

ORDINANCE NO. 84-25

AN ORDINANCE AUTHORIZING THE MAYOR TO ENTER INTO THE GUARANTEED MAXIMUM PRICE AGREEMENT NO. 3 WITH THE RUHLIN COMPANY, FOR WORK AT THE MEDINA MUNICIPAL COURTHOUSE, AND DECLARING AN EMERGENCY.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF MEDINA, OHIO:

- SEC. 1:** That the Mayor is hereby authorized and directed to execute the Guaranteed Maximum Price Agreement No. 3 between the City of Medina and The Ruhlin Company to approve the attached amendment to the base agreement to complete the balance of the project at the Medina Municipal Courthouse.
- SEC. 2:** That a copy of the Guaranteed Maximum Price Agreement No. 3 is marked Exhibit A, attached hereto and incorporated herein.
- SEC. 3:** That the funds to cover the agreement, in the estimated amount of \$7,924,189.00 are available as follows: \$2,008,383.00 in Account No. 301-0716-54412 and \$5,915,806.00 in Account No. 169-0716-54412.
- SEC. 4:** That it is found and determined that all formal actions of this Council concerning and relating to the passage of this Ordinance were adopted in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in such formal action, were in meetings open to the public, in compliance with the law.
- SEC. 5:** That this Ordinance shall be considered an emergency measure necessary for the immediate preservation of the public peace, health and safety, and for the further reason to lock in costs and allow the project to continue without delay; wherefore, this Ordinance shall be in full force and effect immediately upon its passage and signature by the Mayor.

PASSED: April 28, 2025

SIGNED: _____
President of Council

ATTEST: [Signature]
Deputy Clerk of Council

APPROVED: April 29, 2025

SIGNED: [Signature]
Mayor

ORD. 84-25
Exh. A



Great People. Proven Results.



GMP AMENDMENT #3

**Sitework, Carpentry, Finishes, Mechanical,
Electrical, Plumbing, Technology**

City of Medina

Medina Municipal Court Renovation

Project No. 24023



April 7, 2025



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GMP AMENDMENT #3

Sitework, Carpentry, Finishes, Mechanical, Electrical, Plumbing, Technology

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GMP Basis Document(s)

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Staffing Plan – Exhibit I

Great People, Proven Results





EXHIBIT A – FORM OF AGREEMENT

MEDINA MUNICIPAL COURTHOUSE

GMP AMENDMENT #3

**Sitework, Carpentry, Finishes, Mechanical, Electrical,
Plumbing, Technology**

Form of Guaranteed Maximum Price Amendment #3

Great People, Proven Results



EXHIBIT A

FORM OF GUARANTEED MAXIMUM PRICE AMENDMENT

GUARANTEED MAXIMUM PRICE AMENDMENT

Pursuant to Article 6 of the Standard Form of Agreement Between Owner and Construction Manager as Constructor (AIA® Document A133™ – 2019), dated as of August 26, 2024 (the "**Agreement**") between The City of Medina, ("**Owner**"), and The Ruhlin Company, an Ohio corporation ("**Construction Manager**" or "**CMR**"), Owner and Construction Manager desire to enter into this Guaranteed Maximum Price Amendment (this "**Amendment**") and establish a guaranteed maximum price for the Work (as defined in the Agreement and further herein). Therefore, Owner and Construction Manager agree as follows:

ARTICLE 1, GUARANTEED MAXIMUM PRICE

1. This Amendment covers the following Work: Sitework, Carpentry, Finishes, Mechanical, Electrical, Plumbing, Technology
2. Capitalized words and phrases used but not defined herein shall have the same meanings as are ascribed to such words in the Agreement.
3. The Architect on the project is Brandstetter Carroll, Inc. ("Architect").
4. Construction Manager's guaranteed maximum price for the Work described herein and the GMP Documents attached hereto, including the Cost of the Work, Construction Manager's Fee and the Construction Contingency with respect to such work is Seven Million, Six Hundred Seventy-Four Thousand, One Hundred Eighty-Nine (\$7,674,189.00).
5. The attached Exhibits are a part of the Agreement as if each were physically incorporated therein.

EXHIBIT	DESCRIPTION	DATE	PAGES
A	Form of Guaranteed Maximum Price Amendment	04.07.25	2
B	Project Cost Breakdown	04.07.25	1
C	Drawings and Specifications upon which GMP #3 is based	02.28.25	6
D	Qualifications and Assumptions	04.07.25	5
E	GMP Schedule	04.07.25	3
F	Allowances	04.07.25	2
G	Alternates – not used	n/a	n/a
H	Unit Prices – not used	n/a	n/a
I	Staffing Plan	04.07.25	1

6. This Amendment may be executed by the parties in separate counterparts, each of which when so executed and delivered shall be an original, but all such counterparts shall together constitute but one and the same instrument.
7. Except as specifically amended herein, all the provisions of the Agreement remain in full force and effect and all terms and conditions of the Agreement shall apply. In the event of an irreconcilable conflict between the terms of the Agreement and those of this Amendment, the terms of this Amendment shall control.
8. By execution of this Amendment, Construction Manager acknowledges that, as of the date of this Amendment, Construction Manager is not aware of, and has not reserved, any claim against the Owner.

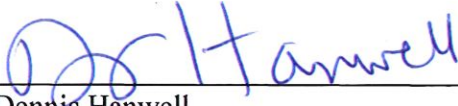
This Amendment is entered as of the 29th day of April, 2025.

OWNER:

CONSTRUCTION MANAGER:

THE CITY OF MEDINA, OHIO

THE RUHLIN COMPANY,
An Ohio corporation

By: 
Dennis Hanwell
Mayor

By: _____
James L. Ruhlin, Jr., PE
President & CEO

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This Amendment is entered as of the 29th day of April, 2025.

OWNER:

CONSTRUCTION MANAGER:

THE CITY OF MEDINA, OHIO

THE RUHLIN COMPANY,
An Ohio corporation

By: Dennis Hanwell

Dennis Hanwell
Mayor

By: James L. Ruhlin, Jr., PE

James L. Ruhlin, Jr., PE
President & CEO




EXHIBIT B – PROJECT COST BREAKDOWN

MEDINA MUNICIPAL COURTHOUSE

GMP AMENDMENT #3

Sitework, Carpentry, Finishes, Mechanical, Electrical, Plumbing, Technology

The Project Cost Breakdown incorporates the fully itemized general conditions, construction contingency, reimbursables, and associated fee in line with the basis documents.

