

MEETING DATE: 03/11/21

# **HISTORIC PRESERVATION BOARD**

**Case No. H21-02  
99 Public Square**



**CITY of MEDINA**  
**Historic Preservation Board**  
**March 11, 2021 Meeting**

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**Case No:** H21-02

**Address:** 99 Public Square

**Applicant:** Medina County Commissioners

**Subject:** Certificate of Appropriateness – 4-story and 86,576 sqft expansion of the current Medina County Courthouse complex

**Zoning:** P-F, Public Facilities District

**Submitted by:** Jonathan Mendel, Community Development Director 

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**Site Location:**

The site is located on the east side of Public Square and encompasses an entire block.

**Project Introduction:**

The proposed design is Neoclassical Revival/Classical Greek Revival, similar in style with the 1969 Courthouse addition and the result of the discussions from the February 11, 2021 meeting.

In addition to review by the Historic Preservation Board, this project will be reviewed on March 11, 2021 by the Board of Zoning Appeals for a maximum building height variance and Planning Commission for site plan approval.

Please find attached to this report:

1. Applicant's narrative and architectural elevations and site plans received February 19, 2021
2. Site aerial photograph

**City of Medina Design Guidelines**

*Section 145.07 (b): Additions/new construction. With respect to additions/new construction to existing buildings and all new buildings or structures within Historic Districts, it is generally the interest of the Board that such additions/new construction shall be designed to enhance the character of the Historic District. Consistent with the preface of this Chapter, new buildings and additions should be representative of architectural design and construction of contemporary times.*

**Staff Comments:**

The existing Courthouse complex is a beloved public facility in the heart of the City of Medina. The facades facing Public Square are part of the City's cultural and architectural history.

The applicant proposes an approximately 86,500 sqft foot, 4-story addition to the rear (east) of the existing complex. The proposed addition's historical architectural design is executed well with good proportional detailing of the design's various component parts.

The proposed three dimensional bulk of the structure is well camouflaged through the appropriate execution of the base, body and cornice detailing. The bulk is also masked by the existing courthouse complex buildings (to the west) and the courthouse parking garage (to the east) and does not visually overwhelm the view of the complex from the Public Square.

Lastly, in regards to the desire in Section 145.07(b) for the design to "*enhance the character of the Historic District*" and "*be representative of architectural design and construction of contemporary times*", the project certainly enhances the character of the Historic District with its attention to the architectural style, materials and detailing consistent with the existing courthouse complex. Additionally, although the architectural style is a historical style and may not be representative of contemporary times, the execution of the style is excellent and a benefit to the Historic District and the Medina County community.

**Staff Recommendation:**

Staff recommends the Historic Preservation Board **approve** a Certificate of Appropriateness for the proposed 4-story, approximately 86,500 sqft building addition and site improvements at 99 Public Square as presented.



**MEDINA COUNTY COURTHOUSE  
SECOND SUBMISSION TO HISTORIC PRESERVATION BOARD**



**February 18, 2021**

**DESIGN NARRATIVE FOR HISTORIC PRESERVATION BOARD REVIEW**

**Site Location:**

The site is located in the block bounded by E. Liberty Street, Public Square, E. Washington Street, and S. Jefferson Street. The proposed area of development is in the center of the block between the existing County Courthouse and the existing Parking Garage.

**Project Introduction:**

The applicant requests a certificate of appropriateness for a new four-story 86,576 square-foot building that will be attached to the rear of the Old Courthouse at 99 Public Square and also includes a connector corridor to the rear of the 1969 Courthouse at 93 Public Square. The building will serve as the new Medina County Courthouse.

- The First Floor will consist of 22,690 sqft of new construction to include a public entry point with a security check point, the County Clerk archive records, a Testing Lab, a secure Sallyport and In-Custody hold areas, multiple file storage rooms, and building support and mechanical spaces.
- The Second floor will consist of 21,890 sqft of new construction to include the County Clerk transaction windows, work areas, and offices, a future Common Pleas Courtroom and Judicial Staff offices, and the Domestic Relations Court and Judicial Staff. This floor will connect to the existing Old Courthouse where 7,440 sqft of interior space will be renovated for use by the Domestic Relations Court.
- The Third Floor will consist of 21,890 sqft of new construction to include the Common Pleas Court and Judicial Staff. This floor will connect to the existing Old Courthouse where 7,440 sqft of interior space will be renovated for use by the County Adult Probation office.
- The Fourth Floor will consist of 20,100 sqft of new construction to include the Probate Court, Juvenile Court, Juvenile Probation, and Judicial Staff.
- The exterior of the building will consist primarily of red brick to complement the surrounding structures. Cast stone will be used at the base of the building. The pilasters and pediment at the main entrance of the building, along with the cornice, will be made of GRFC (glass fiber reinforced concrete). The GRFC is a lightweight material that is best-suited for areas of the building that are higher than pedestrian level. Windows will be individual aluminum insulated units with interior muntins and cast stone sills and headers.
- An ornamental steel security fence will be provided around the secure parking at the Sallyport.
- An entry plaza will be developed at the south side of the building along with street-level handicapped accessible parking.
- No changes are planned for the exterior of the Old Courthouse at 99 Public Square.

**This review is the formal submission to the Board for a Certificate of Appropriateness. Items revised from the initial discussion submission are identified herein as BOLD.**

In addition to review by the Historic Preservation Board, this project will be reviewed by the Board of Zoning appeals for a variance from Section 1130.05 of the City of Medina Planning and Zoning Code to allow for the 53'-4" height above grade. This project will also be reviewed by the Planning Commission for Site Plan review.

Please find attached to this report:

1. Documents prepared by Brandstetter Carroll, Inc. dated 02/18/2021:
  - a. Color renderings of the proposed building.
    - i. **The South Elevation/Primary Façade of the building has been revised per the direction of this board on 2/11/2021.**
    - ii. **A view of the north façade showing the parking garage has been provided.**

- iii. **A view from above showing the west side of the building facing the courtyard has been provided.**
- b. An 11x17 color Site Plan indicated areas of New Building, Renovated Building, Asphalt driveway and parking, Hardscape, and Landscape areas.
- c. A full-size site plan drawing (30"x42") C-100 **dated 02/18/2021** prepared by Brandstetter Carroll, Inc.
- d. **Full size exterior elevation drawings (30"x40") A-201 and A-202 dated 02/18/2021 prepared by Brandstetter Carroll, Inc.**
- e. Context building elevations showing the relationship of the new building to the surrounding existing buildings.
- f. Photographs of the existing site and surrounding buildings.

