


MEETING DATE: 04/8/21

**HISTORIC PRESERVATION
BOARD**

**Case No. H21-05
135 West Liberty Street**



CITY of MEDINA
Historic Preservation Board
April 8, 2021 Meeting

Case No: H21-05
Address: 135 W. Liberty Street
Applicant: Rose Company
Subject: Certificate of Appropriateness to demolish the existing building and construct a new 4-story mixed use building
Zoning: C-2 Central Business District
Submitted by: Jonathan Mendel, Community Development Director 

Site Location:

The site is located in the middle of the north side of the 100 block of W. Liberty St.

Project Introduction:

The applicant requests a certificate of appropriateness for two actions:

- Demolish the entire existing site improvements
- Construct a new 4-story mixed use building
 - Ground floor is 11,500 sqft of flexible commercial space
 - 2nd-4th floors will have 39 residential apartments (mix of studios, 1 & 2 bedrooms units)

In addition to review by the Historic Preservation Board, this project will be reviewed on April 8, 2021 by the Board of Zoning Appeals for a variance from Section 1135.06 of the to allow a new building with a about 11,500 sqft building footprint instead of the maximum allowed 5,000 square feet and Planning Commission site plan review.

Please find attached to this report:

1. Architectural elevations, site plan, materials/colors descriptions and floorplans by Architectural Design Studios Incorporated received March 3, 2021
2. Site aerial photograph

City of Medina Design Guidelines

Section 145.07 (c): Demolition. With respect to demolition, it is the interest of the Board that Landmark Buildings and buildings within Historic Districts be preserved and renovated for economically productive uses. The Board encourages the saving and adaptive re-use of buildings significant to the character of the Historic Districts and the

history of the City. Consistent with this intent, the Board also realizes the Historic District is not a static environment, but an ever changing and developing entity. Applications for demolition shall be reviewed based on the overall impact the demolition will have on adjacent Historic Landmarks, Historic Districts, and the community. In reviewing an application, the Board will also consider the impact of the proposed use of the site on the Historic District. Demolition of existing buildings which are not a significant loss to the Historic District to allow for the construction of new development which enhances the Historic District may be acceptable.

Section 145.07 (b): Additions/new construction. With respect to additions/new construction to existing buildings and all new buildings or structures within Historic Districts, it is generally the interest of the Board that such additions/new construction shall be designed to enhance the character of the Historic District. Consistent with the preface of this Chapter, new buildings and additions should be representative of architectural design and construction of contemporary times.

Staff Comments:

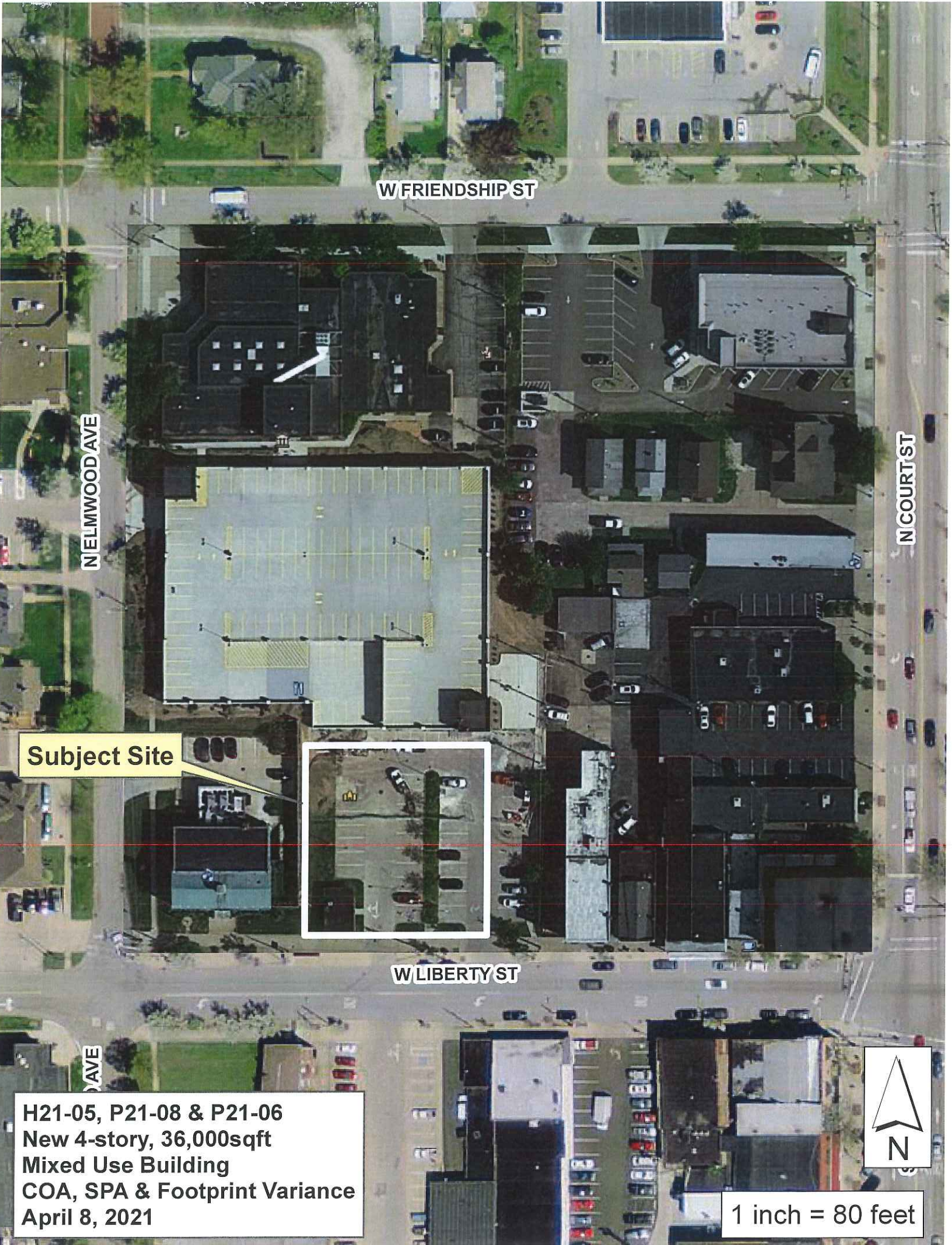
The existing building has been on this site for many decades and housed various uses over that time. The existing building does represent a part of the history of downtown Medina, but does not contribute to the community's vision for the immediate and surrounding areas of central Medina. The existing building is relatively small and not adaptable for uses that would contribute to the continued and expanding vitality of the downtown. The building is not a significant loss to the Historic District when compared to the value the proposed mixed use development (commercial and residential) will provide to the continued and expanding downtown vitality.

The proposed building's primary façade facing West Liberty Street uses four historical main street architectural styles that fall under two general architectural periods - Italianate and Early 20th Century Commercial. The proposed will be consistent with the architecture of the existing Historic District and the design's execution is appropriately detailed and proportioned in relation to the specific architectural styles.

