of the Agreement as if each were physically incorporated therein.

| EXHIBIT | DESCRIPTION | DATE | PAGES |
|---------|--|----------|-------|
| A | Form of Guaranteed Maximum Price Amendment | 04.07.25 | 2 |
| В | Project Cost Breakdown | 04.07.25 | 1 |
| С | Drawings and Specifications upon which GMP #3 is based | 02.28.25 | 6 |
| D | Qualifications and Assumptions | 04.07.25 | 5 |
| Е | GMP Schedule | 04.07.25 | 3 |
| F | Allowances | 04.07.25 | 2 |
| G | Alternates – not used | n/a | n/a |
| Н | Unit Prices – not used | n/a | n/a |
| I | Staffing Plan | 04.07.25 | 1 |

- 6. This Amendment may be executed by the parties in separate counterparts, each of which when so executed and delivered shall be an original, but all such counterparts shall together constitute but one and the same instrument.
- 7. Except as specifically amended herein, all the provisions of the Agreement remain in full force and effect and all terms and conditions of the Agreement shall apply. In the event of an irreconcilable conflict between the terms of the Agreement and those of this Amendment, the terms of this Amendment shall control.
- te m

| | ruction Manager acknowledges that, as of the dar ger is not aware of, and has not reserved, any claim ay of |
|--------------------------|---|
| OWNER: | CONSTRUCTION MANAGER: |
| THE CITY OF MEDINA, OHIO | THE RUHLIN COMPANY, An Ohio corporation |
| By: At arwell | By: |
| Dennis Hanwell | James L. Ruhlin, Jr., PE |
| Mayor | President & CEO |

- 6. This Amendment may be executed by the parties in separate counterparts, each of which when so executed and delivered shall be an original, but all such counterparts shall together constitute but one and the same instrument.
- 7. Except as specifically amended herein, all the provisions of the Agreement remain in full force and effect and all terms and conditions of the Agreement shall apply. In the event of an irreconcilable conflict between the terms of the Agreement and those of this Amendment, the terms of this Amendment shall control.
- 8. By execution of this Amendment, Construction Manager acknowledges that, as of the date of this Amendment, Construction Manager is not aware of, and has not reserved, any claim against the Owner.

| This Amendment is entered as of the 29 de | ay of |
|---|--|
| OWNER: | CONSTRUCTION MANAGER: |
| THE CITY OF MEDINA, OHIO | THE RUHLIN COMPANY, An Ohio corporation |
| By: Dennis Hanwell Mayor | By: James L. Ruhlin, Jr., PE President & CEO |



EXHIBIT B - PROJECT COST BREAKDOWN

MEDINA MUNICIPAL COURTHOUSE

GMP AMENDMENT #3

Sitework, Carpentry, Finishes, Mechanical, Electrical, Plumbing, Technology

The Project Cost Breakdown incorporates the fully itemized general conditions, construction contingency, reimbursables, and associated fee in line with the basis documents.



| | SUMMARY OF PROBABLE | COST | | | |
|----------|--|--------------|---------------|---------|-------------------|
| Destant | | | | | |
| Project: | CITY OF MEDINA | | | | |
| | MEDINA MUNICIPAL COURT RENOVATION | | | | |
| Design: | Brandstetter Carroll Inc. | | | | The Ruhlin Compa |
| Phase: | GMP #3 - FINISHES, CARPENTRY, HVAC, PLUMBING, ELECTRICAL, TE | CHNOLOGY | . | | The Kumin Compa |
| Date: | 4/7/2025 | | | | |
| | | - Over | all Area: | 26,222 | SF - |
| ВР | DESCRIPTION - SCOPE OF WORK | | | SF COST | ESTIMATE |
| | | | | | |
| 31 | SITE/EXTERIOR IMPROVEMENTS/UTILITIES | | | | |
| | Fire Line Connection from Street - By City of Medina | | | | *** |
| | Landscaping - Plantings, Lawn, Maintenance, Warranty | | | | \$15 |
| | Concrete - Remove & replace front walk to building line, 2,900 sf | | | | \$41 |
| | CARPENTRY - COMBINED BID | 26,222 | SF | \$68.40 | \$1,793 |
| 06 | Carpentry, Casework, Millwork, Blocking | | | 700.10 | ¥ 1,1 0 0 |
| 08 | Doors, Frames, Hardware, Windows | | | | |
| 09A | Drywall, Metal Studs, Acoustic Ceilings | | | | |
| 10 | Window Shades, Toilet Partitions, Accessories, Column Replacement | | | | |
| | | | | | |
| 07 | ROOFING | 26,222 | SF | \$0.96 | \$25 |
| | FLOORING | 26 222 | SF | \$11.00 | |
| | Carpet | 26,222 | SF | \$11.96 | 6454 |
| | Ceramic Wall & Floor Tile | | | | \$151, |
| | Terrazzo - Infills, Patching, Polishing | | | | \$82, |
| | Terrazzo - Irinis, Patching, Polishing | | | | \$79, |
| 09 | PAINTING | 26,222 | SF | \$5.84 | \$153, |
| 21 | FIRE SUPPRESSION | 26,222 | SF | \$10.34 | \$271, |
| - | Added cost to bring underground line into building from 5' outside | 20,222 | -0. | ¥10.04 | \$9, |
| | | | | | V 0, |
| 22 | PLUMBING | 26,222 | SF | \$26.35 | \$691, |
| | sawcut/backfill, tie-ins, supply, drain lines, equipment, fixtures | | | | |
| 00 | LINAL A TEMP CONTROL O | | | | |
| 23 | HVAC & TEMP CONTROLS Concrete equipment pads | 26,222 | SF | \$47.27 | \$1,239, \$13, |
| | Cost for early startup/extended warranty on AHU & boilers to run in winter ahead of | of turnover | _ | | \$15, |
| | Cost for added filter changes, air intake protection, added final unit cleaning | | | | \$5, |
| 00 | ELECTRICAL A SIDE WARM | | | | |
| 26 | ELECTRICAL & FIRE ALARM | 26,222 | SF | \$34.03 | \$892, |
| 27/28 | TECHNOLOGY | 26,222 | SF | \$27.56 | \$722, |
| | Low voltage cabling, telephone room buildouts | | | | |
| | cameras, card readers, devices, programming | | | | |
| | ALLOWANDES | | | | |
| | ALLOWANCES Penlacing any detailerated wood trim at exterior to be pointed. | 26,222 | SF | \$21.74 | ** |
| | Replacing any deteriorated wood trim at exterior to be painted | | | | \$1, |
| - | Resetting sandstone panels and tuckpointing at front steps Renair or replace existing railing at front steirs entry. | | - | | \$5, \$5 |
| | Repair or replace existing railing at front stairs entry | hina | | | \$5, |
| | Cutting in masonry openings for ductwork, louvers, installing lintels, masonry patch | | \rightarrow | | \$20, |
| | Added floor preparation to get floor level - additional surface grinding, floor infill ma | | 4 | | \$50, |
| | Replace ceilings in law library- required to install fire sprinkler lines, add plumbing | runs overnea | u | | \$16, |
| | Clock at front canopy - currently not working. Investigate, repair, or replace Replace subfloor in north restooms to accept new tile per RFI 21 | | | | \$2, |
| | Patch existing walls at perimeter, shown to remain | | | | \$25, \$25, |