**City of Medina Design Guidelines:**

*Section 145.07 (b): Additions/new construction. With respect to additions/new construction to existing buildings and all new buildings or structures within Historic Districts, it is generally the interest of the Board that such additions/new construction shall be designed to enhance the character of the Historic District. Consistent with the preface of this Chapter, new buildings and additions should be representative of architectural design and construction of contemporary times.*

*Additions to existing buildings in the Historic District should be designed so as not to detract from the original character of the building. Whenever possible, additions should be located away from the primary or street face of the building. The addition should be designed so as not to destroy existing architectural features, such that the addition can be removed and the building restored to its original condition.*

**Context of surrounding buildings:**

The Old Courthouse located at 99 Public Square is on the National Register of Historic Places. It was originally constructed in 1841 as a Greek Revival structure. In 1873 additions were constructed flanking either side of the building including the mansard roof and cupola in a French Second empire style. Subsequent additions to the rear occurred in 1906, 1933, and 1951. The building is brick and stone with a slate roof.

The 1969 Courthouse was constructed in 1969 in a Federal Revival style with red brick, a cast stone base, wood columns, and a wood cornice and pediment. The rear of the building is a blank brick wall with one triple window in the center of the Second Floor.

The Sturgis House at 72 Public Square was constructed in 1873 in the Italianate style. It is made of red brick with stone arches at the windows and a wood cornice. In 2000 a modern addition was constructed at the rear entrance.

**Proposed New Building:**

The proposed new building is a present-day interpretation of Classical Greek Revival style, in order to enhance the character of the historic district while being a current design. The new building connects to the rear of the Old Courthouse, located away from the primary street face of the historic Old Courthouse. The connection between the existing Old Courthouse and the new building is intended to be of a material that is distinctly different from the existing building, while still in keeping with the historic district. We are currently showing a cast stone material, however that could be a brick material of a different color.

The windows in the new building will be punched openings of appropriate proportions for the style and will have cast stone sills and headers as well as interior muntins. Brick detailing at the corners will reflect the quoins on the Old Courthouse.

The base of the building is created with bands of cast stone. The pilasters and pediment on the South Facade accentuate the main entry to the building and give it the stature of a prominent government building.



N BROADWAY

E LIBERTY ST

S BROADWAY

E WASHINGTON ST

S JEFFERSON ST

Subject Site



H21-02, P21-05 & Z21-03  
99 Public Square  
County Courthouse Addition  
March 11, 2021

1 inch = 100 feet







REVISED  
FEB 10 2021

VIEW LOOKING NORTH  
FROM E. WASHINGTON STREET





VIEW LOOKING SOUTHEAST  
FROM E. LIBERTY STREET





VIEW LOOKING SOUTHWEST  
FROM E. LIBERTY STREET

**MEDINA COUNTY COURTHOUSE**  
**02-18-2021**





OVERHEAD VIEW LOOKING NORTHEAST



**SOUTH BROADWAY 99'**

I, DOUGLAS S. JEWEL CERTIFY THAT THE EXISTING TOPOGRAPHIC AND BOUNDARY INFORMATION IS COMPILED FROM A FIELD SURVEY DATED, NOVEMBER 19, 2019

DOUGLAS S. JEWEL, OHIO PROFESSIONAL SURVEYOR S-8007  
 DATE: 03 FEBRUARY 2020



**LEGEND**

- EX. SANITARY SEWER
- EX. SANITARY MANHOLE
- EX. STORM SEWER
- EX. STORM MANHOLE
- EX. CURB INLET BASIN
- EX. 2-2-B INLET BASIN
- EX. WATER MAIN
- EX. HYDRANT ASSEMBLY
- EX. LINE VALVE
- EX. GAS LINE
- EX. GAS LINE VALVE
- EX. TELEPHONE POLE
- EX. POWER POLE
- EX. GUY WIRE
- EX. OVERHEAD LINE
- EX. SIGN
- EX. CONTOUR
- EX. TREE LINE

**MEDINA COUNTY COURT HOUSE**  
 LOCATED IN COUNTY OF MEDINA

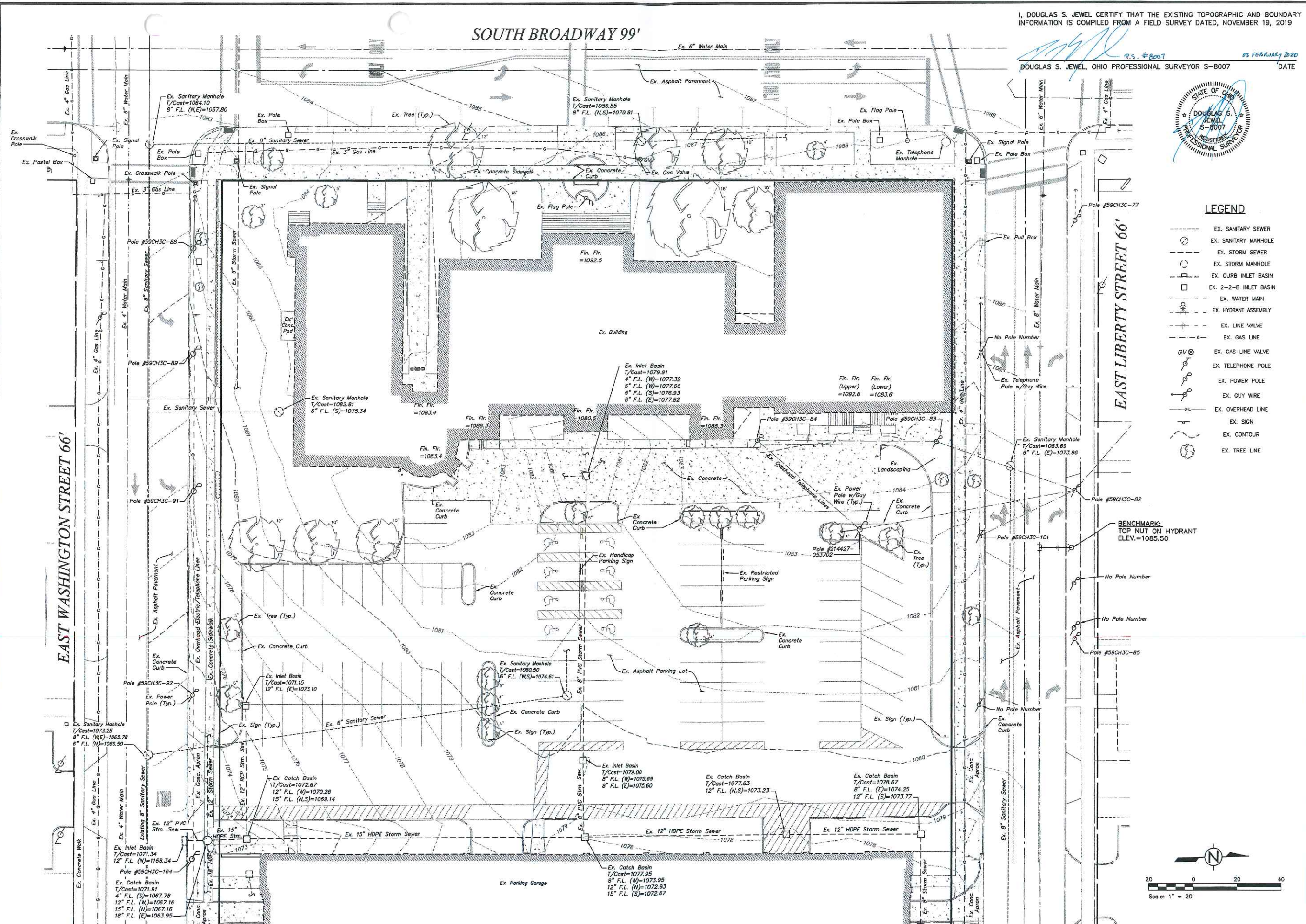
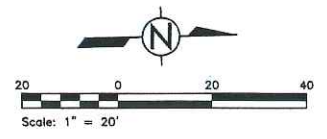
**CUNNINGHAM & ASSOCIATES, INC.**  
 CIVIL ENGINEERING AND SURVEYING  
 203 W. LIBERTY ST. MEDINA, OHIO 44126 330-225-5000

**EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY PLAN**

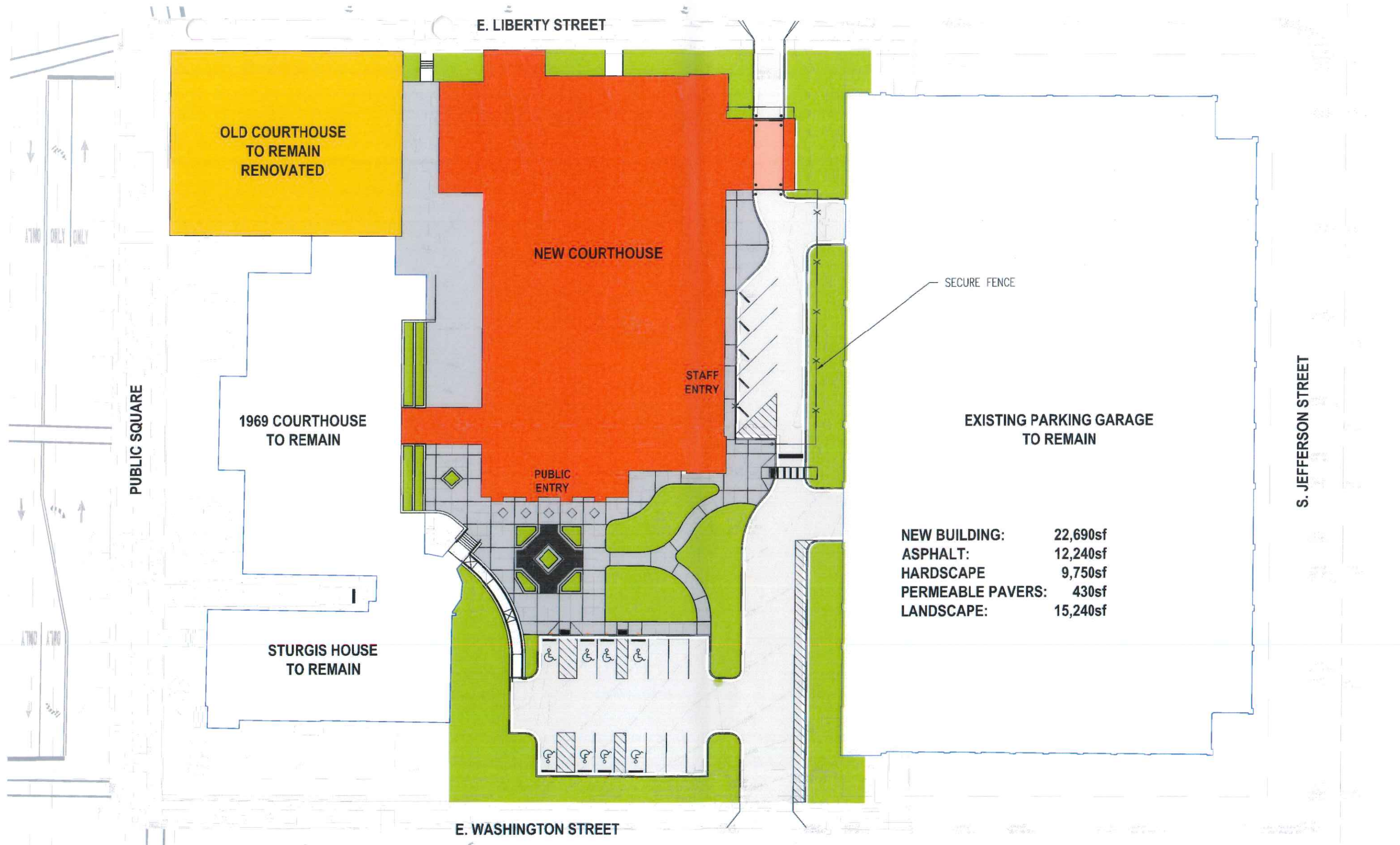
DRAWN BY: CAH  
 DATE: 02/04/2020  
 CHECKED BY: DSJ  
 DATE: 02/04/2020  
 PROJECT No. 19-198  
 ACAD FILE No. M...19-198 EX.dwg

SCALE: PLAN 1"=20'  
 PROFILE: Horz. Vert.