Lastly in regards to the desire in Section 145.07(b) for the design to "*enhance the character of the Historic District*" and "*be representative of architectural design and construction of contemporary times*", the project certainly enhances the character of the Historic District with its pedestrian orientation and street level storefront transparency, which is the commonly valued character throughout the Historic District. Additionally, although the architectural styles are historical styles and may not be representative of contemporary times, the execution of the architectural styles is good and urban form is objectively a vast improvement over the existing site.

Staff Recommendation:

Staff recommends the Historic Preservation Board grant a Certificate of Appropriateness for the demolition of the existing building and site improvements and construction of the proposed 4-story mixed use building and site improvements as presented.



W FRIENDSHIP ST

N ELMWOOD AVE

N COURT ST

W LIBERTY ST

AVE

Subject Site



H21-05, P21-08 & P21-06
New 4-story, 36,000sqft
Mixed Use Building
COA, SPA & Footprint Variance
April 8, 2021



1 inch = 80 feet



Architecture
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March 2, 2021

Planning Commission & Historic Preservation Board
c/o Jonathan Mendel, Community Development Director
City of Medina
132 North Elmwood Street
Medina, Ohio 44256

Re: Liberty View
135 West Liberty Street

Dear Board Members,

We are requesting approval for the construction of the Liberty View Project. The project is a four storey mixed use building consisting of grade level commercial and three upper stories of residential apartments. The overall building facade along West Liberty is designed at 125 feet. This is divided into five, 25 foot bay with each bay representative of an apartment unit on each of the upper floors. The facade is further detailed as four separate structures, one being 50 feet in width. This gives it a heavier sense of massing similar to the Old Phoenix Block at the corner of East Washington and South Court Streets. The other three facades utilize the 25 foot bay spacing. The facades will be finished with brick masonry utilizing some hood and cornice work intended to reflect the historic detailing found in many of the buildings around the area. Many of the 1870's buildings around the Uptown Park district also utilized machined tin and cast iron elements to create the brackets and details found in their cornices and head details. Unfortunately, in some cases due to poor maintenance, these elements have deteriorated and details have been lost. The brick and cornice work proposed for the Liberty View project will utilize some similar brickwork in some areas. The brick will be laid in patterns to create details like window hoods, rowlocks, and soldier coursing. Cornices will be fabricated from more durable materials like Fypon moldings, Azek trim, and EIFS panels.

The street facades are designed to provide an individual storefront base element, body, and cornice element. Windows will have similar patterning as found on many of the original buildings in the area. These typically utilized double hung windows in a narrow vertical pattern. Our use of a bay window motif on the one building reflects back to the window detail of the brownstone building on the square. The storefront windows and doors of the past often incorporated cast iron elements, detailed to mimic wood and stone construction. The storefronts for Liberty View will adapt similar massing and details, but will use efficient aluminum storefront glazing systems integrated with masonry materials and contemporary trim materials. Sign areas will be incorporated into the storefront cornice elements and accented with awnings.

The final design is unique in character, utilizing contemporary materials, but incorporating the patterns and massing of the historic structures within the district. The building utilizes a storefront facade and cornice structure that visually supports the masonry body of the building above. Each facade utilizes a different window pattern. These mimic various buildings within the district, but they are unique and specific to each of these facades. Each building is then provided with a finishing cornice element. Some fairly simple in character and some a little more highly styled like seen on the south and west facades of the buildings on the square. By

mixing the patterns, colors, and brickwork for the facades, and setting the building along the ROW of Liberty Street, you can see from the rendering how the Liberty View project will visually extend the lines of Sully's and the other historic facades along Liberty Street to the west. Stopping slightly short of the western property line, the area opens up allowing the Pease Federal Building to stand comfortably in its current location.

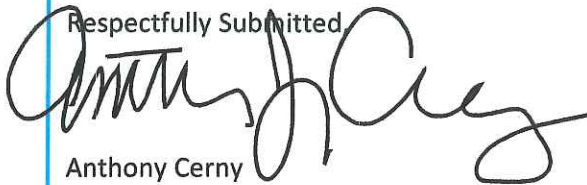
The east facade of the building faces onto the drive that services the new parking structure to the north. This is the location for the entrance to the apartment lobby space. Above on this facade is a total of 12 apartments, 4 per floor that face out over this drive. This facade, though not as visible as the Liberty Street facade is finished with the same materials and similar details to the facades on Liberty Street. Unlike most of the historic structures around the square where the sides of the buildings are essentially minimally delineated, this east facade carries similar character and detailing as the main facade. The back of the building transitions to a masonry and brick base element with a facade of EIFS above. The detailing on the back of the building is simpler and more contemporary in character, but still reflects the massing, patterns, and proportions of the district. Utilization of two different body colors for the EIFS helps to break down the scale of the building, reinforcing the sense of individual buildings and not one large building.

The building is a total of 46,750 sf in area. The building is approximately 50' to the roof with the detailing on the Liberty Street cornice extending up a few more feet. The tallest building is the one named Sophia, which is 57' to the top of the central cornice element. At the east end, the Sophia Victoria Rose building is right at the 50' height. The names on the buildings are just holding places at the moment and the final building names are to be determined. The specifics of the building are as follows;

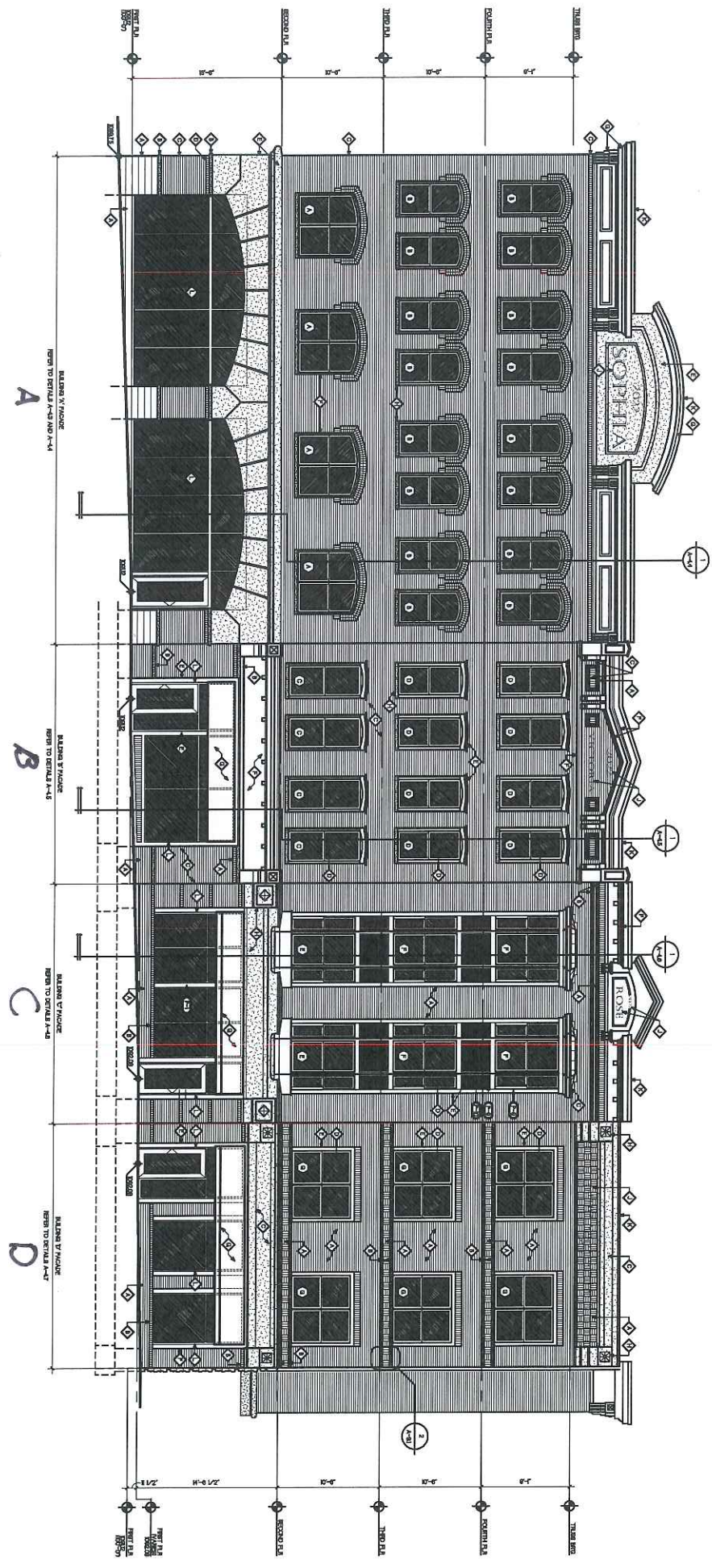
- Four storey mixed-use facility consisting of ground level retail with individual storefronts along West Liberty Street with three floors residential apartments
- 46,750 sf total building
- 9,100 sf commercial/retail space on first floor
- 39 apartments
 - 30 single bedroom apartments - 800 sf
 - 6 two bedroom apartments - 1,015 sf
 - 3 studios apartments - 530 sf
- Estimated Cost of Construction \$9,300,000