4/7/2025 3:46 PM 1 OF 2

| Project: | CITY OF MEDINA | | | | |
|----------|--|-----------------|------------|----------|------------------|
| | MEDINA MUNICIPAL COURT RENOVATION | | | | |
| | WEDINA WONICIPAL COURT RENOVATION | - | | | |
| Design: | Brandstetter Carroll Inc. | | | | The Ruhlin Compa |
| Phase: | GMP #3 - FINISHES, CARPENTRY, HVAC, PLUMBING, ELECTRICAL, TE | CHNOLOGY | . | | |
| Date: | 4/7/2025 | | | | |
| | | Over | all Area: | 26,222 | SF |
| BP | DESCRIPTION - SCOPE OF WORK | | | SF COST | ESTIMATE |
| | Remove existing wall finishes at perimeter of 2nd & 3rd floor shown to remain, ne | w framing, in | sulation & | drywall | \$100, |
| | Supply and install audio/video systems - will require more coordination with Medir | na Court team | to confirm | n specs | \$320, |
| | Allowance for material escalations due to tariffs, trade war, supply chain constrain | its | | | \$150, |
| 7 | GENERAL REQUIREMENTS | 26,222 | SF | \$7.40 | \$194, |
| | SUBTOTAL OF ABOVE COSTS - TRADES WORK | 26,222 | SF | \$271.06 | \$7,107, |
| | TOTAL DIRECT CONSTRUCTION | 26,222 | SF | \$271 | \$7,107,6 |
| | CONSTRUCTION STAGE COMPENSATION | | | | |
| | Ruhlin Staff | 1 | LS | | \$213, |
| | General Conditions | | | | \$128, |
| | CM Contingency | 1.5% | | | \$111, |
| | CM Fee | 1.5% | | | \$113, |
| | TOTAL CONSTRUCTION COSTS | 26,222 | SF | \$293 | \$7,674,1 |
| | PROJECT SOFT COSTS (to be included by Owner) | | | | |
| a. | Owner Contingency - Scope Changes or Unforeseen Conditions (5% recommended of | until framing o | complete) | | Not Include |
| b. | A/E Design Costs | | ĺ | , | Not Include |
| c. | Testing and Inspections | | | | Not Include |
| d. | Costs for Relocating Owner's Salvage Furniture, Books, Etc | | | | Not Include |
| e. | Temporary Power Consumption | | | | Not Include |
| f. | Temporary Water & Fuel Consumption | | | | Not Include |

4/7/2025 3:46 PM 2 OF 2



EXHIBIT C – BASIS DOCUMENTS - DRAWINGS

MEDINA MUNICIPAL COURTHOUSE

GMP AMENDMENT #3

Structure, Remaining Packages

This GMP #3 is based on the following documents and specifications:

 Medina Municipal Courthouse Renovation GMP #3 Structure, Remaining Packages Prepared by: Brandstetter Carroll, Inc.

See full detail attached



Date: 2/28/2025

| | ON DOCUMENTS GMP 3 IUNICIPAL COURTHOUSE RENOVATION | ruhlin |
|---------------|---|--|
| NUMB | ER DESCRIPTION | DATE / ISSUED |
| GENERAL | | |
| G-000 | COVER SHEET | 02/28/25 |
| G-001 | GENERAL INFO, DRAWING INDEX & CODE DATA | 02/28/25 |
| G-101 | FIRST AND SECOND FLOOR CODE PLANS | 02/28/25 |
| G-102 | THIRD FLOOR CODE PLAN AND DETAILS | 02/28/25 |
| CIVIL | | ************************************** |
| C-100 | SITE DEMOLITION PLAN | 02/28/25 |
| C-101 | SITE UTILITY PLAN | 02/28/25 |
| LANDSCAPE | | 82900 F 93900 F 938600 |
| L-101 | LANDSCAPE PLANTING PLAN | 02/28/25 |
| STRUCTURAL | , | ,, |
| S-001 | GENERAL NOTES | 02/28/25 |
| S-002 | GENERAL NOTES | 02/28/25 |
| S-101 | FOUNDATION PLAN | 02/28/25 |
| S-102 | SECOND FLOOR FRAMING PLAN | 02/28/25 |
| S-103 | THIRD FLOOR FRAMING PLAN | 02/28/25 |
| S-104 | ROOF FRAMING PLAN | 02/28/25 |
| S-105 | PENTHOUSE FRAMING PLAN | 02/28/25 |
| S-301 | SECTIONS | 02/28/25 |
| S-302 | SECTIONS | 02/28/25 |
| S-310 | TYPICAL FOUNDATION DETAILS | 02/28/25 |
| S-320 | TYPICAL CONCRETE DETAILS | 02/28/25 |
| S-330 | TYPICAL MASONRY DETAILS | 02/28/25 |
| S-340 | TYPICAL STEEL DETAILS | 02/28/25 |
| ARCHITECTURAL | | * |
| A-002 | WALL TYPES | 02/28/25 |
| A-101 | FIRST FLOOR PLAN | 02/28/25 |
| A-101A | MEDINA CO. CH FIRST FLOOR LIMITED CONSTRUCTION PLAN | 02/28/25 |
| A-102 | FIRST FLOOR DIMENSION PLAN | 02/28/25 |
| A-103 | SECOND FLOOR PLAN | 02/28/25 |
| A-104 | SECOND FLOOR DIMENSION PLAN | 02/28/25 |
| A-105 | THIRD FLOOR PLAN | 02/28/25 |
| A-106 | THIRD FLOOR DIMENSION PLAN | 02/28/25 |
| A-107 | ROOF / PENTHOUSE PLAN | 02/28/25 |
| A-110 | MEDINA CO. CH FIRST FLOOR RCP LIMITED CONSTRUCTION PLAN | 02/28/25 |
| A-111 | FIRST FLOOR REFLECTED CEILING PLAN | 02/28/25 |
| A-112 | SECOND FLOOR REFLECTED CEILING PLAN | 02/28/25 |
| A-113 | THIRD FLOOR REFLECTED CEILING PLAN | 02/28/25 |
| A-201 | EXTERIOR ELEVATIONS | 02/28/25 |
| A-202 | EXTERIOR ELEVATIONS | 02/28/25 |
| A-301 | BUILDING SECTIONS | 02/28/25 |
| A-302 | BUILDING SECTIONS | 02/28/25 |
| A-311 | WALL SECTIONS | 02/28/25 |
| A-312 | WALL SECTIONS | 02/28/25 |
| A-401 | ENLARGED COURTROOM PLANS AND DETAILS | 02/28/25 |
| A-403 | ENLARGED TOILET PLANS AND DETAILS | 02/28/25 |
| A-404 | TOILET ELEVATIONS | 02/28/25 |
| A-405 | TOILET ELEVATIONS | 02/28/25 |
| A-406 | ORIGINAL ENTRACE / MAGISTRATE OFFICE, CLERK WINDOWS | 02/28/25 |
| A-501 | PLAN DETAILS | 02/28/25 |
| A-502 | SECTION DETAILS | 02/28/25 |
| A-601 | DOOR SCHEDULE | 02/28/25 |
| A-602 | DOOR TYPES & DETAILS | 02/28/25 |