SUMMARY OF PROBABLE COST					
Project:	CITY OF MEDINA MEDINA MUNICIPAL COURT RENOVATION				
Design:	Brandstetter Carroll Inc.				The Ruhlin Company
Phase:	GMP #3 - FINISHES, CARPENTRY, HVAC, PLUMBING, ELECTRICAL, TECHNOLOGY				
Date:	4/7/2025				
			Overall Area:	26,222 SF	
BP	DESCRIPTION - SCOPE OF WORK			SF COST	ESTIMATE
31	SITE/EXTERIOR IMPROVEMENTS/UTILITIES				
	Fire Line Connection from Street - By City of Medina				\$0
	Landscaping - Plantings, Lawn, Maintenance, Warranty				\$15,727
	Concrete - Remove & replace front walk to building line, 2,900 sf				\$41,855
	CARPENTRY - COMBINED BID	26,222	SF	\$68.40	\$1,793,543
06	Carpentry, Casework, Millwork, Blocking				
08	Doors, Frames, Hardware, Windows				
09A	Drywall, Metal Studs, Acoustic Ceilings				
10	Window Shades, Toilet Partitions, Accessories, Column Replacement				
07	ROOFING	26,222	SF	\$0.96	\$25,100
	FLOORING	26,222	SF	\$11.96	
	Carpet				\$151,935
	Ceramic Wall & Floor Tile				\$82,200
	Terrazzo - Infills, Patching, Polishing				\$79,515
09	PAINTING	26,222	SF	\$5.84	\$153,111
21	FIRE SUPPRESSION	26,222	SF	\$10.34	\$271,005
	Added cost to bring underground line into building from 5' outside				\$9,000
22	PLUMBING	26,222	SF	\$26.35	\$691,000
	sawcut/backfill, tie-ins, supply, drain lines, equipment, fixtures				
23	HVAC & TEMP CONTROLS	26,222	SF	\$47.27	\$1,239,515
	Concrete equipment pads				\$13,445
	Cost for early startup/extended warranty on AHU & boilers to run in winter ahead of turnover				\$6,140
	Cost for added filter changes, air intake protection, added final unit cleaning				\$5,400
26	ELECTRICAL & FIRE ALARM	26,222	SF	\$34.03	\$892,335
27/28	TECHNOLOGY	26,222	SF	\$27.56	\$722,730
	Low voltage cabling, telephone room buildouts				
	cameras, card readers, devices, programming				
	ALLOWANCES	26,222	SF	\$21.74	
	Replacing any deteriorated wood trim at exterior to be painted				\$1,500
	Resetting sandstone panels and tuckpointing at front steps				\$5,000
	Repair or replace existing railing at front stairs entry				\$5,000
	Cutting in masonry openings for ductwork, louvers, installing lintels, masonry patching				\$20,000
	Added floor preparation to get floor level - additional surface grinding, floor infill material				\$50,000
	Replace ceilings in law library- required to install fire sprinkler lines, add plumbing runs overhead				\$16,000
	Clock at front canopy - currently not working. Investigate, repair, or replace				\$2,500
	Replace subfloor in north restrooms to accept new tile per RFI 21				\$25,000
	Patch existing walls at perimeter, shown to remain				\$25,000


Project:	CITY OF MEDINA MEDINA MUNICIPAL COURT RENOVATION					
Design:	Brandstetter Carroll Inc.					The Ruhlin Company
Phase:	GMP #3 - FINISHES, CARPENTRY, HVAC, PLUMBING, ELECTRICAL, TECHNOLOGY					
Date:	4/7/2025					
				Overall Area:	26,222 SF	
BP	DESCRIPTION - SCOPE OF WORK			SF COST		ESTIMATE
	Remove existing wall finishes at perimeter of 2nd & 3rd floor shown to remain, new framing, insulation & drywall					\$100,000
	Supply and install audio/video systems - will require more coordination with Medina Court team to confirm specs					\$320,000
	Allowance for material escalations due to tariffs, trade war, supply chain constraints					\$150,000
7	GENERAL REQUIREMENTS	26,222	SF	\$7.40		\$194,095
	SUBTOTAL OF ABOVE COSTS - TRADES WORK	26,222	SF	\$271.06		\$7,107,651
	TOTAL DIRECT CONSTRUCTION	26,222	SF	\$271		\$7,107,651
	CONSTRUCTION STAGE COMPENSATION					
	Ruhlin Staff	1	LS			\$213,047
	General Conditions					\$128,344
	CM Contingency	1.5%				\$111,736
	CM Fee	1.5%				\$113,412
	TOTAL CONSTRUCTION COSTS	26,222	SF	\$293		\$7,674,189
	PROJECT SOFT COSTS (to be included by Owner)					
a.	Owner Contingency - Scope Changes or Unforeseen Conditions (5% recommended until framing complete)					Not Included
b.	A/E Design Costs					Not Included
c.	Testing and Inspections					Not Included
d.	Costs for Relocating Owner's Salvage Furniture, Books, Etc..					Not Included
e.	Temporary Power Consumption					Not Included
f.	Temporary Water & Fuel Consumption					Not Included



EXHIBIT C – BASIS DOCUMENTS - DRAWINGS

MEDINA MUNICIPAL COURTHOUSE

GMP AMENDMENT #3

Structure, Remaining Packages

This GMP #3 is based on the following documents and specifications:

- Medina Municipal Courthouse Renovation
GMP #3 Structure, Remaining Packages
Prepared by: Brandstetter Carroll, Inc.