SHEET NO. 1/1

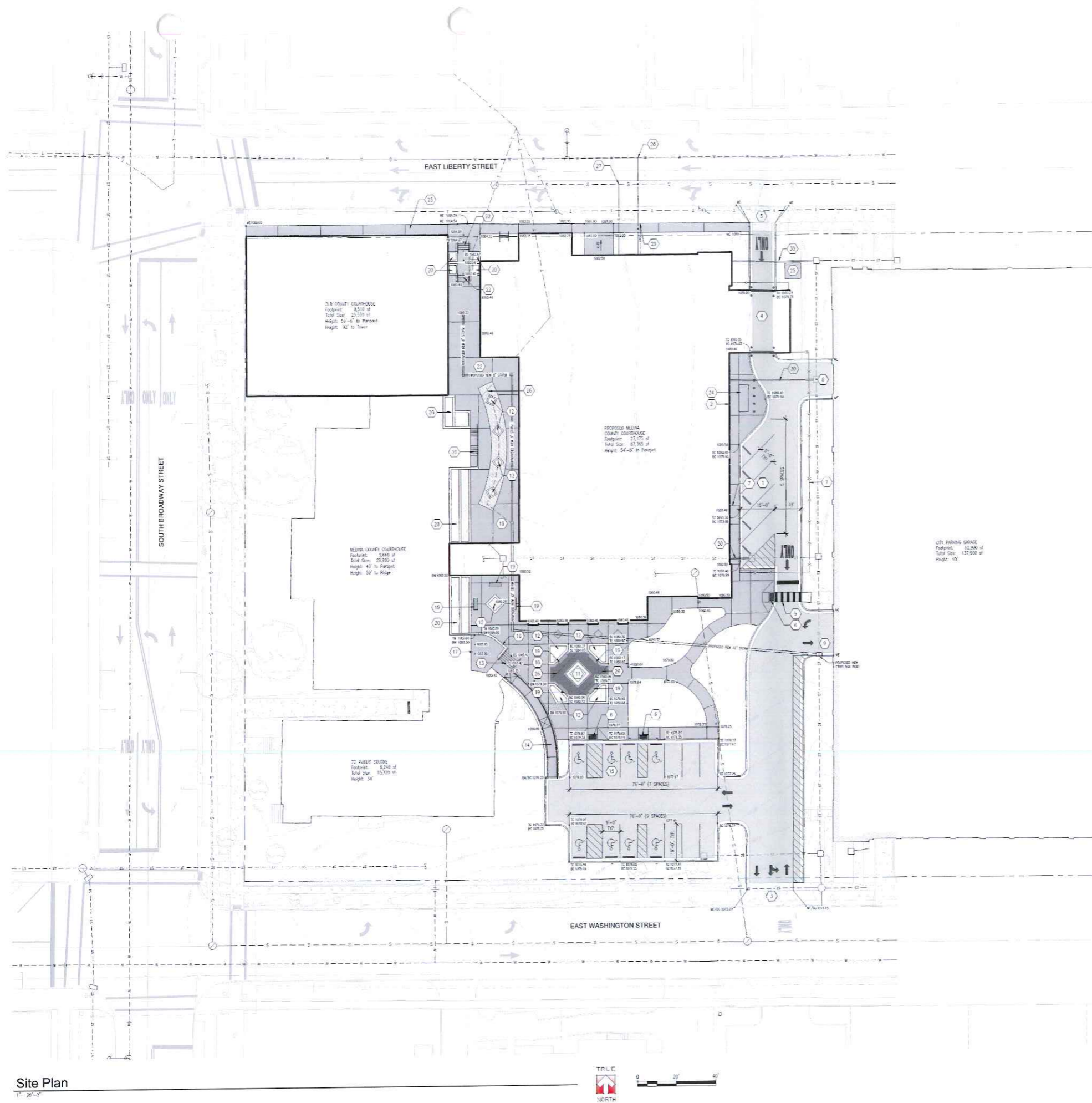






<b>NEW BUILDING:</b>	<b>22,690sf</b>
<b>ASPHALT:</b>	<b>12,240sf</b>
<b>HARDSCAPE</b>	<b>9,750sf</b>
<b>PERMEABLE PAVERS:</b>	<b>430sf</b>
<b>LANDSCAPE:</b>	<b>15,240sf</b>





**General Notes**

1. EXISTING SITE PLAN CONDITIONS (INCLUDING ANY BASED UPON SURVEY PERFORMED BY OTHERS) IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL CONDITIONS PRIOR TO BIDDING AND/OR CONSTRUCTION.
2. THE CONTRACTOR SHALL MAINTAIN OWNER ACCESS TO SITE AND/OR FACILITIES DURING CONSTRUCTION.
3. THE CONTRACTOR MUST COORDINATE ALL SITE STAGING/CONSTRUCTION ACTIVITIES WITH THE OWNER PRIOR TO COMMENCEMENT OF WORK.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SAFEGUARD ITEMS WHICH ARE NOT AFFECTED BY THE SCOPE OF DESIGN/CONSTRUCTION OF THIS PROJECT. ANY AND ALL DAMAGES TO SAID ITEMS SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY. AFFECTED ITEMS SHALL BE REPAIRED/REPLACED BY CONTRACTOR AT THE OWNER'S DISCRETION AND TO THE OWNER'S SATISFACTION.
5. ALL ITEMS RELATIVE TO LOGISTICAL SUPPORT OF CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO CONSTRUCTION ACTIVITY PLANS, TEMPORARY FACILITY LOCATIONS, CONSTRUCTION FIDELITY LOCATIONS, STORMWATER POLLUTION CONTROL ELEMENTS, PROJECT STORAGE, ETC., SHALL BE SUBMITTED TO OWNER FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION.
6. REMOVAL/RELOCATION OF EXISTING UTILITIES AND/OR SIGNAGE MUST BE COORDINATED AND/OR APPROVED BY THE APPROPRIATE AGENCY PRIOR TO COMMENCEMENT OF ANY AND ALL ACTIVITIES. ALL WORK SHALL BE IN ACCORDANCE WITH AGENCY STANDARDS.
7. THE CONTRACTOR SHALL REPAIR AND/OR REPLACE AREAS OF ROADS OR SIDEWALKS DAMAGED DURING CONSTRUCTION ACTIVITIES AT THE OWNER'S DISCRETION.
8. ALL NEW AND RESURFACED PAVEMENT AREAS SHALL BE CONSTRUCTED AS PER DETAILS AND SPECIFICATIONS.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL NEW AND RESURFACED PAVEMENT AREAS ALONG WITH MODIFIED GRASS AREAS ALLOW THE FOLLOWING: GRADE DIRECTS RAINFALL AWAY FROM ALL STRUCTURES, AND PAVED/GRASS AREAS ARE CONSTRUCTED IN A MANNER WHICH PREVENTS ANY AND ALL POONDING.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE PRESENCE OF EXISTING PIPING AND UTILITIES PRIOR TO CONSTRUCTION ACTIVITIES.