100% CONSTRUCTION DOCUMENTS GMP 3

PROJECT: MEDINA MUNICIPAL COURTHOUSE RENOVATION

| NUMBER | DESCRIPTION | DATE / ISSUEI |
|-----------------|--|---------------|
| GENERAL | | |
| G-000 | COVER SHEET | 02/28/25 |
| G-001 | GENERAL INFO, DRAWING INDEX & CODE DATA | 02/28/25 |
| . A-603 | DOOR DETAILS | 02/28/25 |
| A-606 | WINDOW TYPES & DETAILS | 02/28/25 |
| A-701 | CASEWORK & MILLWORK DETAILS | 02/28/25 |
| A-801 | IN-CUSTODY ELEVATOR PLANS AND DETAILS | 02/28/25 |
| A-802 | STAFF AND PUBLIC ELEVATOR PLANS AND DETAILS | 02/28/25 |
| A-901 | FIRST FLOOR SIGNAGE PLAN | 02/28/25 |
| A-902 | SECOND FLOOR SIGNAGE PLAN | 02/28/25 |
| A-903 | THIRD FLOOR SIGNAGE PLAN | 02/28/25 |
| A-904 | SIGNAGE TYPES | 02/28/25 |
| A-905 | INTERIOR SIGNAGE ELEVATIONS AND DETAILS | 02/28/25 |
| FIRE PROTECTION | | |
| FP-001 | FIRE PROTECTION SYMBOL LEGEND AND NOTES | 02/28/25 |
| FP-101 | FIRST FLOOR FIRE PROTECTION PLAN | 02/28/25 |
| FP-102 | SECOND FLOOR FIRE PROTECTION PLAN | 02/28/25 |
| FP-103 | THIRD FLOOR FIRE PROTECTION PLAN | 02/28/25 |
| FP-104 | ROOF FIRE PROTECTION PLAN | 02/28/25 |
| PLUMBING | | |
| P-001 | PLUMBING SYMBOL LEGAND AND NOTES | 02/28/25 |
| P-100 | UNDERSLAB PLUMBING PLAN | 02/28/25 |
| P-101 | FIRST FLOOR SANITARY, STORM AND VENT PLAN | 02/28/25 |
| P-102 | SECOND FLOOR SANITARY, STORM AND VENT PLAN | 02/28/25 |
| P-103 | THIRD FLOOR SANITARY, STORM AND VENT PLAN | 02/28/25 |
| P-104 | PENTHOUSE/ROOF SANITARY, STORM AND VENT PLAN | 02/28/25 |
| P-201 | FIRST FLOOR DOMESTIC WATER AND GAS PLAN | 02/28/25 |
| P-202 | SECOND FLOOR DOMESTIC WATER PLAN | 02/28/25 |
| P-203 | THIRD FLOOR DOMESTIC WATER PLAN | 02/28/25 |
| P-401 | ENLARGED PLUMBING PLANS | 02/28/25 |
| P-402 | ENLARGED RESTROOM PLUMBING PLANS | 02/28/25 |
| P-403 | ENLARGED RESTROOM PLUMBING PLANS | 02/28/25 |
| P-501 | PLUMBING DETAILS | 02/28/25 |
| P-701 | PLUMBING SCHEDULES | 02/28/25 |
| P-901 | PLUMBING ISOMETRICS | 02/28/25 |
| MECHANICAL | | |
| M-001 | MECHANICAL SYMBOL LEGENDS AND NOTES | 02/28/25 |
| M-101 | FIRST FLOOR MECHANICAL PLAN | 02/28/25 |
| M-102 | SECOND FLOOR MECHANICAL PLAN | 02/28/25 |
| M-103 | THIRD FLOOR MECHANICAL PLAN | 02/28/25 |
| M-104 | PENTHOUSE/ROOF MECHANICAL PLAN | 02/28/25 |
| M-201 | FIRST FLOOR MECHANICAL PIPING PLAN | 02/28/25 |
| M-202 | SECOND FLOOR MECHNICAL PIPING PLAN | 02/28/25 |
| M-203 | THIRD FLOOR MECHNICAL PIPING PLAN | 02/28/25 |
| M-204 | PENTHOUSE MECHANICAL PIPING PLAN | 02/28/25 |
| M-301 | MECHANICAL SECTION PLANS | 02/28/25 |
| M-401 | ENLARGED MECHANICAL PLANS | 02/28/25 |
| M-501 | MECHANICAL DETAILS | 02/28/25 |
| M-502 | MECHANICAL DETAILS | 02/28/25 |
| M-601 | MECHANICAL CONTROLS MECHANICAL CONTROLS | 02/28/25 |
| M-602 | MECHANICAL CONTROLS MECHANICAL CONTROLS | 02/28/25 |
| M-701 | MECHANICAL CONTROLS MECHANICAL SCHEDULES | 02/28/25 |
| ELECTRICAL | THE GIVEN ON E SCHEDULES | 02,20,23 |
| E-001 | ELECTRICAL SYMBOL LEGEND | 02/28/25 |
| E-001 | ELECTRICAL STRIBOL LEGENO | 02/20/23 |

100% CONSTRUCTION DOCUMENTS GMP 3

PROJECT: MEDINA MUNICIPAL COURTHOUSE RENOVATION

| NUMBER DESCRIPTION | | DATE / ISSUED |
|--------------------|--|----------------------|
| | DESCRIPTION | DATE / 133025 |
| GENERAL G-000 | COVER SHEET | 02/28/25 |
| G-000 | | 02/28/25 |
| E-002 | GENERAL INFO, DRAWING INDEX & CODE DATA ELECTRICAL GENERAL NOTES | . 02/28/25 |
| E-101 | FIRST FLOOR LIGHTING PLAN | |
| | | 02/28/25 02/28/25 |
| E-102 E-103 | SECOND FLOOR LIGHTING PLAN THIRD FLOOR LIGHTING PLAN | 02/28/25 |
| | ROOF LIGHTING PLAN | |
| E-104 E-200 | OVERALL BUILDING POWER PLAN | 02/28/25 02/28/25 |
| | | 02/28/25 |
| E-201 | FIRST FLOOR POWER PLAN | |
| E-202 | SECOND FLOOR POWER PLAN | 02/28/25 |
| E-203 | THIRD FLOOR POWER PLAN | 02/28/25 |
| E-204 | ROOF POWER PLAN | 02/28/25 |
| E-300 | FIRE ALARM NOTES, LEGEND AND DETAILS | 02/28/25 |
| E-301 | FIRST FLOOR FIRE ALARM PLAN | 02/28/25 |
| E-302 | SECOND FLOOR FIRE ALARM PLAN | 02/28/25 |
| E-303 | THIRD FLOOR FIRE ALARM PLAN | 02/28/25 |
| E-304 | ROOF FIRE ALARM PLAN | 02/28/25 |
| E-305 | FIRE ALARM RISER AND SEQUENCE OF OPERATIONS | 02/28/25 |
| E-401 | ENLARGED ELECTRICAL PLANS | 02/28/25 |
| E-501 | LIGHTING CONTROL DETAILS | 02/28/25 |
| E-511 | POWER DETAILS AND DIAGRAMS | 02/28/25 |
| E-601 | ELECTRICAL ONE LINE DIAGRAM - NORMAL NEW WORK | 02/28/25 |
| E-602 | ELECTRICAL ONE LINE DIAGRAM - EMERG. NEW WORK | 02/28/25 |
| E-701 | LUMINAIRE SCHEDULE | 02/28/25 |
| E-711 | ELECTRICAL PANEL SCHEDULES | 02/28/25 |
| E-712 | ELECTRICAL PANEL SCHEDULES | 02/28/25 |
| E-713 | ELECTRICAL PANEL SCHEDULES | 02/28/25 |
| TECHNOLOGY | TERMINAL AND AND A FORMS AND MATER | 00/00/05 |
| T-001 | TECHNOLOGY SYMBOL LEGEND AND NOTES | 02/28/25 |
| T-100 | OVERALL BUILDING PATHWAYS AND SPACES PLAN | 02/28/25 |
| T-201 | FIRST FLOOR TECHNOLOGY PLAN | 02/28/25 |
| T-202 | SECOND FLOOR TECHNOLOGY PLAN | 02/28/25 |
| T-203 | THIRD FLOOR TECHNOLOGY PLAN | 02/28/25 |
| T-401 | TECHNOLOGY ENLARGED PLANS | 02/28/25 |
| T-501 | TECHNOLOGY DETAILS | 02/28/25 |
| T-502 | TECHNOLOGY DETAILS | 02/28/25 |
| T-601 | TECHNOLOGY RISER DIAGRAMS | 02/28/25 |
| T-602 | TECHNOLOGY RISER DIAGRAMS | 02/28/25 |
| T-603 | TECHNOLOGY RISER DIAGRAMS | 02/28/25 |
| T-604 | TECHNOLOGY RISER DIAGRAMS | 02/28/25 |
| T-605 | TECHNOLOGY RISER DIAGRAMS | 02/28/25 |
| T-606 | TECHNOLOGY RISER DIAGRAMS | 02/28/25 |
| T-607 | TECHNOLOGY RISER DIAGRAMS | 02/28/25 |