Date: 2/28/2025

See full detail attached



CITY OF MEDINA COURTHOUSE RENOVATION

100% CONSTRUCTION DOCUMENTS GMP 3

PROJECT: MEDINA MUNICIPAL COURTHOUSE RENOVATION



	NUMBER	DESCRIPTION	DATE / ISSUED
GENERAL			
	G-000	COVER SHEET	02/28/25
	G-001	GENERAL INFO, DRAWING INDEX & CODE DATA	02/28/25
	G-101	FIRST AND SECOND FLOOR CODE PLANS	02/28/25
	G-102	THIRD FLOOR CODE PLAN AND DETAILS	02/28/25
CIVIL			
	C-100	SITE DEMOLITION PLAN	02/28/25
	C-101	SITE UTILITY PLAN	02/28/25
LANDSCAPE			
	L-101	LANDSCAPE PLANTING PLAN	02/28/25
STRUCTURAL			
	S-001	GENERAL NOTES	02/28/25
	S-002	GENERAL NOTES	02/28/25
	S-101	FOUNDATION PLAN	02/28/25
	S-102	SECOND FLOOR FRAMING PLAN	02/28/25
	S-103	THIRD FLOOR FRAMING PLAN	02/28/25
	S-104	ROOF FRAMING PLAN	02/28/25
	S-105	PENTHOUSE FRAMING PLAN	02/28/25
	S-301	SECTIONS	02/28/25
	S-302	SECTIONS	02/28/25
	S-310	TYPICAL FOUNDATION DETAILS	02/28/25
	S-320	TYPICAL CONCRETE DETAILS	02/28/25
	S-330	TYPICAL MASONRY DETAILS	02/28/25
	S-340	TYPICAL STEEL DETAILS	02/28/25
ARCHITECTURAL			
	A-002	WALL TYPES	02/28/25
	A-101	FIRST FLOOR PLAN	02/28/25
	A-101A	MEDINA CO. CH FIRST FLOOR LIMITED CONSTRUCTION PLAN	02/28/25
	A-102	FIRST FLOOR DIMENSION PLAN	02/28/25
	A-103	SECOND FLOOR PLAN	02/28/25
	A-104	SECOND FLOOR DIMENSION PLAN	02/28/25
	A-105	THIRD FLOOR PLAN	02/28/25
	A-106	THIRD FLOOR DIMENSION PLAN	02/28/25
	A-107	ROOF / PENTHOUSE PLAN	02/28/25
	A-110	MEDINA CO. CH FIRST FLOOR RCP LIMITED CONSTRUCTION PLAN	02/28/25
	A-111	FIRST FLOOR REFLECTED CEILING PLAN	02/28/25
	A-112	SECOND FLOOR REFLECTED CEILING PLAN	02/28/25
	A-113	THIRD FLOOR REFLECTED CEILING PLAN	02/28/25
	A-201	EXTERIOR ELEVATIONS	02/28/25
	A-202	EXTERIOR ELEVATIONS	02/28/25
	A-301	BUILDING SECTIONS	02/28/25
	A-302	BUILDING SECTIONS	02/28/25
	A-311	WALL SECTIONS	02/28/25
	A-312	WALL SECTIONS	02/28/25
	A-401	ENLARGED COURTROOM PLANS AND DETAILS	02/28/25
	A-403	ENLARGED TOILET PLANS AND DETAILS	02/28/25
	A-404	TOILET ELEVATIONS	02/28/25
	A-405	TOILET ELEVATIONS	02/28/25
	A-406	ORIGINAL ENTRANCE / MAGISTRATE OFFICE, CLERK WINDOWS	02/28/25
	A-501	PLAN DETAILS	02/28/25
	A-502	SECTION DETAILS	02/28/25
	A-601	DOOR SCHEDULE	02/28/25
	A-602	DOOR TYPES & DETAILS	02/28/25

CITY OF MEDINA COURTHOUSE RENOVATION

100% CONSTRUCTION DOCUMENTS GMP 3

PROJECT: MEDINA MUNICIPAL COURTHOUSE RENOVATION



NUMBER	DESCRIPTION	DATE / ISSUED
GENERAL		
G-000	COVER SHEET	02/28/25
G-001	GENERAL INFO, DRAWING INDEX & CODE DATA	02/28/25
A-603	DOOR DETAILS	02/28/25
A-606	WINDOW TYPES & DETAILS	02/28/25
A-701	CASEWORK & MILLWORK DETAILS	02/28/25
A-801	IN-CUSTODY ELEVATOR PLANS AND DETAILS	02/28/25
A-802	STAFF AND PUBLIC ELEVATOR PLANS AND DETAILS	02/28/25
A-901	FIRST FLOOR SIGNAGE PLAN	02/28/25
A-902	SECOND FLOOR SIGNAGE PLAN	02/28/25
A-903	THIRD FLOOR SIGNAGE PLAN	02/28/25
A-904	SIGNAGE TYPES	02/28/25
A-905	INTERIOR SIGNAGE ELEVATIONS AND DETAILS	02/28/25
FIRE PROTECTION		
FP-001	FIRE PROTECTION SYMBOL LEGEND AND NOTES	02/28/25
FP-101	FIRST FLOOR FIRE PROTECTION PLAN	02/28/25
FP-102	SECOND FLOOR FIRE PROTECTION PLAN	02/28/25
FP-103	THIRD FLOOR FIRE PROTECTION PLAN	02/28/25
FP-104	ROOF FIRE PROTECTION PLAN	02/28/25
PLUMBING		
P-001	PLUMBING SYMBOL LEGAND AND NOTES	02/28/25
P-100	UNDERSLAB PLUMBING PLAN	02/28/25
P-101	FIRST FLOOR SANITARY, STORM AND VENT PLAN	02/28/25
P-102	SECOND FLOOR SANITARY, STORM AND VENT PLAN	02/28/25
P-103	THIRD FLOOR SANITARY, STORM AND VENT PLAN	02/28/25
P-104	PENTHOUSE/ROOF SANITARY, STORM AND VENT PLAN	02/28/25
P-201	FIRST FLOOR DOMESTIC WATER AND GAS PLAN	02/28/25
P-202	SECOND FLOOR DOMESTIC WATER PLAN	02/28/25
P-203	THIRD FLOOR DOMESTIC WATER PLAN	02/28/25
P-401	ENLARGED PLUMBING PLANS	02/28/25
P-402	ENLARGED RESTROOM PLUMBING PLANS	02/28/25
P-403	ENLARGED RESTROOM PLUMBING PLANS	02/28/25
P-501	PLUMBING DETAILS	02/28/25
P-701	PLUMBING SCHEDULES	02/28/25
P-901	PLUMBING ISOMETRICS	02/28/25
MECHANICAL		
M-001	MECHANICAL SYMBOL LEGENDS AND NOTES	02/28/25
M-101	FIRST FLOOR MECHANICAL PLAN	02/28/25
M-102	SECOND FLOOR MECHANICAL PLAN	02/28/25
M-103	THIRD FLOOR MECHANICAL PLAN	02/28/25
M-104	PENTHOUSE/ROOF MECHANICAL PLAN	02/28/25
M-201	FIRST FLOOR MECHANICAL PIPING PLAN	02/28/25
M-202	SECOND FLOOR MECHANICAL PIPING PLAN	02/28/25
M-203	THIRD FLOOR MECHANICAL PIPING PLAN	02/28/25
M-204	PENTHOUSE MECHANICAL PIPING PLAN	02/28/25
M-301	MECHANICAL SECTION PLANS	02/28/25
M-401	ENLARGED MECHANICAL PLANS	02/28/25
M-501	MECHANICAL DETAILS	02/28/25
M-502	MECHANICAL DETAILS	02/28/25
M-601	MECHANICAL CONTROLS	02/28/25
M-602	MECHANICAL CONTROLS	02/28/25
M-701	MECHANICAL SCHEDULES	02/28/25
ELECTRICAL		
E-001	ELECTRICAL SYMBOL LEGEND	02/28/25