**Coded Notes**

- 1 SECURED STAFF PARKING
- 2 STAFF ENTRANCE
- 3 CONCRETE ENTRANCE APRON
- 4 DRIVE THRU SALLYPORT
- 5 PEDESTRIAN ACCESS FROM GRADE
- 6 SIDEWALK ACCESSIBLE RAMP
- 7 SECURITY FENCE
- 8 MAINTENANCE AREA FOR SNOW REMOVAL NO VEHICULAR ACCESS
- 9 GARAGE ACCESS
- 10 COURTYARD PLAZA
- 11 SEAT WALL PLANTER
- 12 LANDSCAPE PLANTER WITH CURB
- 13 NEW STAIR ACCESS FROM COUNTY PROSECUTOR
- 14 ADA ACCESSIBLE RAMP
- 15 21" ADA ACCESSIBLE PARKING
- 16 RETAINING WALL WITH SAFETY FENCING
- 17 EXISTING CONCRETE STAIR ACCESS
- 18 INTERIOR COURTYARD PLAZA
- 19 BENCH SEATING
- 20 NEW LANDSCAPE PLANTERS
- 21 NEW STAIR FROM EXISTING EXPRESS
- 22 NEW STAIR ACCESS TO INTERIOR COURTYARD
- 23 REPLACE EXISTING CONCRETE SIDEWALK
- 24 GENERATOR PAD
- 25 TRANSFORMER PAD
- 26 PROPOSED 4" WERE UNDERDRAIN
- 27 PROPOSED SANDWY CONNECTION
- 28 PROPOSED WATER CONNECTION
- 29 PROPOSED GAS CONNECTION
- 30 FOOD WASTE CONNECTION TO STORM

**Legend**



**CITY OF MEDINA  
Commercial/Industrial Driveway Installation Specifications  
Within the Street Right-of-Way**



**CITY OF MEDINA ENGINEERING DEPT. (330) 722-9084**

Subgrade soil shall be firm and unyielding with no standing water.  
One inch (1") expansion joint is required between back of curb and driveway apron.  
One Half (1/2") expansion joints required between back of sidewalk and driveway apron, and between sidewalk in apron and continuation of sidewalk in both directions.  
Required thickness of concrete within the Right-Of-Way, including sidewalk, is to be a MINIMUM of:

- 8" - RESIDENTIAL
- 8" - COMMERCIAL
- 8" - INDUSTRIAL

Four mesh required in the apron and sidewalk.  
A minimum of 2" compacted stone base is required, Type 57 or 304 limestone.  
Maximum width of driveway at curb is:

Minimum Width at Curb Line (ft., A+B)	Width at R.O.W. Line (ft., W)	
	Minimum	Maximum
Residential	22	18
Commercial or Public Facility	38	12
Industrial	120	24

Inspection is required prior to cutting curb, must be marked prior to scheduling inspection. Inspection is required after forms are in place and prior to placement of concrete.  
**ALL CURB CUTS SHALL BE MADE WITH A HORIZONTAL SAW**

**SIDEWALK DETAIL**  
(ADA Compliant concrete curb ramps required at intersection of public sidewalk and pavement curb; refer to CDOT Drawing drawing Curb Ramps with Truncated Domes)

**SIDEWALK NOTE:** Sidewalk outside of drive areas to be 4" thick 4000 concrete; sidewalk within drive areas to be fiber reinforced concrete a minimum of 7" thick for residential drives, 8" thick for commercial and retail drives, and 8" thick for industrial drives.

Site Plan  
1" = 20'-0"



Revisions:  
Issue Date: February 18, 2020

**Medina County Courthouse**  
93 Public Square  
Medina, Ohio 44256

Site Plan

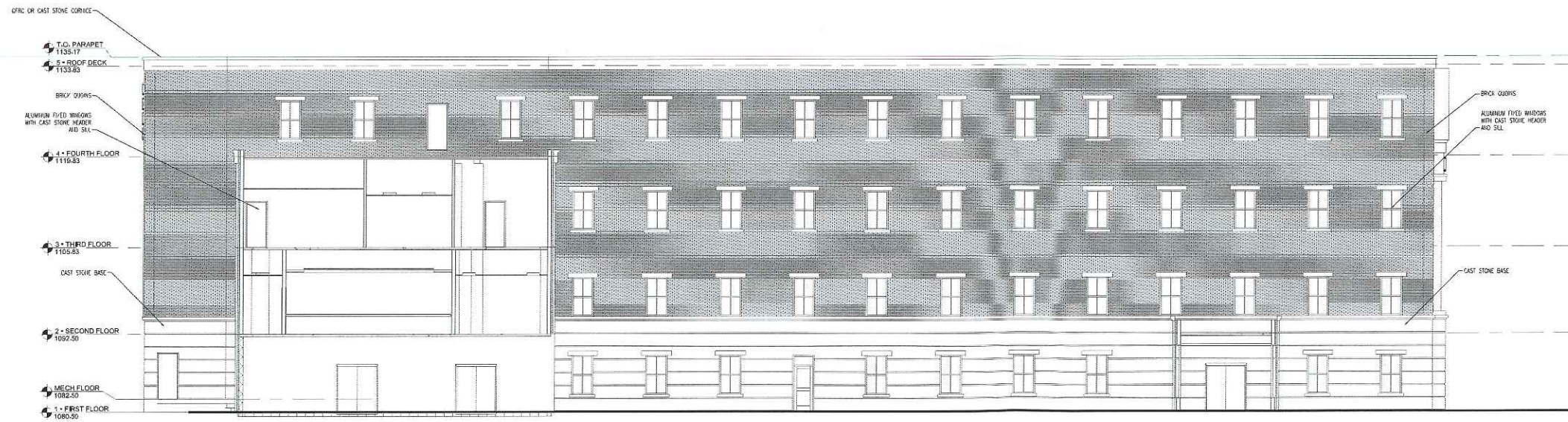
Project No. **C-100**  
19068

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1 SOUTH ELEVATION  
1/8" = 1'-0"