100% CONSTRUCTION DOCUMENTS GMP 3

PROJECT: MEDINA MUNICIPAL COURTHOUSE RENOVATION

SPEC. NO. DESCRIPTION DATE

February 2025

DIVISION 01 - SPECIFICATIONS - not provided DIVISION 03 - CONCRETE - not provided DIVISION 04 - MASONRY 042000 Unit Masonry

DIVISION 05 - METALS 054000 Cold-Form Metal Framing February 2025 055000 Metal Fabrications February 2025

DIVISION 06 - WOODS, PLASTICS, AND COMPOSITES

February 2025 061600 Sheathing 064023 Interior Architectural Woodwork February 2025 064116 Plastic-Laminate-Clad Architectural Cabinets February 2025 064216 Flush Wood Paneling February 2025 Architectural Fiberglass Column Covers 066100 February 2025 066400 **Plastic Paneling** February 2025

DIVISION 07 - THERMAL AND MOISTURE CONTROL February 2025 071416 Cold Fluid Applied Waterproofing 072100 Thermal Insulation February 2025

078413 Pentrated Firestopping February 2025 078200 **Joint Sealants** February 2025

DIVISION 08 - OPENINGS

Hollow Metal Doors and Frames 081113 February 2025 Flush Wood Doors February 2025 081416 085200 **Wood Windows** February 2025

088000 Glazing

DIVISION 09 - FINISHES

092900 Gypsum Board February 2025 Floor Transitions February 2025 093005 093013 Tiling February 2025 February 2025 095123 **Acoustical Tile Ceilings** 096513 Resilient Base & Accessories February 2025 096519 **Resilient Tile Flooring** February 2025 096813 **Tile Carpeting** February 2025 099123 Interior Painting February 2025 February 2025 099300 Staining and Transparent Finishing

DIVISION 10 - SPECIALTIES

101400 Signage February 2025 102113.17 **Phenolic- Core Toilet Compartments** February 2025 February 2025 102800 Toilet, Bath & Laundry Accessories 104413 Fire Extinguisher Cabinets February 2025 Fire Extinguisher February 2025 104416

DIVISION 11 - EQUIPMENT

February 2025 111900 **Detention Equipment**

DIVISION 12 - FURNISHINGS

122413 Roller Window Shades February 2025 **Solid Surfacing Countertops** February 2025 123661.16

DIVISION 13 - SPECIAL CONSTRUCTION

130700 **Bullet Resistant Fiberglass** February 2025

DIVISION 14 - CONVEYING EQUIPMENT

142123.16 Machine Room-less Electric Traction Passenger Elevators February 2025

DIVISION 21 - FIRE SUPPRESSION

260101 Electrical Demolition

| 100% CONSTRUCTION I | | |
|--------------------------|---|---------------|
| PROJECT: MEDINA MUNIC | ruhlin | |
| SPEC. NO. | DESCRIPTION | DATE |
| 210500 | Common Work Results for Fire Suppression | February 2025 |
| 211313 | Wet-Pipe Sprinkler System | February 2025 |
| 211316 | Dry-Pipe Sprinkler System | February 2025 |
| DIVISION 22 - PLUMBING | | |
| 220500 | Common Work Results for Plumbing | February 2025 |
| 230513 | Common Motor Requirements for Plumbing Equipment | February 2025 |
| 220519 | Meters and Gages for Plumbing Piping | February 2025 |
| 220523 | General Duty Valves for Plumbing Piping | February 2025 |
| 220529 | Hangers and Supports for Plumbing | February 2025 |
| 220553 | Indentification for Plumbing Piping and Equipment | February 2025 |
| 220700 | Plumbing Isolation | February 2025 |
| 221116 | Domestic Water Piping | February 2025 |
| 221123 | Domestic Water Pumps | February 2025 |
| 221316 | Sanitary Waste and Vent Piping | February 2025 |
| 221319 | Sanitary Waste Piping Specialties | February 2025 |
| 221429 | Sump Pumps | February 2025 |
| 221616 | Natural Gas Piping | February 2025 |
| 223400 | Fuel-Fired, Domestic Water Heaters | February 2025 |
| 224000 | Plumbing Fixtures | February 2025 |
| 224700 | Water Coolers | February 2025 |
| | ENTILATING, AND AIR CONDITIONING | |
| 230500 | Common Work Results for HVAC | February 2025 |
| 230513 | Common Motor Requirements for Plumbing Equipment | February 2025 |
| 230514 | Variable Frequency Motor Controllers | February 2025 |
| 230516 | Expansion Fittings and Loops for HVAC Piping | February 2025 |
| 230519 | Meters and Gages for HVAC | February 2025 |
| 230523 | General-Duty Valves for HVAC | February 2025 |
| 230529 | Hangers and Supports for HVAC | February 2025 |
| 230548 | Vibration Controls for HVAC | February 2025 |
| 230553 | Indentification for HVAC | February 2025 |
| 230593 | Testing, Adjusting, and Balancing | February 2025 |
| 230700 | HVAC Insulation | February 2025 |
| 230923 | Direct Digital Control Systems for HVAC | February 2025 |
| 232113 | Hydronic Piping | February 2025 |
| 232123 | Hydronic Pumps | February 2025 |
| 232300 | Refrigerant Piping | February 2025 |
| 232500 | HVAC Water Treatment | February 2025 |
| 233113 | Metal Ducts | February 2025 |
| 233300 | Air Duct Accessories | February 2025 |
| 233423 | HVAC Power Ventilators | February 2025 |
| 233600 | Air Terminal Units | February 2025 |
| 233713 | Diffusers, Registers & Grilles | February 2025 |
| 235216 | Condensing Boileres | February 2025 |
| 236200 | Condensing Units | February 2025 |
| 237313 | Modular Indoor Air-Handling Units | February 2025 |
| 238126 | Split-System Air-Conditioners | February 2025 |
| 238239 | Unit Heaters | February 2025 |
| | D AUTOMATION - not provided | |
| DIVISION 26 - ELECTRICAL | Sharatad Daniel Nico | Fabruary 2025 |

February 2025

100% CONSTRUCTION DOCUMENTS GMP 3

PROJECT: MEDINA MUNICIPAL COURTHOUSE RENOVATION



| 9 | SPEC. NO. | DESCRIPTION | DATE |
|------------|--------------------|--|---------------|
| | 260126 | Testing of Electrical Systems | February 2025 |
| 2 | 260500 | Common Work Results for Electrical | February 2025 |
| | 260519 | Low-Voltage Electrical Power Conductors and Cables | February 2025 |
| • | 260523 | Control-Voltage Electrical Power Cables | February 2025 |
| | 260526 | Grounding and Bonding for Electrical Systems | February 2025 |
| - 2 | 260529 | Hangers and Supports for Electrical Systems | February 2025 |
| 7 | 260533 | Raceways and Boxes for Electrical Systems | February 2025 |
| 2 | 260543 | Underground Ducts and Raceways for Electrical Systems | February 2025 |
| 2 | 260544 | Sleeves and Sleeve Seals for Electrical Raceways and Cabling | February 2025 |
| 7 | 260553 | Indentification for Electrical Systems | February 2025 |
| 7 | 260573 | Electrical Systems Studies | February 2025 |
| 2 | 260923 | Lighting Control Devices | February 2025 |
| 2 | 262200 | Low-Voltage Transformers | February 2025 |
| 2 | 262416 | Panelboards | February 2025 |
| 2 | 262726 | Wiring Devices | February 2025 |
| 2 | 262813 | Fuses | February 2025 |
| 2 | 262816 | Enclosed Switches and Circuit Breakers | February 2025 |
| 2 | 262913 | Enclosed Controllers | February 2025 |
| 2 | 264113 | Lighting Protection for Structures | February 2025 |
| 7 | 264313 | Surge Protecting Devices | February 2025 |
| 2 | 265100 | Interior Lighting | February 2025 |
| 2 | 265600 | Exterior Lighting | February 2025 |
| | | ATIONS - not provided | |
| DIVISION : | 28 - ELECTRONIC | SAFETY AND SECURITY - not provided | |
| DIVISION | 31 - EARTHWORK | C - not provided | |
| DIVISION | 32 - EXTERIOR IN | 1PROVEMENTS - not provided | |
| | 329200 | Turf & Grasses | February 2025 |
| | | Plants | February 2025 |
| DIVISION | 33 - UTILITIES - n | ot provided | |