The elevations are noted with the intended materials and colors for the project. The selected materials are numerous due to the development of multiple individual building facades. We will bring samples of the building materials to the meeting for review.

Respectfully Submitted



Anthony Cerny
Architectural Design Studios, Inc



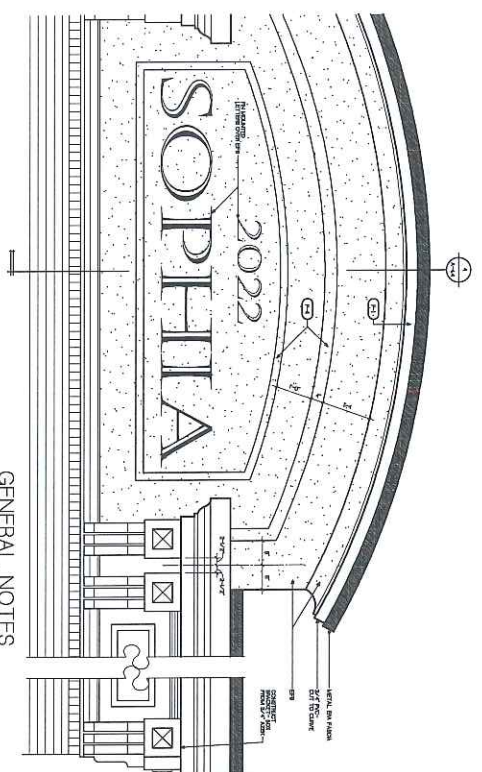
1 SOUTH ELEVATION
 SCALE 3/8" = 1'-0"

Building "A"

	PRODUCT	MANUFACTURER	COLOR	NOTES
A	Split Face 8" x 16"	Rockcast	Buffstone	Mortar - Limestone #58H
B	Bullnose 4"	Rockcast	Buffstone	Mortar - Limestone #58H
C	Modular Brick	Belden	St. Anne Blend 'A'	Mortar - Limestone #58H
D	Modular Brick	Belden	St. Anne Blend 'A'	Mortar - Limestone #58H
E	EIFS	DRYVIT	#105 Suede	Limestone Finish
F	Window Frame & Trim	Andersen	Sandstone SW #9174 Moth Wing	
G	Cornice			Refer to Details Sheets FA-4.3 & A-4.4 for paint color
H	Sillstone 4"	Rockcast	Buffstone	
J	Injection Molded Letters	Gemini	#0314 Old Copper	Stud Mounted
K	Fascia	Metal Era	Medium Bronze	
L	Aluminum Storefront Framing	Tubelite	Light Champagne	

NOTES:

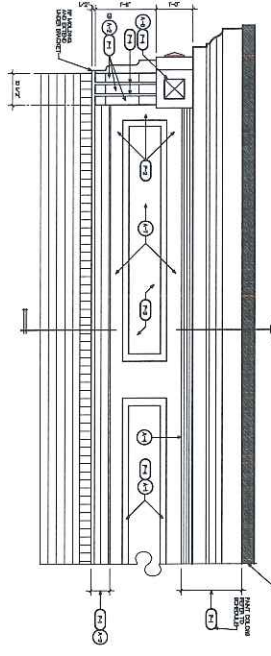
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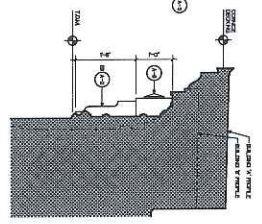
**GENERAL NOTES
BUILDING 'A'**

- 1 FROM EXISTING SLAB
- 2 FROM EXISTING CONCRETE
- 3 FROM EXISTING ALUMINUM SKEWED
- 4 FROM EXISTING ALUMINUM SKEWED
- 5 FROM EXISTING ALUMINUM SKEWED
- 6 FROM EXISTING ALUMINUM SKEWED
- 7 FROM PANEL

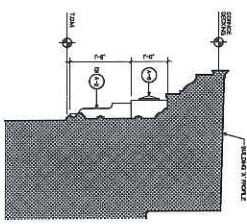
1 CORNICE ELEVATION BUILDING 'A'
SCALE 3/4" = 1'-0"



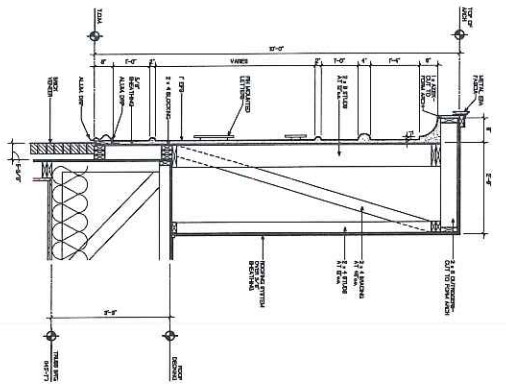
PROFILE



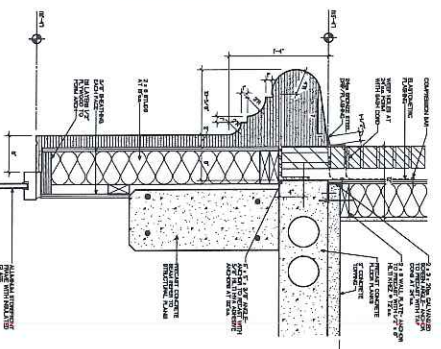
PROFILE



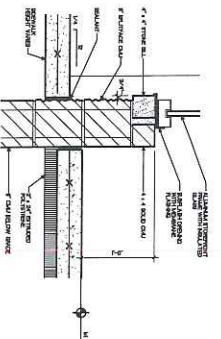
2 SIGN SECTION
SCALE 3/4" = 1'-0"