2 WEST ELEVATION  
1/8" = 1'-0"

Revisions:	NUMBER	DATE	DESCRIPTION
2	03/18/2021	PLANNING AND SCHEMATIC	
1	09/23/2020	GIORNO SD Package	

Issue Date:

**MEDINA COUNTY  
COURTHOUSE**  
Renovation  
93 Public Square  
Medina Ohio 44256

**SOUTH AND WEST  
EXTERIOR ELEVATIONS**

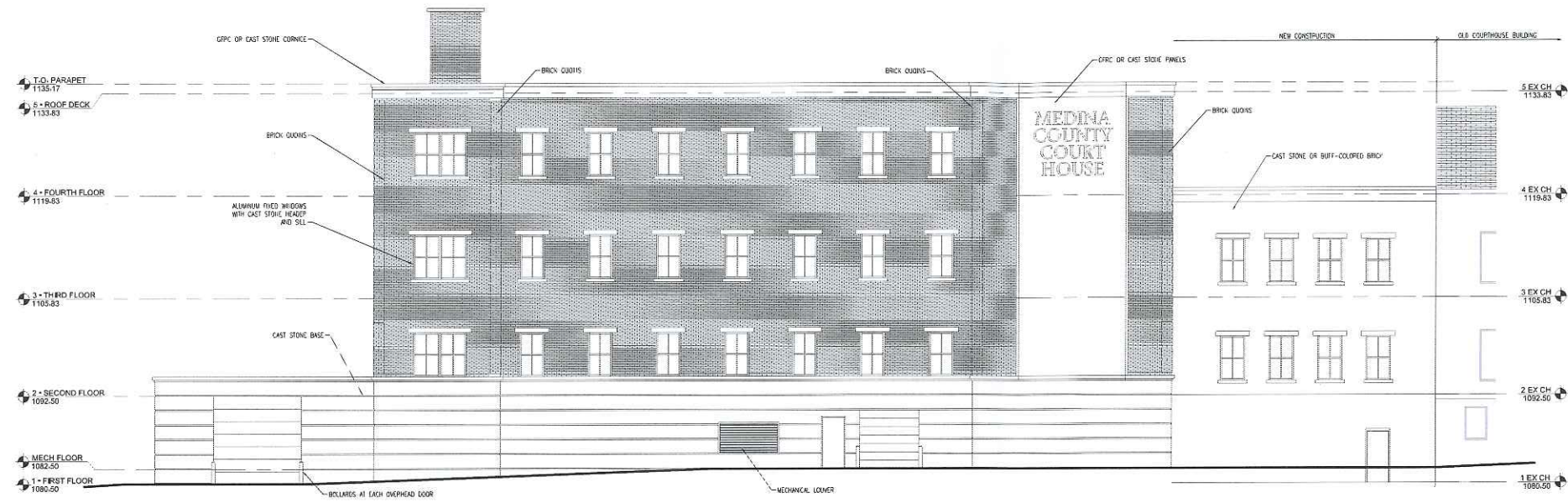
Project No.

19068

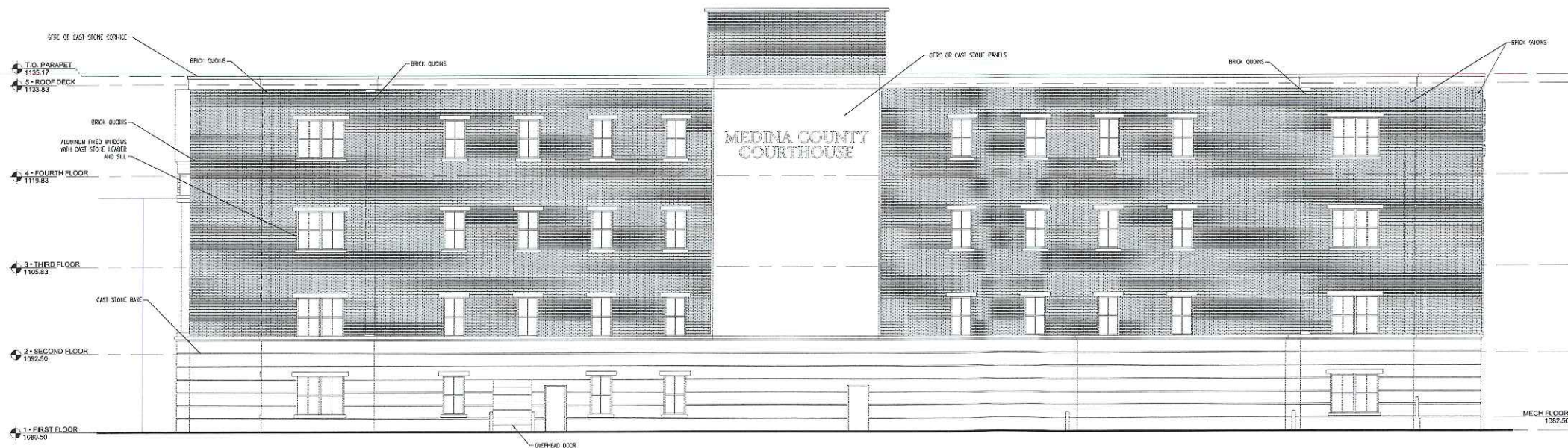
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2-17-21 PROGRESS SET



1 NORTH ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"

Revisions:	NUMBER	DATE	DESCRIPTION
2	02/18/2021	PLANNING AND SCHEMATIC	
1	09/23/2020	GRADING AND FOUNDATION	

Issue Date:  
**MEDINA COUNTY  
COURTHOUSE**  
Renovation  
93 Public Square  
Medina Ohio 44256