EXHIBIT D - ASSUMPTIONS & CLARIFICATIONS



General Assumptions / Clarifications

- The GMP is based upon the terms and conditions of these Assumptions and Clarifications. These
 assumptions and clarifications shall be read in the context of the other Contract Documents and
 shall be interpreted to be consistent with other Contract Documents, if possible, but these
 clarifications and assumptions take precedence over any other Contract Documents in the event of a
 clear and irreconcilable conflict.
- 2. It is assumed the Contract Documents issued by Brandstetter Carroll, Inc. comply with all applicable laws, codes (including the latest City, State, or Federal Approved Building Codes), and regulations of various governmental entities having jurisdiction over this project. The GMP excludes the cost of correcting any code violations or requests from building inspectors should they be encountered during construction, unless detailed in the contract documents.
- GMP schedule is based on Medina City Council providing Ruhlin with approval on GMP #3 on or before April 30, 2025.
- 4. Applicable performance and payment bonds and Builder's Risk Insurance costs are included on the GMP as being provided by The Ruhlin Company.
- 5. The GMP is based on the Project Schedule with Date of April 7, 2025 and attached as Exhibit E to the GMP Amendment. The schedule is a baseline project schedule. Modifications and refinement to this schedule will be made based on Owner, Architect and Subcontractor coordination. Any work performed or contracted directly by the Owner, will be coordinated with Ruhlin in sufficient time to avoid impacting the overall Construction Progress Schedule or affecting specific Subcontract activities.
- 6. The GMP is based upon receiving all document deliverables from the Owner and Architect per the Project Schedule. A/E review period of Submittals shall not exceed (14) calendar days, A/E response time to Requests for Information shall not exceed (7) calendar days. Change Order pricing, change order proposal reviews and other deliverables that may have schedule implications; critical items requiring compressed review timeframes, will be identified on the submittal register and discussed during the weekly project team meetings.
- 7. The GMP is based on cooperation of the City of Medina Building Department, EPA and other AHJ's to allow continuation of the Work per the Project Schedule. Any impacts to the Project Schedule associated with the aforementioned entities may require time extensions and will be addressed on a case-by-case basis.
- Ruhlin reserves the right to optimize the sequence of construction at any time. This may include rearranging construction activities, adjustment of activity durations, and any other changes which will not affect the final delivery dates.



- 9. The GMP assumes that design changes will not be allowed on shop drawings/submittals or RFI responses without also issuing a Bulletin to the GMP basis documents. This is required so that all trade contractors are also made aware of the design changes that may impact on their work. In addition, this will ensure final design documents include subsequent design revisions for Medina City's records.
- 10. This GMP is based on all specified equipment and materials fitting within the dimensioned spaces identified on the documents, including all required tolerances and clearances.
- 11. The following items are to be provided by Owner and/or A/E:
 - a. CAD files, Drawings and Specifications in electronic format suitable for distribution at no cost.
 - b. All project related Professional Services, including environmental testing, third party Commissioning, air sampling for LEED, Special Inspections and Testing Services (soils, concrete, steel, masonry, curtain wall, fireproofing, Fire stopping, chamber testing, roofing, etc.).
 - c. Plan review fees, permitting and inspection costs.
 - d. All site, SWPPP, grading, building permit fees.
 - e. Utility tap, inspection fees, and capacity fees.
- 12. No shift work or overtime has been included based on the Project Schedule.
- 13. In the event, The Ruhlin Company needs to perform additional work to recover days, the following guidelines will be utilized for CMr Contingency:
 - Hours performed by the contractor greater than 40 cumulative hours for the week shall be considered overtime hours.
 - b. Hours worked by the contractor on a Saturday, regardless of total accumulated hours from the given work week are considered overtime hours.
- 14. All extended Subcontractor and Manufacturer warranties shall be "pass- through" warranties from the appropriate party; extended warranties by Ruhlin are not included in the GMP.
- 15. All contract and project documentation between the CM and the Owner will be electronically delivered. This includes all closeout documents, as-builts, O&M manuals, warranties, etc.
- 16. GMP is per the stated scope of work. However, this and any future GMP's will be cumulative, not mutually exclusive. The costs associated with items such as staffing, GC's, General Requirements, Contingency, etc. for the current GMP can be used in future GMP's. For example, contingency identified in this GMP can be utilized for items covered under future GMP Scope of Work.
- 17. All costs associated with Winter Weather Conditions, to include but not limited to: temporary heaters, fuel, admixtures, accelerators, hot water, blankets, tarps shall be covered under an allowance within GMP.
- 18. If add alternates are selected after the GMP approval, the completion date for the project will be reviewed on a case-by-case basis as some alternates could impact the schedule. All costs for alternates not accepted at the time of the GMP submission will need to be reevaluated after GMP approval if accepted.
- 19. The GMP Proposal pricing is based on the understanding that the entire project is sales tax-exempt as allowable under Ohio Revised Code and per Owner-issued certificate.



20. All loose furnishings or other items the Owner wants to salvage from the building shall be completed no later than February 25, 2025.

General Exclusions

- 1. Costs for any additional requirements, taxes, tariffs, or fees imposed under any statute, becoming effective after the date of the GMP Amendment.
- The GMP does not assume any responsibility for the current conditions or integrity of the existing storm, sanitary, water, gas, or other existing utilities within or adjacent to the project.
- The GMP does not include unforeseen impacts that may result from the COVID-19 or similar Coronavirus pandemic-like scenarios. We will take steps to minimize the cost or schedule impacts. This could include material lead times increasing, specific items becoming unavailable, availability of labor forces or other unknown impacts.
- 4. The GMP assumes that all items outside of the proposed work are code compliant. We do not include work to correct any deficiencies on site or in the existing structures beyond what has been identified in the basis documents of this GMP.
- Private utility locating services are excluded. Ruhlin will contact OUPS to locate the existing
 utilities. Relocation, repairs or replacement of existing unidentified or unknown underground
 utilities, not shown to be performed within the basis documents, will be performed as change
 order work.
- 6. The GMP assumes the cost to eliminate any underground obstructions present on the site as unforeseen conditions, to be paid by the Owner.
- No mock-ups are included in the GMP. Mock-up design drawings are to be prepared and provided by the Brandstetter Carroll, Inc. Change order pricing will be prepared for review/approval once mock-ups are identified.
- 8. No Pre-Construction Testing has been included in the GMP. Brandstetter Carroll, Inc. is to generate a list of desired systems that require pre-construction tests, with associated ASTM, ANSI, SMACNA, etc., industry standard and references.
- 9. Photographic Documentation of the Work is excluded.
- 10. Dumpsters for any Owner vendors and furnishings, fixtures and equipment.
- 11. The cost of the building permit is not included. It is assumed that any required demo and building permits will be in place to allow for the start of construction per the schedule. Contractor registration is required by City of Medina building department and has been included.