CITY OF MEDINA COURTHOUSE RENOVATION

100% CONSTRUCTION DOCUMENTS GMP 3

PROJECT: MEDINA MUNICIPAL COURTHOUSE RENOVATION



DATE / ISSUED

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GENERAL		
G-000	COVER SHEET	02/28/25
G-001	GENERAL INFO, DRAWING INDEX & CODE DATA	02/28/25
E-002	ELECTRICAL GENERAL NOTES	02/28/25
E-101	FIRST FLOOR LIGHTING PLAN	02/28/25
E-102	SECOND FLOOR LIGHTING PLAN	02/28/25
E-103	THIRD FLOOR LIGHTING PLAN	02/28/25
E-104	ROOF LIGHTING PLAN	02/28/25
E-200	OVERALL BUILDING POWER PLAN	02/28/25
E-201	FIRST FLOOR POWER PLAN	02/28/25
E-202	SECOND FLOOR POWER PLAN	02/28/25
E-203	THIRD FLOOR POWER PLAN	02/28/25
E-204	ROOF POWER PLAN	02/28/25
E-300	FIRE ALARM NOTES, LEGEND AND DETAILS	02/28/25
E-301	FIRST FLOOR FIRE ALARM PLAN	02/28/25
E-302	SECOND FLOOR FIRE ALARM PLAN	02/28/25
E-303	THIRD FLOOR FIRE ALARM PLAN	02/28/25
E-304	ROOF FIRE ALARM PLAN	02/28/25
E-305	FIRE ALARM RISER AND SEQUENCE OF OPERATIONS	02/28/25
E-401	ENLARGED ELECTRICAL PLANS	02/28/25
E-501	LIGHTING CONTROL DETAILS	02/28/25
E-511	POWER DETAILS AND DIAGRAMS	02/28/25
E-601	ELECTRICAL ONE LINE DIAGRAM - NORMAL NEW WORK	02/28/25
E-602	ELECTRICAL ONE LINE DIAGRAM - EMERG. NEW WORK	02/28/25
E-701	LUMINAIRE SCHEDULE	02/28/25
E-711	ELECTRICAL PANEL SCHEDULES	02/28/25
E-712	ELECTRICAL PANEL SCHEDULES	02/28/25
E-713	ELECTRICAL PANEL SCHEDULES	02/28/25
TECHNOLOGY		
T-001	TECHNOLOGY SYMBOL LEGEND AND NOTES	02/28/25
T-100	OVERALL BUILDING PATHWAYS AND SPACES PLAN	02/28/25
T-201	FIRST FLOOR TECHNOLOGY PLAN	02/28/25
T-202	SECOND FLOOR TECHNOLOGY PLAN	02/28/25
T-203	THIRD FLOOR TECHNOLOGY PLAN	02/28/25
T-401	TECHNOLOGY ENLARGED PLANS	02/28/25
T-501	TECHNOLOGY DETAILS	02/28/25
T-502	TECHNOLOGY DETAILS	02/28/25
T-601	TECHNOLOGY RISER DIAGRAMS	02/28/25
T-602	TECHNOLOGY RISER DIAGRAMS	02/28/25
T-603	TECHNOLOGY RISER DIAGRAMS	02/28/25
T-604	TECHNOLOGY RISER DIAGRAMS	02/28/25
T-605	TECHNOLOGY RISER DIAGRAMS	02/28/25
T-606	TECHNOLOGY RISER DIAGRAMS	02/28/25
T-607	TECHNOLOGY RISER DIAGRAMS	02/28/25

CITY OF MEDINA COURTHOUSE RENOVATION

100% CONSTRUCTION DOCUMENTS GMP 3

PROJECT: MEDINA MUNICIPAL COURTHOUSE RENOVATION



SPEC. NO.	DESCRIPTION	DATE
DIVISION 01 - SPECIFICATIONS - not provided		
DIVISION 03 - CONCRETE - not provided		
DIVISION 04 - MASONRY		
042000	Unit Masonry	February 2025
DIVISION 05 - METALS		
054000	Cold-Form Metal Framing	February 2025
055000	Metal Fabrications	February 2025
DIVISION 06 - WOODS, PLASTICS, AND COMPOSITES		
061600	Sheathing	February 2025
064023	Interior Architectural Woodwork	February 2025
064116	Plastic-Laminate-Clad Architectural Cabinets	February 2025
064216	Flush Wood Paneling	February 2025
066100	Architectural Fiberglass Column Covers	February 2025
066400	Plastic Paneling	February 2025
DIVISION 07 - THERMAL AND MOISTURE CONTROL		
071416	Cold Fluid Applied Waterproofing	February 2025
072100	Thermal Insulation	February 2025
078413	Pentrated Firestopping	February 2025
078200	Joint Sealants	February 2025
DIVISION 08 - OPENINGS		
081113	Hollow Metal Doors and Frames	February 2025
081416	Flush Wood Doors	February 2025
085200	Wood Windows	February 2025
088000	Glazing	February 2025
DIVISION 09 - FINISHES		
092900	Gypsum Board	February 2025
093005	Floor Transitions	February 2025
093013	Tiling	February 2025
095123	Acoustical Tile Ceilings	February 2025
096513	Resilient Base & Accessories	February 2025
096519	Resilient Tile Flooring	February 2025
096813	Tile Carpeting	February 2025
099123	Interior Painting	February 2025
099300	Staining and Transparent Finishing	February 2025
DIVISION 10 - SPECIALTIES		
101400	Signage	February 2025
102113.17	Phenolic- Core Toilet Compartments	February 2025
102800	Toilet, Bath & Laundry Accessories	February 2025
104413	Fire Extinguisher Cabinets	February 2025
104416	Fire Extinguisher	February 2025
DIVISION 11 - EQUIPMENT		
111900	Detention Equipment	February 2025
DIVISION 12 - FURNISHINGS		
122413	Roller Window Shades	February 2025
123661.16	Solid Surfacing Countertops	February 2025
DIVISION 13 - SPECIAL CONSTRUCTION		
130700	Bullet Resistant Fiberglass	February 2025
DIVISION 14 - CONVEYING EQUIPMENT		
142123.16	Machine Room-less Electric Traction Passenger Elevators	February 2025
DIVISION 21 - FIRE SUPPRESSION		