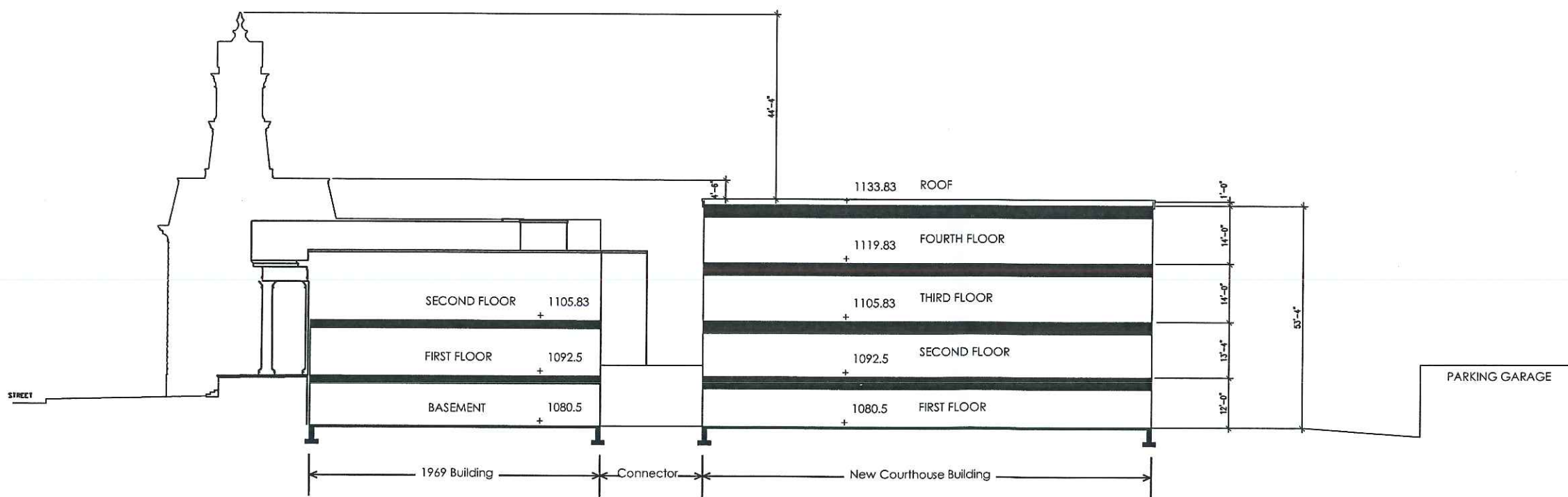
**NORTH AND EAST  
EXTERIOR ELEVATIONS**

Project No.

19068

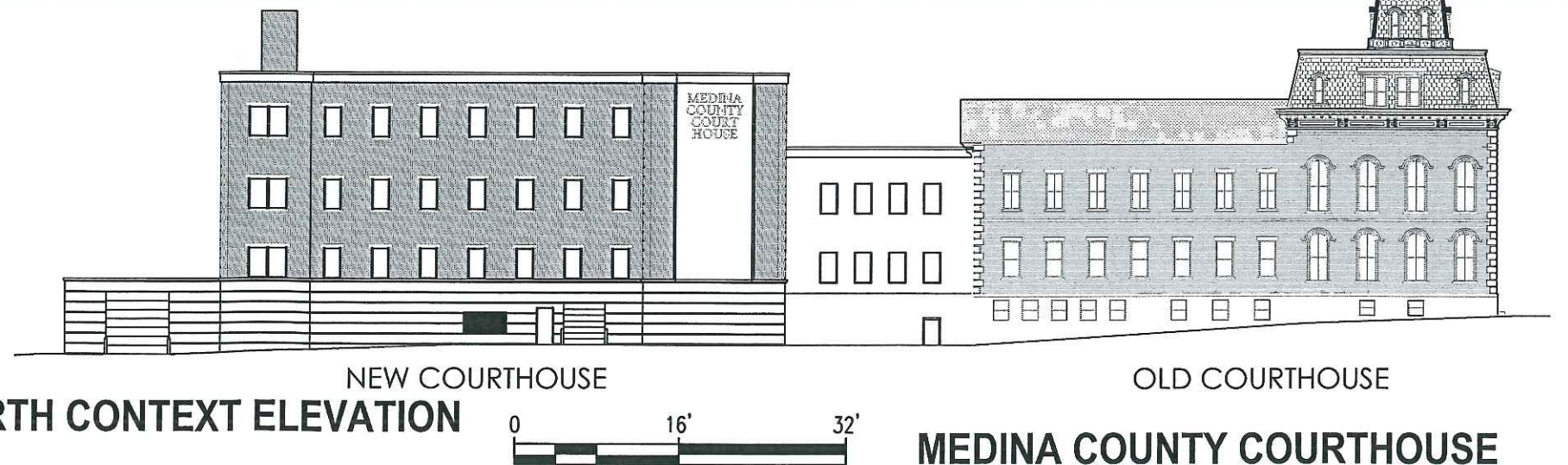
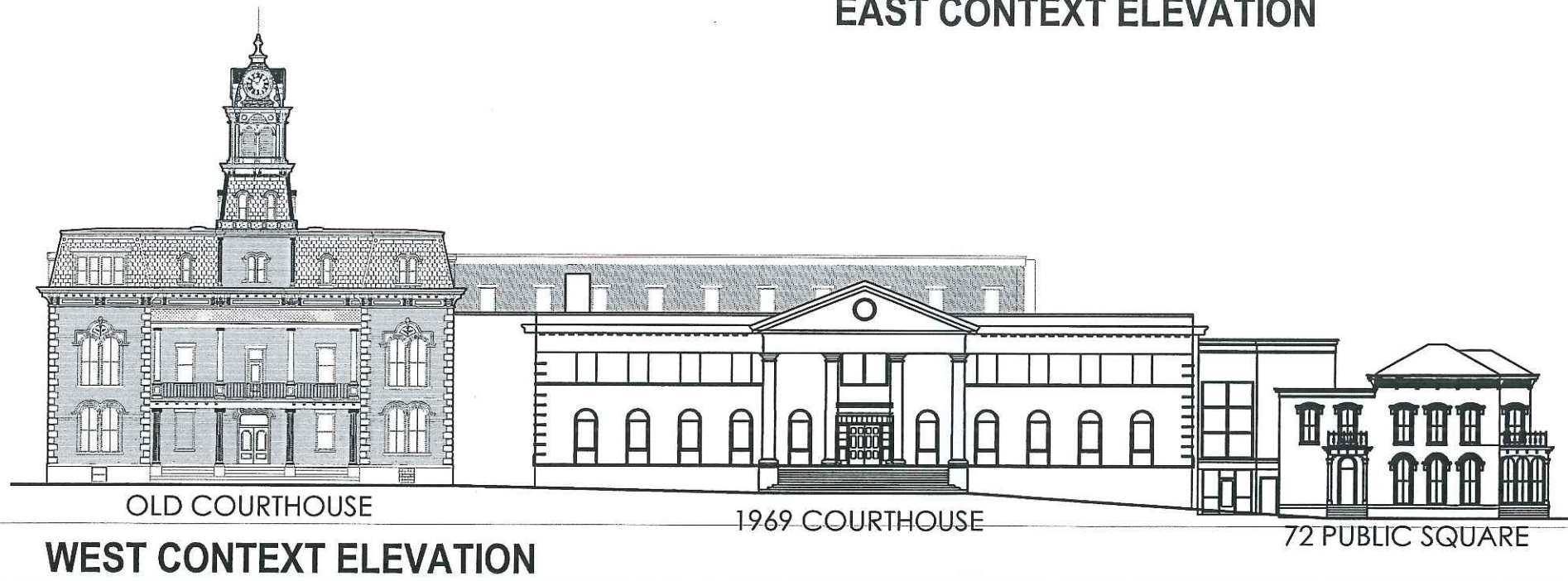
A-201