GMP #3 Clarifications.

- Concrete walk removal and replacement at front of building is not called out in plans or specifications. GMP #3 includes removal of existing concrete sidewalk areas and replacement of approximately 2,900 sf of 4" concrete on granular base with mesh. No added coloring or special finishing is included.
- 2. No wood trim is shown to be replaced at upper areas of building exterior. An allowance of \$1,500 is recommended for labor & material to replace any deteriorated wood trim.
- 3. Existing sandstone pieces at sides of front steps are pushed out and in need of tuckpointing and resetting. An allowance of \$5,000 is recommended for labor & material to reset the sandstone and tuckpoint the joints.
- 4. Existing railing at the front steps is corroded and showing wear. An allowance of \$5,000 is recommended for labor & material to repair or replace the railing.
- 5. HVAC drawings show 8 locations at ground floor and 2 at penthouse where new louvers or duct penetrations are to be cut into block walls. An allowance of \$20,000 is included in the HVAC scope for sawcutting, demolition, lintels and masonry repairs.
- 6. GMP #3 pricing includes single crane mobilization to rig existing demolition materials down and set new HVAC equipment on the roof. This crane mobilization will be planned with City of Medina well in advance and carefully coordinated to minimize traffic impacts by starting at 6am but weekend/overtime work was not accounted for.
- 7. GMP #3 base pricing includes standard floor preparation for installing carpet & floor tile. Minor floor preparation and skim coating is assumed in subcontractor quote but much more floor leveling and surface preparation will be required to level various floors, infill demolished wall areas and old imprefections. An allowance of \$50,000 is recommended for labor and material for added floor preparation, which is just under \$2/sf. Ruhlin would carry this allowance separately for tracking outside the flooring contract.
- Existing ceiling in law library is shown to remain but will need to be taken down to install new sprinkler lines and run plumbing above. An allowance of \$16,000 is recommended for labor & material to replace ceilings in this area with new (1,400 sf x \$12/sf).
- 9. Project plans indicate clock at penthouse is to be repaired. Currently no scope or manufacturer is available to quote repair or replacement. Allowance of \$2,500 is recommended for this work.
- 10. RFI #21 regarding existing plywood subfloor in deteriorated condition at north restrooms on 2nd & 3rd floor. Existing conditions will likely require the subfloor to be removed and replaced with new layers of subflooring. These costs are not in any bid package currently. An allowance of \$25,000 is recommended for this work.
- 11. RFI #25 regarding existing wall finishes to remain at perimeter walls on 2nd and 3rd floors. Existing conditions will likely require the finishes to be taken down to the block wall, then framed, insulated and new drywall hung and finished. An allowance of \$25,000 for patching the existing walls is currently in the carpentry package. An allowance of \$100,000 to completely remove the existing finishes, then reframe, insulate, hang and finish new drywall is recommended for this work.
- RFI 28 regarding dimensions for concrete pads in mechanical room. No dimensions are shown. Concrete contractor is carrying 5 separate pads, 10'x10' in his pricing. Additional pads or dimensions are not included.



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13. At bid time, the Audio/Video specifications were not clear enough to get complete bidding. An allowance of \$320,000 is recommended for this work.





EXHIBIT E – CONSTRUCTION SCHEDULE

MEDINA MUNICIPAL COURTHOUSE

GMP AMENDMENT #3

Sitework, Carpentry, Finishes, Mechanical, Electrical, Plumbing, Technology

The Construction Progress Schedule includes anticipated and projected Finish Milestone dates at this time. The dates and time periods pertinent to this GMP Amendt #3:

| • | Ruhlin to Deliver GMP to Medina City CouncilApril 7, 2025 |
|---|---|
| • | Medina City Council to sign GMP, NTPApril 29, 2025 |
| • | Begin wall layout for metal stud framingJuly 3, 2025 |
| • | Begin hanging drywall for interior wall partitionsAugust 29, 2025 |
| • | Elevator inspection for temporary useNovember 25, 2025 |
| • | Substantial CompletionMarch 13, 2026 |