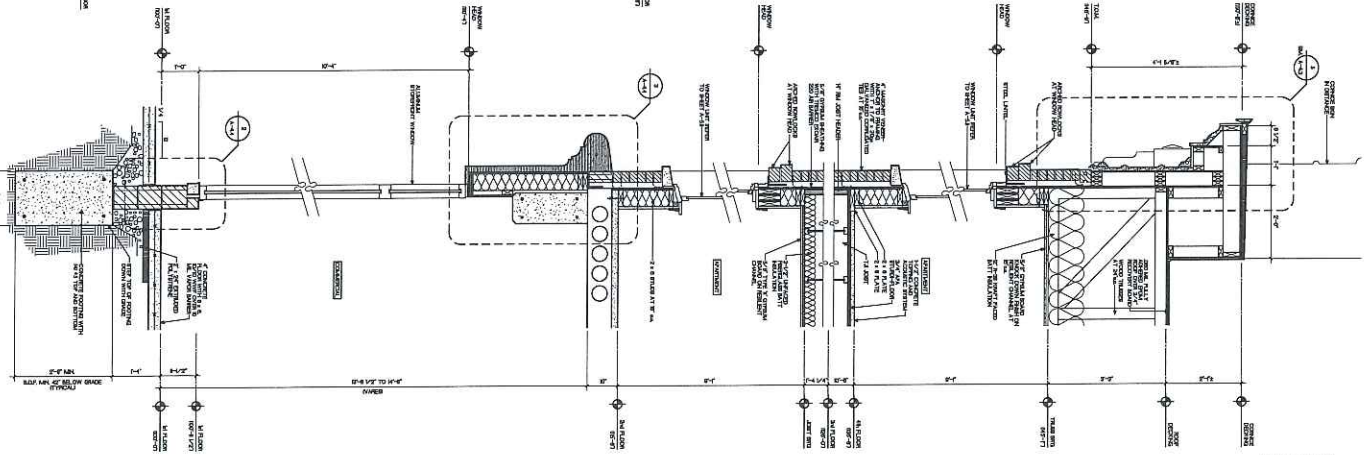
3 SIGN BAND DETAIL
SCALE 1/2" = 1'-0"



4 SILL DETAIL
SCALE 1/2" = 1'-0"



5 WALL SECTION BUILDING 'A'
SCALE 3/4" = 1'-0"



PLOTTED 2/28/2022

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MEDINA, OHIO 44256

ROSE COMPANY
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ISSUED

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Building "B"

	PRODUCT	MANUFACTURER	COLOR	NOTES
A	Modular Brick	Belden	Midland Blend 'A'	Mortar - Hearthstone #51H
B	Chamfered 5 5/8" #HD-2258	Rockcast	Buffstone	Mortar - Limestone #58H
C	Modular Brick	Belden	Rosewood Clear 'A'	Mortar - Hearthstone #51H
D	Windows	Andersen	Canvas	
E	Window Trim & Head		SW #2834 Birdseye Maple	
F	Cornice			Refer to Details Sheet A-4.5 for paint color
G	Awning	Sunbrella	Eastland Redwood	
H	Sillstone 4"	Rockcast	Buffstone	
J	Injection Molded Letters	Gemini	Metallic Gold	Stud mounted
K	Fascia	Metal Era	Sierra Tan	
L	Aluminum Storefront Framing	Tube-lite	Medium Bronze	

NOTES:

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Building "C"

	PRODUCT	MANUFACTURER	COLOR	NOTES
A	Modular Brick	Belden	Meadow Blend 'A'	
B	Modular Brick	Belden	Brandywine Velour 'A'	
C	Roof - Copper Standing Seam			
D	Window	Andersen	Sandtone	
E	Window Trim & Panel		SW #9149 Inky Blue SW #2837 Aurora Brown SW #7045 Intellectual Gray	
F	Cornice			Refer to Sheet A-4.6 for paint color
G	Awning	Sunbrella	Mediterranean Tweed	
H	EIFS	Dryvit	#105 Suede	Limestone Finish
J	Injection Molded Letters	Gemini	Old Copper	Stud mounted
K	Fascia	Metal Era	Slate Blue	
L	Aluminum Storefront Framing	Tubelite	Dark Bronze	

NOTES:

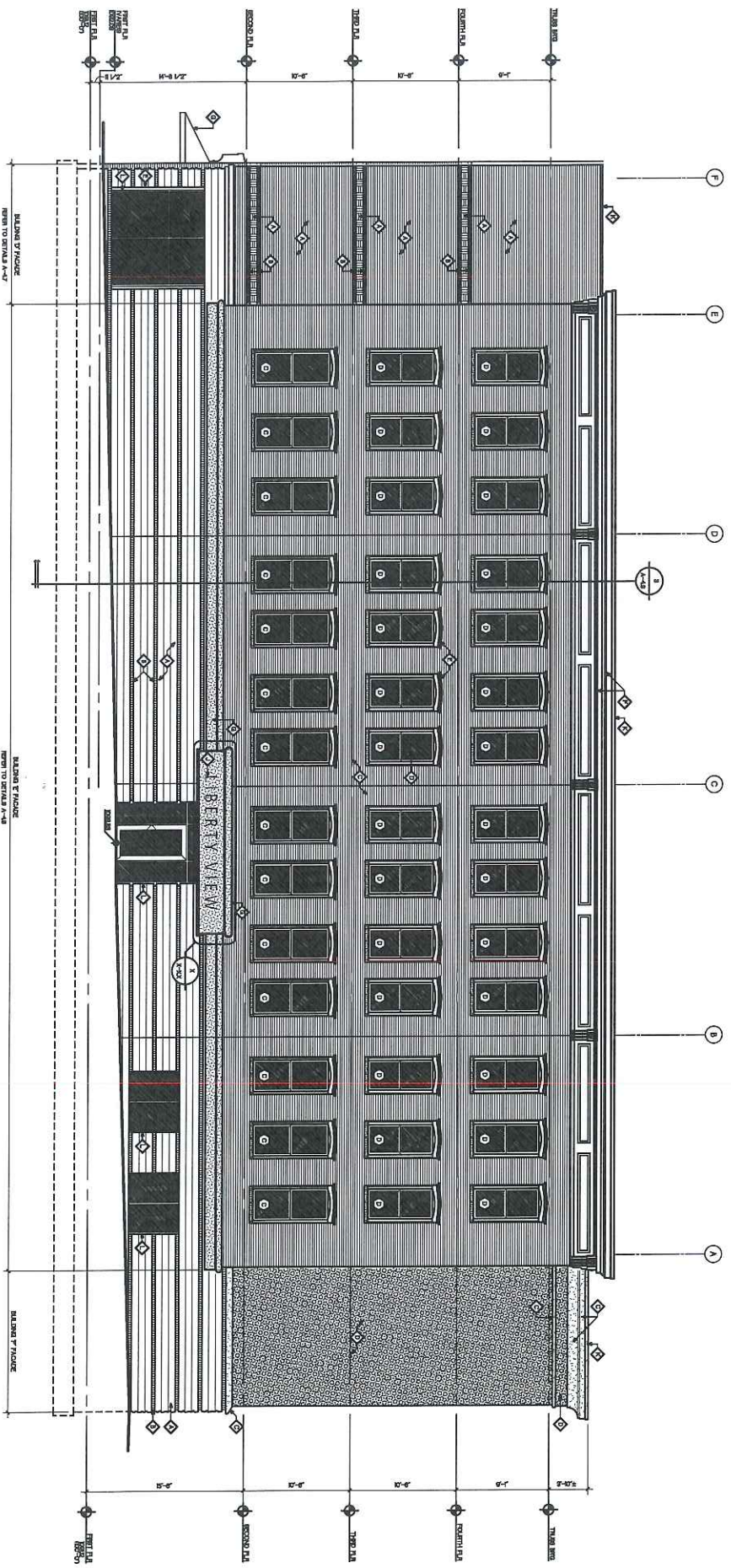
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Building "D"