**CONTEXT BUILDING SECTION**





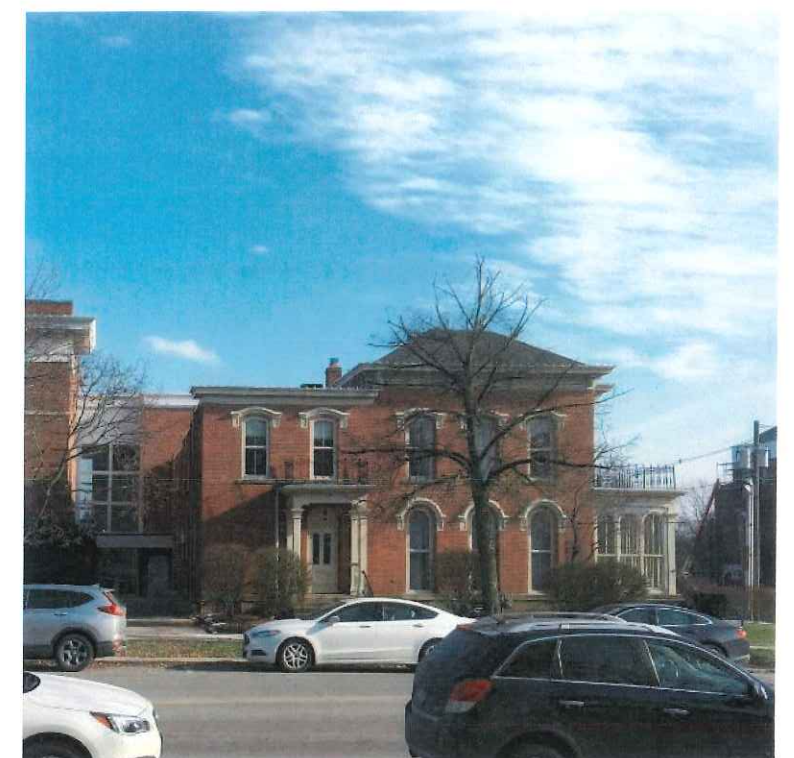




Old Courthouse  
99 Public Square



1969 Courthouse  
93 Public Square



72 Public Square



Old Courthouse  
North Side - E. Liberty Street



72 Public Square  
South Side - E. Washington Street





Courthouse Block - East Side



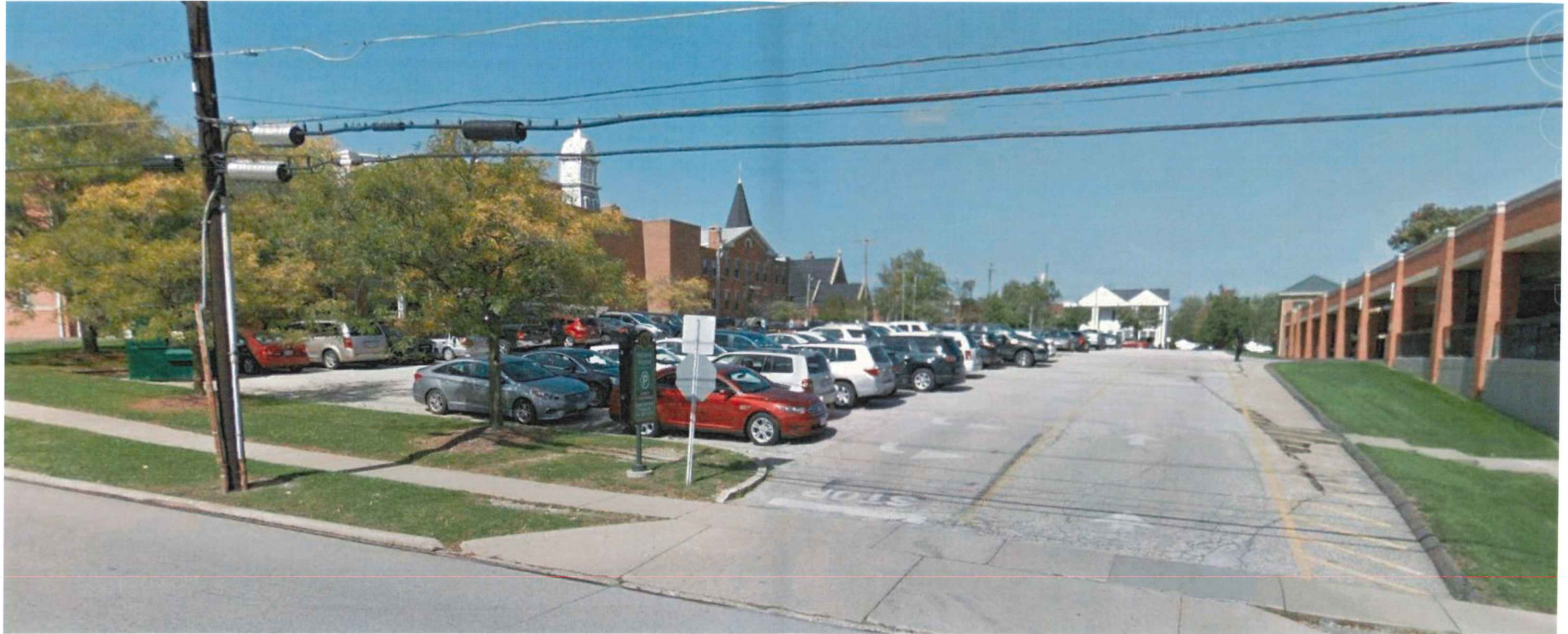
Parking Garage - West Side





View of site from E. Liberty Street





View of site from E. Washington Street





VIEW LOOKING EAST  
FROM PUBLIC SQUARE

**MEDINA COUNTY COURTHOUSE**  
**02-19-2021**