CITY OF MEDINA COURTHOUSE RENOVATION

100% CONSTRUCTION DOCUMENTS GMP 3

PROJECT: MEDINA MUNICIPAL COURTHOUSE RENOVATION



SPEC. NO.	DESCRIPTION	DATE
210500	Common Work Results for Fire Suppression	February 2025
211313	Wet-Pipe Sprinkler System	February 2025
211316	Dry-Pipe Sprinkler System	February 2025
DIVISION 22 - PLUMBING		
220500	Common Work Results for Plumbing	February 2025
230513	Common Motor Requirements for Plumbing Equipment	February 2025
220519	Meters and Gages for Plumbing Piping	February 2025
220523	General Duty Valves for Plumbing Piping	February 2025
220529	Hangers and Supports for Plumbing	February 2025
220553	Identification for Plumbing Piping and Equipment	February 2025
220700	Plumbing Isolation	February 2025
221116	Domestic Water Piping	February 2025
221123	Domestic Water Pumps	February 2025
221316	Sanitary Waste and Vent Piping	February 2025
221319	Sanitary Waste Piping Specialties	February 2025
221429	Sump Pumps	February 2025
221616	Natural Gas Piping	February 2025
223400	Fuel-Fired, Domestic Water Heaters	February 2025
224000	Plumbing Fixtures	February 2025
224700	Water Coolers	February 2025
DIVISION 23 - HEATING, VENTILATING, AND AIR CONDITIONING		
230500	Common Work Results for HVAC	February 2025
230513	Common Motor Requirements for Plumbing Equipment	February 2025
230514	Variable Frequency Motor Controllers	February 2025
230516	Expansion Fittings and Loops for HVAC Piping	February 2025
230519	Meters and Gages for HVAC	February 2025
230523	General-Duty Valves for HVAC	February 2025
230529	Hangers and Supports for HVAC	February 2025
230548	Vibration Controls for HVAC	February 2025
230553	Identification for HVAC	February 2025
230593	Testing, Adjusting, and Balancing	February 2025
230700	HVAC Insulation	February 2025
230923	Direct Digital Control Systems for HVAC	February 2025
232113	Hydronic Piping	February 2025
232123	Hydronic Pumps	February 2025
232300	Refrigerant Piping	February 2025
232500	HVAC Water Treatment	February 2025
233113	Metal Ducts	February 2025
233300	Air Duct Accessories	February 2025
233423	HVAC Power Ventilators	February 2025
233600	Air Terminal Units	February 2025
233713	Diffusers, Registers & Grilles	February 2025
235216	Condensing Boilers	February 2025
236200	Condensing Units	February 2025
237313	Modular Indoor Air-Handling Units	February 2025
238126	Split-System Air-Conditioners	February 2025
238239	Unit Heaters	February 2025
DIVISION 25 - INTEGRATED AUTOMATION - not provided		
DIVISION 26 - ELECTRICAL		
260101	Electrical Demolition	February 2025

CITY OF MEDINA COURTHOUSE RENOVATION

100% CONSTRUCTION DOCUMENTS GMP 3

PROJECT: MEDINA MUNICIPAL COURTHOUSE RENOVATION



SPEC. NO.	DESCRIPTION	DATE
260126	Testing of Electrical Systems	February 2025
260500	Common Work Results for Electrical	February 2025
260519	Low-Voltage Electrical Power Conductors and Cables	February 2025
260523	Control-Voltage Electrical Power Cables	February 2025
260526	Grounding and Bonding for Electrical Systems	February 2025
260529	Hangers and Supports for Electrical Systems	February 2025
260533	Raceways and Boxes for Electrical Systems	February 2025
260543	Underground Ducts and Raceways for Electrical Systems	February 2025
260544	Sleeves and Sleeve Seals for Electrical Raceways and Cabling	February 2025
260553	Identification for Electrical Systems	February 2025
260573	Electrical Systems Studies	February 2025
260923	Lighting Control Devices	February 2025
262200	Low-Voltage Transformers	February 2025
262416	Panelboards	February 2025
262726	Wiring Devices	February 2025
262813	Fuses	February 2025
262816	Enclosed Switches and Circuit Breakers	February 2025
262913	Enclosed Controllers	February 2025
264113	Lighting Protection for Structures	February 2025
264313	Surge Protecting Devices	February 2025
265100	Interior Lighting	February 2025
265600	Exterior Lighting	February 2025
DIVISION 27 - COMMUNICATIONS - not provided		
DIVISION 28 - ELECTRONIC SAFETY AND SECURITY - not provided		
DIVISION 31 - EARTHWORK - not provided		
DIVISION 32 - EXTERIOR IMPROVEMENTS - not provided		
329200	Turf & Grasses	February 2025
329300	Plants	February 2025
DIVISION 33 - UTILITIES - not provided		

EXHIBIT D - ASSUMPTIONS & CLARIFICATIONS



General Assumptions / Clarifications

1. The GMP is based upon the terms and conditions of these Assumptions and Clarifications. These assumptions and clarifications shall be read in the context of the other Contract Documents and shall be interpreted to be consistent with other Contract Documents, if possible, but these clarifications and assumptions take precedence over any other Contract Documents in the event of a clear and irreconcilable conflict.
2. It is assumed the Contract Documents issued by Brandstetter Carroll, Inc. comply with all applicable laws, codes (including the latest City, State, or Federal Approved Building Codes), and regulations of various governmental entities having jurisdiction over this project. The GMP excludes the cost of correcting any code violations or requests from building inspectors should they be encountered during construction, unless detailed in the contract documents.
3. GMP schedule is based on Medina City Council providing Ruhlin with approval on GMP #3 on or before April 30, 2025.
4. Applicable performance and payment bonds and Builder's Risk Insurance costs are included on the GMP as being provided by The Ruhlin Company.
5. The GMP is based on the Project Schedule with Date of April 7, 2025 and attached as Exhibit E to the GMP Amendment. The schedule is a baseline project schedule. Modifications and refinement to this schedule will be made based on Owner, Architect and Subcontractor coordination. Any work performed or contracted directly by the Owner, will be coordinated with Ruhlin in sufficient time to avoid impacting the overall Construction Progress Schedule or affecting specific Subcontract activities.
6. The GMP is based upon receiving all document deliverables from the Owner and Architect per the Project Schedule. A/E review period of Submittals shall not exceed (14) calendar days, A/E response time to Requests for Information shall not exceed (7) calendar days. Change Order pricing, change order proposal reviews and other deliverables that may have schedule implications; critical items requiring compressed review timeframes, will be identified on the submittal register and discussed during the weekly project team meetings.
7. The GMP is based on cooperation of the City of Medina Building Department, EPA and other AHJ's to allow continuation of the Work per the Project Schedule. Any impacts to the Project Schedule associated with the aforementioned entities may require time extensions and will be addressed on a case-by-case basis.
8. Ruhlin reserves the right to optimize the sequence of construction at any time. This may include re-arranging construction activities, adjustment of activity durations, and any other changes which will not affect the final delivery dates.

9. The GMP assumes that design changes will not be allowed on shop drawings/submittals or RFI responses without also issuing a Bulletin to the GMP basis documents. This is required so that all trade contractors are also made aware of the design changes that may impact on their work. In addition, this will ensure final design documents include subsequent design revisions for Medina City's records.
10. This GMP is based on all specified equipment and materials fitting within the dimensioned spaces identified on the documents, including all required tolerances and clearances.
11. The following items are to be provided by Owner and/or A/E:
 - a. CAD files, Drawings and Specifications in electronic format suitable for distribution at no cost.
 - b. All project related Professional Services, including environmental testing, third party Commissioning, air sampling for LEED, Special Inspections and Testing Services (soils, concrete, steel, masonry, curtain wall, fireproofing, Fire stopping, chamber testing, roofing, etc.).
 - c. Plan review fees, permitting and inspection costs.
 - d. All site, SWPPP, grading, building permit fees.
 - e. Utility tap, inspection fees, and capacity fees.
12. No shift work or overtime has been included based on the Project Schedule.
13. In the event, The Ruhlin Company needs to perform additional work to recover days, the following guidelines will be utilized for CMr Contingency:
 - a. Hours performed by the contractor greater than 40 cumulative hours for the week shall be considered overtime hours.
 - b. Hours worked by the contractor on a Saturday, regardless of total accumulated hours from the given work week are considered overtime hours.
14. All extended Subcontractor and Manufacturer warranties shall be "pass-through" warranties from the appropriate party; extended warranties by Ruhlin are not included in the GMP.
15. All contract and project documentation between the CM and the Owner will be electronically delivered. This includes all closeout documents, as-builts, O&M manuals, warranties, etc.
16. GMP is per the stated scope of work. However, this and any future GMP's will be cumulative, not mutually exclusive. The costs associated with items such as staffing, GC's, General Requirements, Contingency, etc. for the current GMP can be used in future GMP's. For example, contingency identified in this GMP can be utilized for items covered under future GMP Scope of Work.
17. All costs associated with Winter Weather Conditions, to include but not limited to: temporary heaters, fuel, admixtures, accelerators, hot water, blankets, tarps shall be covered under an allowance within GMP.
18. If add alternates are selected after the GMP approval, the completion date for the project will be reviewed on a case-by-case basis as some alternates could impact the schedule. All costs for alternates not accepted at the time of the GMP submission will need to be reevaluated after GMP approval if accepted.
19. The GMP Proposal pricing is based on the understanding that the entire project is sales tax-exempt as allowable under Ohio Revised Code and per Owner-issued certificate.