	PRODUCT	MANUFACTURER	COLOR	NOTES
A	Modular Brick	Belden	Kingsport Dart Buckingham	Discontinued
B	Modular Brick	Belden	Brandywine Velour 'A'	
C	EIFS	DRYVIT	#111 Prairie Clay	Sandblast Finish
D	Window	Andersen	Sandtone	
E	Window Trim		SW #2818 Renwick Heather	
F	Window Trim		Light Champagne	.060 aluminum brake metal to match storefront framing
G	Awning	Sunbrella	Eastridge Cocoa	
H	Medallions 12"x 12"	Pineapple Grove	Oak Leaf - Brownstone	
J	Injection Molded Letters	Gemini	Metallic Gold	Stud mounted
K	Fascia	Metal Era	Sierra Tan	
L	Aluminum Storefront Framing	TubeLite	Light Champagne	

NOTES:

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1 EAST ELEVATION
 SCALE: 3/8" = 1'-0"

E

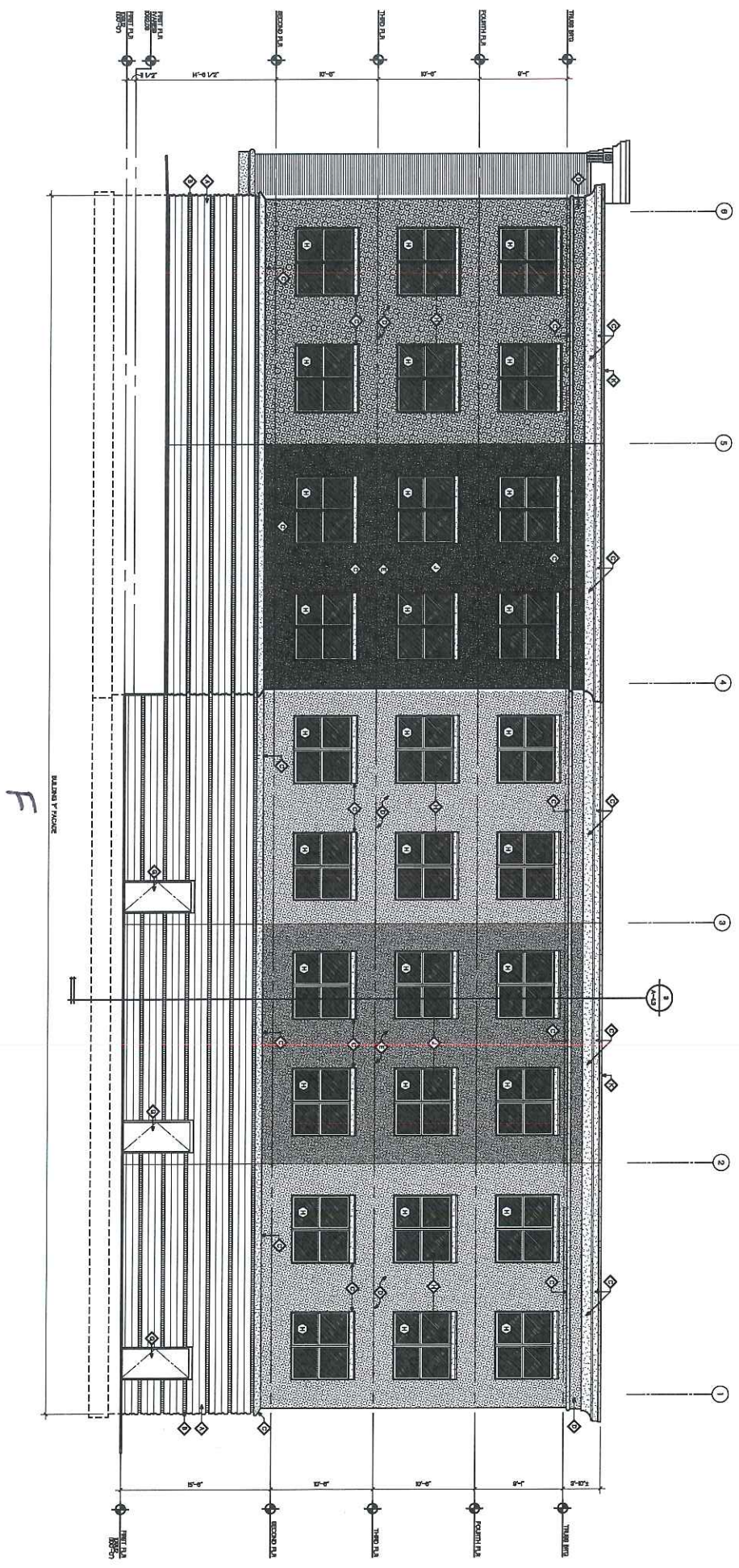
Building "E"