| Medina Medina Medina Medina Adivivio | | | | | _ | | | | | | | | | (|
|--|--|----------|-----------------|---|----------|-----------------------|-------------|--------------------------|---|--|-----------------|---------------------------------|------------|------------|
| O | | | | | | | ruhlin | | | MEDINA MUNICIPAL COURTHOUSE GMP #3 Schedule Updated April 7, 2025 | NICIPA | AL COUP pdated Ap | ril 7, 20 | 75L 25 |
| | Activity Name | Original | maining | Original maining Schedule % Start Complete | <u> </u> | Finish To | fotal Float | | 5 June 2025 July 2025 A S | 0 | ٥ | u. | M | April 2026 |
| Jedina Munic | Medina Municipal Courthouse Renovation | 361 | Duration 257 | 0% 31-Oct-24 | 4 | 13-Apr-26 | 0 | 0 0 1 2 3 | 3 0 1 2 2 0 1 1 2 0 0 1 2 2 0 1 2 2 0 1 1 2 3 0 1 2 2 0 | 01120012 | 301220 | 2001230122011120011200112201112 | 00122 | - |
| Milestone Dates | tes | 0 | 0 | %0 | | | 0 | | | | | | | Med |
| Planning & Design | esign | 114 | 0 | 0% 31-0d-24 A | | 18-Apr-25 | 247 | T | Planning & Design | | | | ••••• | |
| A1030 BC | BCI Deliver Design Development Docs (DDs) | 0 | 0 | 100% 01-Nov-24 | +24A | | | | | | | | | |
| | TRC Prepare DD Estimate & Design Review | 15 | 0 | 100% 04-Nov-24 | 4 | 22-Nov-24 | Š | teview | | | | | | |
| A1060 BC | BCI Prepare 100% CDs | 12 | 0 | 100% 06-Jan-25 A | 1 | 28-Feb-25 | :8 | BCI Prepare 100% CDs | 0% CDs | | | | | i |
| | BCI Prepare Bulletin #01 | 2 | 0 | 100% 03-Mar-25 | | 14-Mar-25 | | Bdi Pn | BQI Propare Bulletin #01 | •••• | | | •••• | |
| | Project Kickoff Mtg | 0 | 0 | 100% 31-04-24 | 4 | | | | | | •••• | | •••• | |
| | Building Dept Plan Review | 10 | 5 | 100% 03-Apr-25, | 4 | 18-Apr-25 | 247 | V | Building Dept Plan Review | | •••• | | | |
| | Building Permit Approved | 0 | 0 | %0 | 18 | 18-Apr-25 | 247 | / | Building Permit Approved: | | •••• | | | |
| | Value Engineering (if necessary) | 2 | 0 | 100% 22-Nov-24 | < | 12-Dec-24 | 8 | | | | | | | į |
| | BCI Prepare 75% Construction Documents (CDs) | 36 | 0 | 100% 04-Nov-24 | 4 | 20-Dec-24 | tion | Document L | nts (CDs); | | | | | |
| | BCI Deliver 75% CDs | 0 | 0 | 100% | | 20-Dec-24 | | ••• | | | | | | |
| | Medina Review 75% CDs & Feedback | \$ | 0 | 100% 23-Dec-24 | ∢ | 30-Dec-24 | õ | Ds & Feedback | | •••• | | | | |
| | TRC Prepare 75% CD Estimate & Design Review | 9 | 0 | 100% 03-Feb-25 | 4 | 14-Feb-25 | δ: | pare 75% | Prepare 75% CD Estimate & Design Review | | | | •••• | |
| A1656 MA | Modifier Countries in the American Countries C | 9 | 0 | 100% 13-Feb-25 | 4 | 14-Feb-25 | 8 | 341 75 % | & BCI 75 % 2D Estimate Reconcile | | | | | |
| | Medina City Council Approve Budget & Scope | 3 0 | 0 | 100% | < | 09-Dec-24 | 7 3 | | interest & Course | | •••• | | | |
| Bidding & GN | Bidding & GMP Development | 112 | 26 | 0% 20-Nov-24 | A | 12-May-25 | 22.1 | | | | | | | |
| Abatement & f | Abstement & Demo/Shorlon GMP 4 | 1 7 | | 06 70 No. | | Cab Of | 100 | | | •••• | ••• | | | |
| G1010 TR | TRC Develop Bid Documents | | 0 | 400% 20-Nov-24 | < < | 18-rep-25 | tei | tement & Der | mo/Shoring GMP 1 | | ; | | | |
| | Bidding Period & Scope Review Mtos | , 4 | 0 | 100% 25 Nov 24 | | 22-NOV-24 | Ī | | | | | | | |
| | Bid Adlustments | 5 % | 0 0 | 100% 11 Dec 24 | | 10-066-24 | 2 | M M | | | | | | |
| | TRC Prepare GMP | 0 1 | 0 | 100% 09-Dec-24 | ٠ ٩ | 13-06-25 06-lan-25 | | | | | | | •••• | |
| G1045 TR | TRC Deliver GMP1 for Council Review | 0 | 0 | 100% | | 06-Jan-25 | , o | or Council Review | | | •••• | | •••• | |
| G1050 Me | Medina Sign GMP (NTP) | 20 | 0 | 100% 14-Jan-25/ | | 13-Feb-25 | . ac | a Sign GMP (NTP) | <u>[2</u> | | | | <u>i</u> . | |
| G1060 GN | GMP 1 - Subcontract Awards | 7 | 0 | 100% 14-Feb-25. | 4 | 18-Feb-25 | 4 | P 1 - Subcontract Awards | AAwards | | | | | |
| Structure and | Structure and Long-Lead GMP 2 | 32 | 0 | 0% 07-Jan-25 A | | 21-Mar-26 | | Struck | ▼ Structure and Long-Lead GMP 2 | | | | •••• | |
| | TRC Develop Bld Documents | \$ | 0 | 100% 07-Jan-25 A | j | 13~Jan-25 | ă | Documents | | | •••• | | •••• | |
| | Bidding Period & Scope Review Mtgs | 25 | 0 | 100% 09-Jan-25/ | _ | 05-Feb-2£ | Per | od & Scop | Period & Scope Review Migs | •••• | ••• | | | |
| | TRC Prepare GMP | 7 | 0 | 100% 04-Feb-25, | 4 | 10-Feb-25 | i de | are GMP | | | | | | |
| | TRC Deliver GMP2 for Council Review | 0 | 0 | 100% | | 10-Feb-25 | veliv | er GMP2 | eliver GMR2 for Council Review | | •••• | | | |
| | Medina Sign GMP2 (NTP) | = | 0 | 100% 10-Mar-25, | | 11-Mar-25 | T | Medina | Medina Sign GMP2 (NTP) | | •••• | | •••• | |
| A2012 GN | GMP 2 - Subcontract Awards | က | 0 | 100% 13-Mar-25.A | | 21-Mar-25 | 1. | - GW | GMP 2 - Subcontract Awards | | ••• | | •••• | |
| Ç. | ope GMP 3 | 43 | 56 | 0% 03-Mar-25 | 4 | 12-May-25 | 146 | | Remaining Scope GMP 3 | | | | •••• | |
| | IRC Develop Bid Documents | 80 | 0 | 100% 03-Mar-25, | d | 10-Mar-25 | | FIRC Do | RC Develop Bid Documents | | <u>;</u> | | | |
| A1160 Bid | Bidding Period & Scope Review Mtgs | 4 | 0 | 100% 11-Mar-25 / | | 28-Mar-25 | T | Ä | Bading Period & Scopel Review Mtgs | | | | | |
| | Medica Designation Common Company | v , | 0 ; | 40% 31-Mar-25 | 4 | 07-Apr-25 | i | | FRC Prepare GMP3 | | | | | |
| | Medica Council Meeting to Bedeud Approve CARDS | <u>0</u> | 2 0 | 0% 0/-Apr-25 | | 25-Apr-25 | 146 | 9 | Medina Review / Approve GMP3 (NTP) | | | | | |
| | GMP 3 - Subcontract Awards | 5 | 9 6 | 0% 29-Apr-25 | | 25-Apr-25 | 146 | | Medina Council Meeting to Review Approve GMP3 | | ; | | | |
| Submittals & I | Submittals & Material Procurement | 125 | 125 | 0% 19-Mar-25 | 4 | 01-Oct-25 | 132 | | Control Sanction | Submittale & Material Oncure | | | | |
| | | | | | I | | | | | מפווווומופ פ ואומופוומוי | iocal all lotte | | | |

011230122011 GMP3 Procurement 2 0 1 1 2 0 0 1 2 2 0 1 2 2 April 2025 | May 2025 | June 2025 | July 2025 ectrical Gear - Submittals & Review Pevator Pkg - Submittals & Review Total Float 87 77 156 87 01-Oct-25 07-Apr-25 07-Apr-25 19-Aug-25 13-Apr-26 22-Dec-25 27-Aug-25 22-0d-25 10-Jun-25 16-Jul-25 0% 13-May-25 0% 19-Mar-25 A 0% 07-Apr-25 0% 28-Mar-25 A 0% 05-Feb-25 A 0% 13-May-25 0% 07-Aug-25 0% 07-Apr-25 0% 02-Od-25 0% 24-0d-25 Original imaining Schedule % Start 95 95 Lead Time 24 weeks - 600AS & Distribution LD1C Electrical Gear - Submittals & Review Elevator Pkg - Lead Time - 14 weeks Elevator Pkg - Submittals & Review Install New Electric Service Exterior Improvements Window Replacement GMP3 Procurement Activity Name

Exhibit E

MEDINA MUNICIPAL COURTHOUSE 201011230112201112001120011220111 GMP #3 Schedule Updated April 7, 2025 Lead Time 24 weeks - 600AS & Distribution LQ1C Doors & Hardwar Drywall : Harlg & Finish MEP Rough Ins Elevator Pkg -: Lead Illme -: 14 v ■ Bécking & Rough damentry Motal Stud Wal Framing Pour Infills at Elevator 05 - Structural Seel Structural Steel Steel in Elevator Shaff Host Beams at Elevators Shed in Elevator She Remove Shoring for Column Pads 03 - Concrete Set Forms, Place Rebar
Form & Pour Peers, Column Pads, Elevator
Waterproof Pts & Walls Columns - 1st Floor Stip forms, backfill elevator pits Layout - All Floors 02 - Demolitic Excavate & Haul Spolls Mobilization - Concrete Crew Interior Demolition & Stab Remove install Shoring for Elevater Pits ng Work - Mesonry Comdor at File Storage Isolation;Work ner Relocațe Archives Make-Safe & Mobilize 196 76 196 165 9 16-Apr-25 23-Apr-25 30-Apr-25 21-May-25 14-Aug-25 21-Aug-25 28-Feb-25 35-Jun-25 18-Jun-25 21-Aug-25 18-Feb-25 26-Feb-25 16-Apr-25 4-May-25 11-Jun-25 0-Aug-25 5-Jun-25 4-Aug-25 6-Dec-25 11-Feb-25 01-Jul-25 31-Jul-25 23-0d-25 17-Jul-25 10-0d-25 17-0d-25 100% 05-Feb-25 A 100% 19-Feb-25A 100% 19-Feb-25A 100% 12-Feb-25 A 94.44% 26-Feb-25 A 10% 17-Mar-25 A 01-May-25 0% 15-May-25 0% 22-May-25 0% 15-Aug-25 29-Aug-25 0% 05-Feb-25 0% 24-Apr-25 0% 17-Apr-25 0% 26-Jun-25 06-Jun-25 0% 12-Jun-25 0% 12-Jun-25 0% 01-Aug-25 0% 21-Aug-25 10-Nov-25 0% 25-Jul-25 25-Jul-25 25-Jul-25 0% 03-Jul-25 18~Jul-25 %0 %0 %0 Milestone ▼ summary Enabling Work - Masonry Corridor at File Storage Critical Remaining Work Form & Pour Piers, Column Pads, Elevator Pit Remaining Work
Crtical Remaining Struc Steel Infills at Elevator Openings Interior Demolition & Slab Removal Remove Shoring for Column Pads Pour Infills at Elevator Openings Strip forms, backfill elevator pits Install Shoring for Elevator Pits Mobilization - Concrete Crew Make-Safe & Isolation Work Replace Columns - 1st Floor Blocking & Rough Carpentry Hoist Beams at Elevators Owner Relocate Archives Metal Stud Wal Framing Set Forms, Place Rebar Excavate & Haul Spoils Waterproof Pits & Walls Steel in Elevator Shafts Drywall - Hang & Finish Abatement Activities A1780 Elevator installations Doors & Hardware Layout - All Floors MEP Rough Ins Actual Level of Effort Construction Medina Actual Work 14 - Elevaric A3010 A1260 A1380 A1510 A1520 A1530 A3030 A3040 A3050 A3055 A5040 A1248 A1250 A3020 A3060 A5020 A7010 A5030 A7020 A7030 A7040 A7050 A9060 A1240 A1810 A1820 A1950 A1960 A1630 A1730 A2070 divity ID