20. All loose furnishings or other items the Owner wants to salvage from the building shall be completed no later than February 25, 2025.

General Exclusions

1. Costs for any additional requirements, taxes, tariffs, or fees imposed under any statute, becoming effective after the date of the GMP Amendment.
2. The GMP does not assume any responsibility for the current conditions or integrity of the existing storm, sanitary, water, gas, or other existing utilities within or adjacent to the project.
3. The GMP does not include unforeseen impacts that may result from the COVID-19 or similar Coronavirus pandemic-like scenarios. We will take steps to minimize the cost or schedule impacts. This could include material lead times increasing, specific items becoming unavailable, availability of labor forces or other unknown impacts.
4. The GMP assumes that all items outside of the proposed work are code compliant. We do not include work to correct any deficiencies on site or in the existing structures beyond what has been identified in the basis documents of this GMP.
5. Private utility locating services are excluded. Ruhlin will contact OUPS to locate the existing utilities. Relocation, repairs or replacement of existing unidentified or unknown underground utilities, not shown to be performed within the basis documents, will be performed as change order work.
6. The GMP assumes the cost to eliminate any underground obstructions present on the site as unforeseen conditions, to be paid by the Owner.
7. No mock-ups are included in the GMP. Mock-up design drawings are to be prepared and provided by the Brandstetter Carroll, Inc. Change order pricing will be prepared for review/approval once mock-ups are identified.
8. No Pre-Construction Testing has been included in the GMP. Brandstetter Carroll, Inc. is to generate a list of desired systems that require pre-construction tests, with associated ASTM, ANSI, SMACNA, etc., industry standard and references.
9. Photographic Documentation of the Work is excluded.
10. Dumpsters for any Owner vendors and furnishings, fixtures and equipment.
11. The cost of the building permit is not included. It is assumed that any required demo and building permits will be in place to allow for the start of construction per the schedule. Contractor registration is required by City of Medina building department and has been included.

GMP #3 Clarifications.

1. Concrete walk removal and replacement at front of building is not called out in plans or specifications. GMP #3 includes removal of existing concrete sidewalk areas and replacement of approximately 2,900 sf of 4" concrete on granular base with mesh. No added coloring or special finishing is included.
2. No wood trim is shown to be replaced at upper areas of building exterior. An allowance of \$1,500 is recommended for labor & material to replace any deteriorated wood trim.
3. Existing sandstone pieces at sides of front steps are pushed out and in need of tuckpointing and resetting. An allowance of \$5,000 is recommended for labor & material to reset the sandstone and tuckpoint the joints.
4. Existing railing at the front steps is corroded and showing wear. An allowance of \$5,000 is recommended for labor & material to repair or replace the railing.
5. HVAC drawings show 8 locations at ground floor and 2 at penthouse where new louvers or duct penetrations are to be cut into block walls. An allowance of \$20,000 is included in the HVAC scope for sawcutting, demolition, lintels and masonry repairs.
6. GMP #3 pricing includes single crane mobilization to rig existing demolition materials down and set new HVAC equipment on the roof. This crane mobilization will be planned with City of Medina well in advance and carefully coordinated to minimize traffic impacts by starting at 6am but weekend/overtime work was not accounted for.
7. GMP #3 base pricing includes standard floor preparation for installing carpet & floor tile. Minor floor preparation and skim coating is assumed in subcontractor quote but much more floor leveling and surface preparation will be required to level various floors, infill demolished wall areas and old imperfections. An allowance of \$50,000 is recommended for labor and material for added floor preparation, which is just under \$2/sf. Ruhlin would carry this allowance separately for tracking outside the flooring contract.
8. Existing ceiling in law library is shown to remain but will need to be taken down to install new sprinkler lines and run plumbing above. An allowance of \$16,000 is recommended for labor & material to replace ceilings in this area with new (1,400 sf x \$12/sf).
9. Project plans indicate clock at penthouse is to be repaired. Currently no scope or manufacturer is available to quote repair or replacement. Allowance of \$2,500 is recommended for this work.
10. RFI #21 regarding existing plywood subfloor in deteriorated condition at north restrooms on 2nd & 3rd floor. Existing conditions will likely require the subfloor to be removed and replaced with new layers of subflooring. These costs are not in any bid package currently. An allowance of \$25,000 is recommended for this work.
11. RFI #25 regarding existing wall finishes to remain at perimeter walls on 2nd and 3rd floors. Existing conditions will likely require the finishes to be taken down to the block wall, then framed, insulated and new drywall hung and finished. An allowance of \$25,000 for patching the existing walls is currently in the carpentry package. An allowance of \$100,000 to completely remove the existing finishes, then reframe, insulate, hang and finish new drywall is recommended for this work.
12. RFI 28 regarding dimensions for concrete pads in mechanical room. No dimensions are shown. Concrete contractor is carrying 5 separate pads, 10'x10' in his pricing. Additional pads or dimensions are not included.

13. At bid time, the Audio/Video specifications were not clear enough to get complete bidding. An allowance of \$320,000 is recommended for this work.