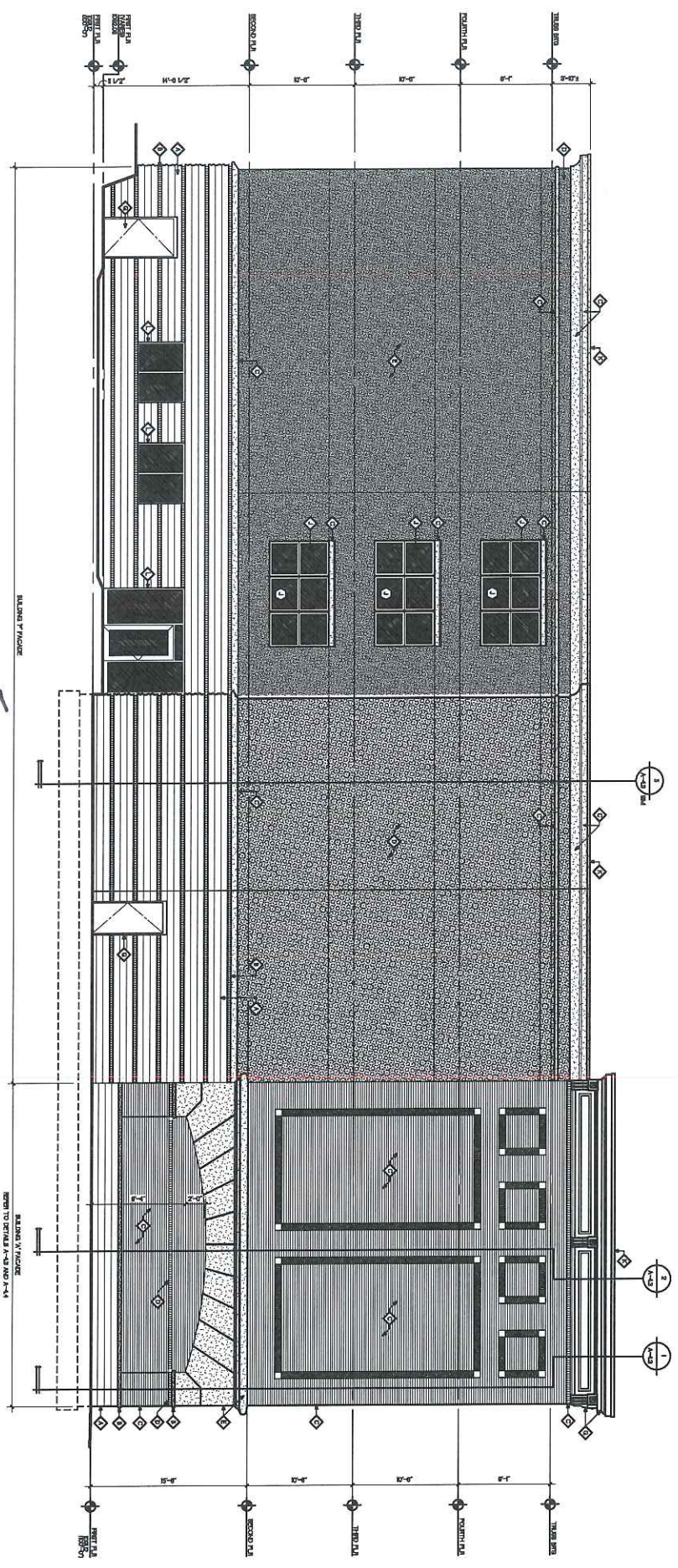
	PRODUCT	MANUFACTURER	COLOR	NOTES
A	Split Face 8" x 16"	Schory	Chalk	
B	Modular Brick	Belden	Rosewood Clear A	
C	Modular Brick	Belden	Rosewood Clear A	
D	Windows	Andersen	Canvas	
E	Window Trim & Head		SW #2860 Sage	
F	Cornice		Refer to Details this Sheet for Cornice Paint Colors	
G	EIFS	DRYVIT	#105 Suede	Limestone
H	Sillstone (4")	Rockcast	Buffstone	
J	Injection Molded Letters	Gemini	#0314 Old Copper	
K	Fascia	Metal Era	Medium Bronze	Stud Mounted
L	Aluminum Storefront Framing	Tubelite	Medium Bronze	

NOTES:

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1 NORTH ELEVATION
SCALE 3/8" = 1'-0"





1 WEST ELEVATION
 SCALE 3/8" = 1'-0"

Building "F"

	PRODUCT	MANUFACTURER	COLOR	NOTES
A	Split Face 8" x 16"	Schory	Chalk	
B	Modular Brick	Belden	Rosewood Clear 'A'	
C	EIFS	DRYVIT	#104 Dover Sky	Sandblast Finish
D	EIFS	DRYVIT	#305 Plum	Quarzputz Finish
E	EIFS	DRYVIT	#526 Fern Ridge	Quarzputz Finish
F	Not Used			
G	Paint	Sherwin Williams	Paint H.M. Doors SW #7546 Prairie Grass	
H	Window	Andersen	Sandtone	
J	Window	Andersen	Dark Bronze	
K	Fascia	Metal Era		
L	Aluminum Storefront Framing	Tubelite	Medium Bronze	

NOTES:

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Liberty View - Exterior Paint Colors

	COLOR	Mfr #	Product	Sheen	NOTES
	P-1	Moth Wing	SW 9174	Semi-Gloss	
	P-2	Birdseye Maple	SW 2834	Semi-Gloss	
Bldg A	P-3	Roycroft Vellum	SW 2833	Semi-Gloss	
	P-4	Roycroft Copper Red	SW 2839	Semi-Gloss	
	P-5	Roycroft Vellum	SW 2833	Semi-Gloss	
Bldg B	P-6	Birdseye Maple	SW 2834	Semi-Gloss	
	P-7	Harvest Gold	SW 2858	Semi-Gloss	
	P-8	Inky Blue	SW 9149	Semi-Gloss	
Bldg C	P-9	Aurora Brown	SW 2837	Semi-Gloss	
	P-10	Intellectual Gray	SW 7045	Semi-Gloss	
	P-11	Intellectual Gray	SW 7045	Semi-Gloss	
Bldg D	P-12	Renwick Heather	SW 2818	Semi-Gloss	
	P-13	Sage	SW 2860	Semi-Gloss	
Bldg E	P-14	Roycroft Brass	SW 2843	Semi-Gloss	
	P-15	Roycroft Vellum	SW 2833	Semi-Gloss	
	P-16	Birdseye Maple	SW 2834	Semi-Gloss	
	P-17				
	P-18				
	P-19				
	P-20				
	P-21				

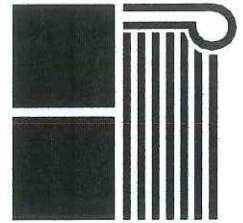
LIBERTY VIEW

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DOCUMENT CERTIFICATION
ORC 3791.042 & ORC SECTION 104.21.11
The design and construction documents for this project are not valid unless the title block data is entered electronically in the Ohio State Board of Architecture and Professional Surveyors' Online System (OSBAS) in accordance with Section 3791.042 of the Ohio Revised Code and Section 104.21.11 of the Ohio Administrative Code. The online system is available at: <http://www.osbas.com>

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ANTHONY J. CERNY, LICENSE #7826
EXPIRATION DATE 12/31/2021

ANTHONY J. CERNY
DATE

SYMBOLS	
ELEVATION MARK	REVISION INDICATOR
DOOR MARK	WINDOW MARK
REFERENCES TO DOOR SCHEDULE	REFERENCES TO WINDOW SCHEDULE
CENTER LINE	DIAMETER
PLATE OR PROPERTY LINE	PLUS OR MINUS
ANGLE	FRAMING
SECTION MARKER	BLOCKING
SECTION NUMBER	ELEVATION MARKER
SHEET NUMBER	ELEVATION NUMBER
CUT DIRECTION	SHEET NUMBER
COLUMN LINE	DETAIL MARKER
COLUMN INDICATOR	DETAIL NUMBER
SHEET NUMBER	SHEET NUMBER
NORTH ARROW	ROOF PITCH
PLAN	RISE
NORTH	CORNER OF PROPERTY LINE
RIGHT OF WAY BOW	
OR PROPERTY LINE	
WWF REINFORCING	
PLYWOOD SHEATHING	
RIGID INSULATION	
BATT INSULATION	
STEEL	
POROUS FILL	
CONCRETE	
EARTH	
MASONRY (PLAN VIEW)	MASONRY (SECTION VIEW)
CONC. BLOCK w/ BRICK VENEER	CONC. BLOCK
STUD WALL w/ BRICK VENEER	STUD WALL
	BOND BEAM