MEDINA MUNICIPAL COURTHOUSE Fumit ▼ Com Final:Inspections
Punch List
Final Cleaning Substantial Cor **Exhibit E** GMP #3 Schedule Updated April 7, 2025 Security Devices & Programing Final Paint/Clearcoat Gelling Pads HVAC Grilles & Diffuser Flectical Devices ¢elling Grid Extentor Brick Infills Interior Block Walls Elevator Shafts Stock Block April 2025 May 2025 Page 3 of 3 ruhlin Total Float 30 0 50 50 0 5 9 8 8 160 20 23-Dec-25 23-Jan-26 06-Feb-26 23-Dec-25 20-Feb-26 05-Nov-25 13-Mar-26 06-Mar-26 20-Mar-26 30~Jan-26 16~Jan-26 16~Jan-26 30~Jan-26 14-Aug-25 21-Aug-25 13-Mar-26 07-Nov-25 18~Jun-25 10-Apr-26 24~Jul-25 0% 29-Sep-25 0% 10-Nov-25 0% 03-Dec-25 0% 10-Nov-25 0% 03-Dec-25 0% 24-Dec-25 0% 19-Jan-26 0% 26-Jan-26 0% 19-Jun-25 0% 25-Jul-25 0% 15-Aug-25 0% 23-Oct-25 0% 23-Oct-25 0% 09-Mar-26 0% 23-Mar-26 0% 13-Apr-26 0% 10-Nov-25 0% 17-Dec-25 0% 24-Dec-25 0% 12-Jun-25 0% 09-Mar-26 0% 23-Feb-26 Original smalning Schedule % Start
Complete Milestone
 summary Remaining Work
Critical Remaining Work Communications Equipment & Programming Prime & 1st Coat Paint/Staining Security Devices & Programing Elevator Cabs & Inspection HVAC Grilles & Diffusers Substantial Completion Final Paint/Clearcoat Casework & Millwork Interior Block Walls Exterior Brick Infills Electrical Devices Fumiture Delivery Final Inspections Flooring & Base Elevator Shafts Owner Move In Final Cleaning Floor Leveling Activity Name Ceiling Pads Celling Grid Stock Block Punch List Actual Level of Effort Medina A9110 A9120 C3010 C3020 C4010 C5010 A9065 A9070 A9080 A4020 A4030 A9040 A9045 A9050 A4040 A1420 A1900 C1005 Activity ID



EXHIBIT F – OWNER ALLOWANCES

MEDINA MUNICIPAL COURTHOUSE

GMP AMENDMENT #3

Sitework, Carpentry, Finishes, Mechanical, Electrical, Plumbing, Technology

Below is a list of ALLOWANCES included within this Guaranteed Maximum Price Amendment submission.

All allowance expenditures require the review and prior approval of the Owner. CMR agrees to track, document, and communicate to Owner, all allowances included in this GMP, used and unused. Any unused Allowances shall be credited back to the Owner in the form of a deduct change order prior to request for final payment. Any costs to provide the listed services more than the amounts listed below will result in an increase change order to Ruhlin.

Allowances included within the Construction Manager's scope of work:

- 1. Allowance of \$1,500 for replacing wood trim at exterior of building
- 2. Allowance of \$5,000 for resetting sandstone and tuckpointing at front entry
- 3. Allowance of \$5,000 for repair or replacement of existing railing at front steps
- 4. Allowance of \$20,000 for cutting, patching and lintels for HVAC louvers and ductwork
- 5. Allowance of \$50,000 for floor preparation, infill, grinding.
- 6. Allowance of \$16,000 for replacing ceilings in law library area.
- 7. Allowance of \$2,500 for clock repair/replacement at front canopy.
- 8. Allowance of \$25,000 for subfloor replacement in 2nd & 3rd floor restrooms at north end

Great People, Proven Results



- 9. Allowance of \$25,000 for wall patching/skim coating existing perimeter wall finishes indicated to remain.
- 10. Allowance of \$100,000 for full removal of remaining wall finishes at perimeter of 2nd and 3rd floor shown to remain, then frame, insulate, hang/finish drywall.
- 11. Allowance of \$500,000 for audio/video devices supply, install and programming. Specifications were not clear enough at time to get complete bidding. This allowance is very conservative to work with various vendors and develop the spec to get a complete package.
- 12. Allowance of \$150,000 for any material supply constraints or escalations due to tariffs, trade wars, global supply chain issues unforeseen at time of GMP. This will be resolved by mid summer 2025.





Medina Municipal Courthouse CM-at-Risk Services GMP #3 Staffing Plan

| Ę | Cost | ¥ | 45,200 | | 213,047 | 213,047 | 213,047 |
|--------------------|----------------|-------------------------|--|-----------------|--|-------------|---|
| Total | Labor Cost | M0/w | | W/OH | | | 8 |
| Rate | *(\$/Hr) | | \$100.00 \$ | | - | € | |
| | | | | | Subtotal ncreased fo | 3,137 Hours | y Person |
| Total | Job Hours | 45 | 452 1284 1284 | 22 | Subtotal *Rates not increased for 2026 | | This Project's Total Staff Costs for Construction Key Personnel |
| | , | | , | | | | Constru |
| | Apr | | | ۰ | | | ts for C |
| 2026 | Mar | %5 | 100% | | | | aff Cos |
| | Feb | 9% | 100% | | | | otal Sta |
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| | Sep | % o | 100% | , % o | | | |
| | Aug | 89% | 100% | , % o | | | |
| | July | 88 0 | 100% | . % 6 | | | |
| 2025 | Jun | | | 0 | | | |
| | May | | | 0 | | | |
| | Apr | | | 0 | | | |
| | Mar | | | ۰ | | | |
| | Feb | | | 0 | | | |
| | Jan | | | | | | |
| | Dec | | | | | | |
| | Nov | | | | | | |
| | oct | | | | | | |
| | Sep | | | | | | |
| 2024 | Aug | | | | | | |
| N. | Position Title | Project Executive | Senior Project Manager Superintendent Project Engineer | Safety Director | | | |
| The Ruhlin Company | Employee | Brady Oaks CONSTRUCTION | Mike Schumaker S Lee Choeser S Eti Watker | Bill Whittaker | | | |