EXHIBIT E – CONSTRUCTION SCHEDULE

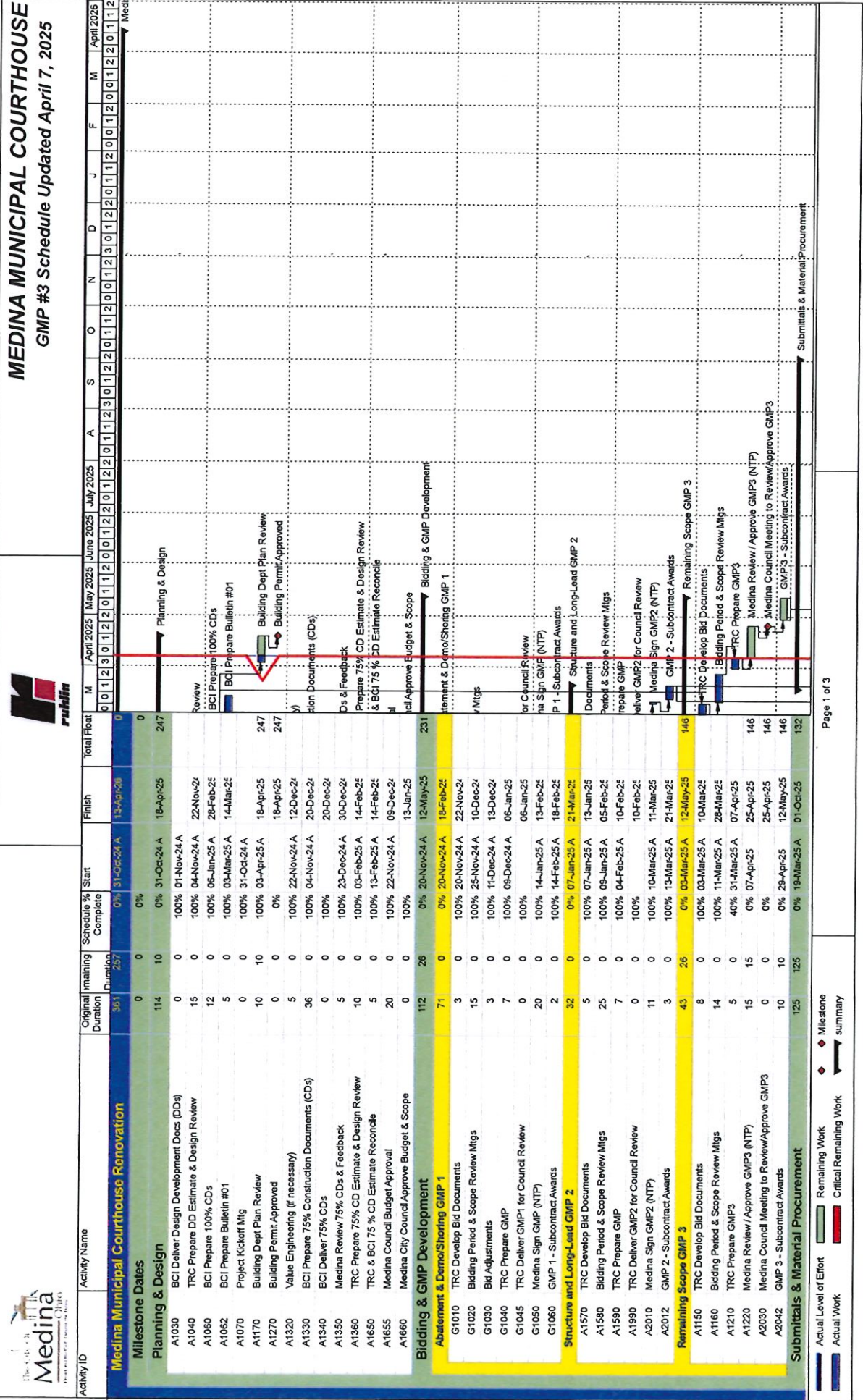
MEDINA MUNICIPAL COURTHOUSE

GMP AMENDMENT #3

Sitework, Carpentry, Finishes, Mechanical, Electrical, Plumbing, Technology

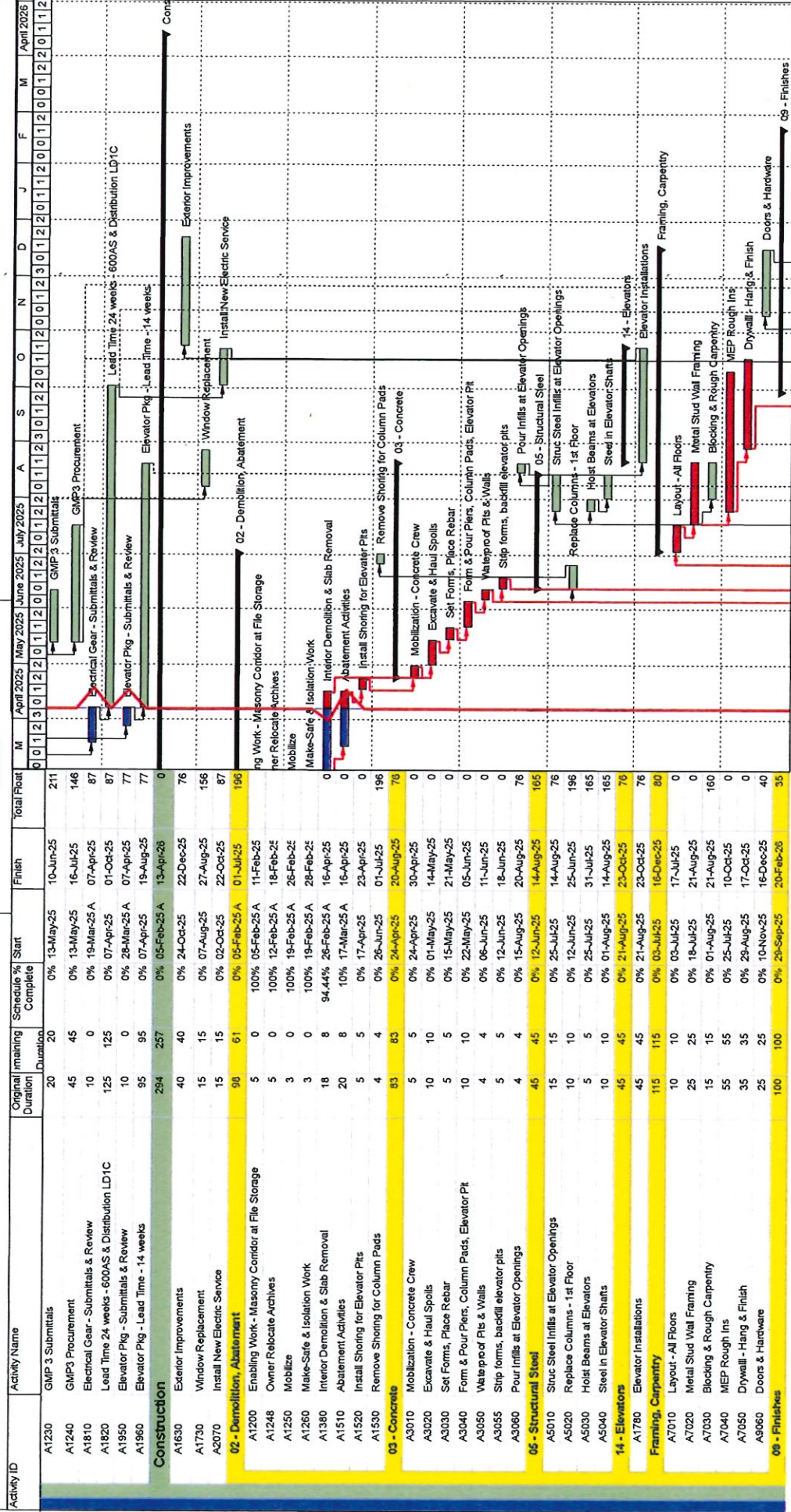
The Construction Progress Schedule includes anticipated and projected Finish Milestone dates at this time. The dates and time periods pertinent to this GMP Amendt #3:

- Ruhlin to Deliver GMP to Medina City CouncilApril 7, 2025
- Medina City Council to sign GMP, NTPApril 29, 2025
- Begin wall layout for metal stud framing.....July 3, 2025
- Begin hanging drywall for interior wall partitions.....August 29, 2025
- Elevator inspection for temporary use.....November 25, 2025
- Substantial Completion..... March 13, 2026



MEDINA MUNICIPAL COURTHOUSE

GMP #3 Schedule Updated April 7, 2025



MEDINA MUNICIPAL COURTHOUSE

GMP #3 Schedule Updated April 7, 2025

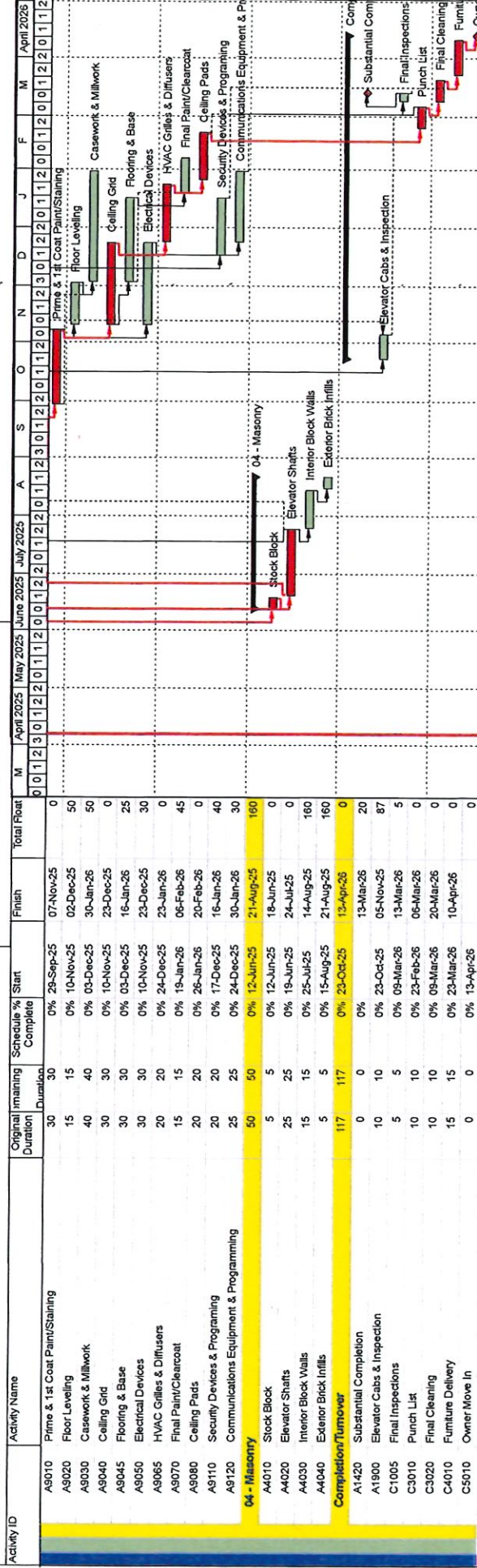




EXHIBIT F – OWNER ALLOWANCES

MEDINA MUNICIPAL COURTHOUSE

GMP AMENDMENT #3

Sitework, Carpentry, Finishes, Mechanical, Electrical, Plumbing, Technology

Below is a list of ALLOWANCES included within this Guaranteed Maximum Price Amendment submission.

All allowance expenditures require the review and prior approval of the Owner. CMR agrees to track, document, and communicate to Owner, all allowances included in this GMP, used and unused. Any unused Allowances shall be credited back to the Owner in the form of a deduct change order prior to request for final payment. Any costs to provide the listed services more than the amounts listed below will result in an increase change order to Ruhlin.

Allowances included within the Construction Manager's scope of work:

1. Allowance of \$1,500 for replacing wood trim at exterior of building
2. Allowance of \$5,000 for resetting sandstone and tuckpointing at front entry
3. Allowance of \$5,000 for repair or replacement of existing railing at front steps
4. Allowance of \$20,000 for cutting, patching and lintels for HVAC louvers and ductwork
5. Allowance of \$50,000 for floor preparation, infill, grinding.
6. Allowance of \$16,000 for replacing ceilings in law library area.
7. Allowance of \$2,500 for clock repair/replacement at front canopy.
8. Allowance of \$25,000 for subfloor replacement in 2nd & 3rd floor restrooms at north end

Great People, Proven Results



9. Allowance of \$25,000 for wall patching/skim coating existing perimeter wall finishes indicated to remain.
10. Allowance of \$100,000 for full removal of remaining wall finishes at perimeter of 2nd and 3rd floor shown to remain, then frame, insulate, hang/finish drywall.
11. Allowance of \$500,000 for audio/video devices – supply, install and programming.
Specifications were not clear enough at time to get complete bidding. This allowance is very conservative to work with various vendors and develop the spec to get a complete package.
12. Allowance of \$150,000 for any material supply constraints or escalations due to tariffs, trade wars, global supply chain issues unforeseen at time of GMP. This will be resolved by mid summer 2025.

The Ruhlin Company		2024					2025					2026					Total	Rate	Total					
Employee	Position Title	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	July	Aug	Sep	Nov	Dec	Jan	Feb	Mar	Apr	Job Hours	*(\$/Hr)	Labor Cost
Brady Oaks	Project Executive												5% 9	5% 9	5% 9	5% 9	5% 9	5% 9	5% 9	5% 9		45		w/OH
CONSTRUCTION																								
Mike Schumaker	Senior Project Manager												40% --	40% --	40% --	40% --	40% --	40% --	40% --	40% --	40%	452	\$100.00	\$ 45,200
Lee Cheeser	Superintendent												100% --	100% --	100% --	100% --	100% --	100% --	100% --	100% --	100%	1284	\$87.00	\$ 111,708
Eli Walker	Project Engineer												100% --	100% --	100% --	100% --	100% --	100% --	100% --	100% --	100%	1284	\$55.00	\$ 70,620
Bill Whittaker	Safety Director							0	0	0	0	0	5% 9	5% 9	5% 9	5% 9	5% 9	5% 9	5% 9	5% 9	0	72	\$0.00	w/OH
																		Subtotal		\$	213,047			
																		*Rates not increased for 2026						
																		3,137 Hours		\$	213,047			
																		This Project's Total Staff Costs for Construction Key Personnel		\$	213,047			