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SP-4	SITE LANDSCAPE PLAN
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SP-6	ADDITIONAL PLAN
SP-7	ADDITIONAL PLAN
SP-8	ADDITIONAL PLAN
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SP-10	ADDITIONAL PLAN
A-1	1ST FLOOR PLAN
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A-17	17TH FLOOR PLAN
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A-30	30TH FLOOR PLAN
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A-33	33RD FLOOR PLAN
A-34	34TH FLOOR PLAN
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A-36	36TH FLOOR PLAN
A-37	37TH FLOOR PLAN
A-38	38TH FLOOR PLAN
A-39	39TH FLOOR PLAN
A-40	40TH FLOOR PLAN
A-41	41ST FLOOR PLAN
A-42	42ND FLOOR PLAN
A-43	43RD FLOOR PLAN
A-44	44TH FLOOR PLAN
A-45	45TH FLOOR PLAN
A-46	46TH FLOOR PLAN
A-47	47TH FLOOR PLAN
A-48	48TH FLOOR PLAN
A-49	49TH FLOOR PLAN
A-50	50TH FLOOR PLAN
A-51	51ST FLOOR PLAN
A-52	52ND FLOOR PLAN
A-53	53RD FLOOR PLAN
A-54	54TH FLOOR PLAN
A-55	55TH FLOOR PLAN
A-56	56TH FLOOR PLAN
A-57	57TH FLOOR PLAN
A-58	58TH FLOOR PLAN
A-59	59TH FLOOR PLAN
A-60	60TH FLOOR PLAN
A-61	61ST FLOOR PLAN
A-62	62ND FLOOR PLAN
A-63	63RD FLOOR PLAN
A-64	64TH FLOOR PLAN
A-65	65TH FLOOR PLAN
A-66	66TH FLOOR PLAN
A-67	67TH FLOOR PLAN
A-68	68TH FLOOR PLAN
A-69	69TH FLOOR PLAN
A-70	70TH FLOOR PLAN
A-71	71ST FLOOR PLAN
A-72	72ND FLOOR PLAN
A-73	73RD FLOOR PLAN
A-74	74TH FLOOR PLAN
A-75	75TH FLOOR PLAN
A-76	76TH FLOOR PLAN
A-77	77TH FLOOR PLAN
A-78	78TH FLOOR PLAN
A-79	79TH FLOOR PLAN
A-80	80TH FLOOR PLAN
A-81	81ST FLOOR PLAN
A-82	82ND FLOOR PLAN
A-83	83RD FLOOR PLAN
A-84	84TH FLOOR PLAN
A-85	85TH FLOOR PLAN
A-86	86TH FLOOR PLAN
A-87	87TH FLOOR PLAN
A-88	88TH FLOOR PLAN
A-89	89TH FLOOR PLAN
A-90	90TH FLOOR PLAN
A-91	91ST FLOOR PLAN
A-92	92ND FLOOR PLAN
A-93	93RD FLOOR PLAN
A-94	94TH FLOOR PLAN
A-95	95TH FLOOR PLAN
A-96	96TH FLOOR PLAN
A-97	97TH FLOOR PLAN
A-98	98TH FLOOR PLAN
A-99	99TH FLOOR PLAN
A-100	100TH FLOOR PLAN

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MEDINA, OHIO 44256
JOB # 18052
PLOTTED 3/7/2021

MAR 03 2021

OBC INFORMATION

Scope of Design

This project involves construction of a four story building comprised of three stories of apartments above first floor commercial space. The first floor provides (13) apartments per floor for a total of (39) residential units. The first floor tenants are currently undetermined. OBC compliance for the first floor is based on non separated B, M, A-2 use tenant spaces.

The building compliance is designed in accordance with OBC Section 510.2 Horizontal Building Separation Allowance. In accordance with this section a three hour fire separation is constructed between the first floor and the floors two through four. Under this section, the three stories of residential R-2 apartments are considered a separate and distinct building from the first floor. Under this scenario, the two areas can be considered independent of each other for the purposes of determining area limitations, continuity of fire walls, limitation of number of stories, and type of construction the following compliant conditions. While the R-2 Residential section is physically 4 stories above grade, under this section, it is considered a storey building and is subject to the OBC limitations afforded a three storey structure. The overall building is compliant with the following conditions applicable to OBC 510.2.

- The first floor mixed use A, B, M commercial building is separated from the three story R-2 residential building by a 3 hour fire rated horizontal assembly.
- The first floor building is compliant with type 1A construction.
- Shaft, stairway enclosures through the horizontal assembly are minimum 2 hour fire rated construction with openings protection.
- The building above the horizontal assembly is an R-2 Residential occupancy.
- The commercial building below the horizontal assembly is protected throughout by an NFPA 13 automatic sprinkler system in accordance with Section 903.3.1.1.
- The overall building height in feet is compliant with Section 504.3 based upon the smaller allowable heights for the two buildings as measured from the grade plane. (Under Table 503.4, an R occupancy with NFPA 13R sprinkler system is permitted to be 60' tall. The total height of building, to the roof of the penthouse, does not exceed 60' from the grade plane.

Use Groups

First Floor = B, M, A-2 non-separated These uses are anticipated as probable uses based upon typical first floor occupancies of other buildings in the area.
Floors 2-4 = R-2

Construction Types

First Floor = Type IA noncombustible
Floors 2-4 = Type SA combustible

Building Areas

Floor areas are calculated in accordance with the OBC definition for Floor Area, Gross, measuring the space within the inside of the perimeter.
First Floor = 10,912 sf
Floors 2-4 = 11,280 sf per floor - 33,840 sf (Total for Floors 2-4)
Total = 46,680 sf - In accordance with OBC 1510.2.2, the area of the penthouse is not included in the analysis of building area.

Allowable Areas

First Floor = Unlimited (OBC 508.3.3/ Table 506.2, IA, B, M, A-2)
Floors 2-4 = 15,120 sf per floor - 45,360 sf total ($A_n = [A_s \times I_s] \times S_1$)
 $A_n =$ Table 506.2, SA, R-2, 12,000 sf $I_s = [F/P - 0.25] W/30$
 $I_s =$ Table 506.2, SA, R-2, 12,000 sf $I_s = 255'$
 $I_s = 0.26$ $P = 500'$
 $S_1 = 1$ (3 for the total R-2 area) $W = 30'$

Occupancy

First Floor = 258 (Anticipate 2,400 sf A-2/15 = 172, 8,275 sf office/100=83, 695 sf Utility /300=3)
Floors 2-4 = 171 (11,280 sf /200 (R-2) = 57 occupants per floor x 3 floors)

Fire Suppression

A fire suppression system shall be provided throughout the building in accordance with OBC 903. The system will be monitored in accordance with OBC 901.6. General design/layout documents are provided herein. Final design and installation documents for the fire suppression system shall be provided under separate cover by the Fire Suppression Contractor.
First Floor = NFPA 13R sprinkler system
Floors 2-4 = NFPA 13R sprinkler system

Fire Alarm

A fire alarm system in accordance with OBC 907 and in compliance NFPA 72 is to be provided throughout the building. The system will be monitored in accordance with OBC 901.6. Manual fire alarm boxes are not required as the building is equipped with a sprinkler system and occupant notification appliances will activate upon sprinkler water flow per OBC Section 907.2.9 exception #3. Smoke alarms shall be provided per OBC Section 907 for the R-2, Residential section of the building. General design/layout documents are included herein. Final design and installation documents for the fire alarm system shall be provided under separate cover by the Fire Alarm Contractor.

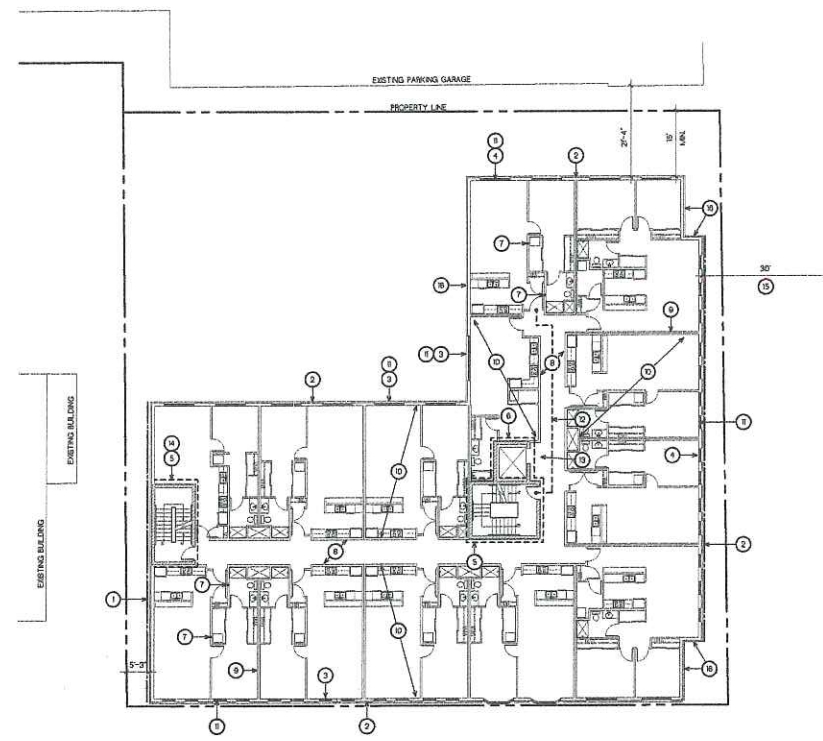
DESIGN LOADS

Floor Live Load - 40 psf (Residential)	Table 1607.1	Mapped Spectral Accelerations	$S_1 = 12.3\%$
Floor Live Load - 100 psf (Corridors)	Table 1607.1	$S_2 = 5.0\%$	
Floor Live Load - 100 psf (Commercial)	Table 1607.1	Spectral Response Accelerations, Short & 1sec	$S_{M1} = 1.98$
Roof Live Load - 20 psf	Table 1607.1		$S_{M2} = 1.12$
Ground Snow Load P_g - 25 psf	Section 1608.2	Design Response Spectrum, Short & 1sec	$S_{D1} = .132$
Flat Roof Snow Load P_f - 12.6 psf	.7"C, "C, "I" P_g		$S_{D2} = .08$
Thermal Factor C_t - 1.0	ASCE Table 7.3-2	Seismic Use Category & Importance Factor I_s	$I_s = 1.0$
Snow Exposure C_e - 0.9	ASCE Table 7.3-1	Seismic Site Soil Class	D
Snow Importance I_s - 1.00	ASCE Table 1.5-1	Seismic Design Category	B
Ultimate Design Wind Speed - 115 mph	Figure 1609.3(1)	Rain Loads	5.41"/15 min.
Building Risk Category - II	Table 1604.5	Soil Load Bearing - 4,000 psf	2.61"/60 min.
Wind Importance I_s - 1.00	Table 1604.5		Geotechnical Report
Wind Exposure B	Section 1609.4		

- The Contractor shall have foundation excavations inspected by a Geotechnical Engineer. Penetrometer or similar soils test shall be performed at the point of bearing and excavation for the foundations. Weak, organic and/or unstable conditions shall be reported to the Architect and footings redesigned to accommodate actual soils conditions. Submit Geotechnical reports to Architect and City Building Department.
- Seismic Design Data based upon ASCE 7 Hazards Report - 41.139226 Lat.-81.865251 Long
- Reference the structure documents for more specific design loads and details.
- Reference the mechanical documents for more specific design requirements for building ventilation.

SECOND, THIRD, & FOURTH FLOOR PLAN OBC NOTES

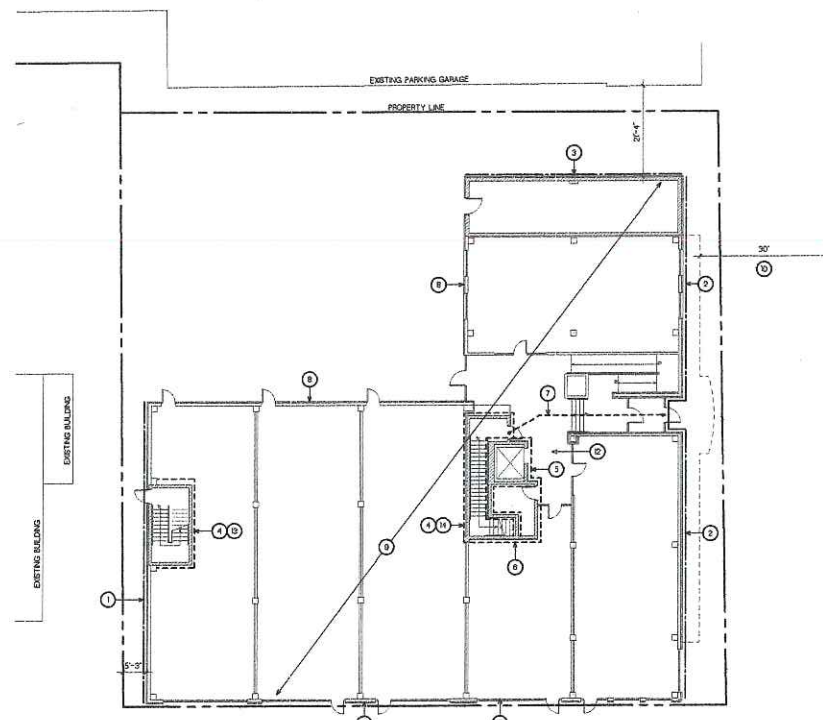
- 1 HOUR RATED EXTERIOR BEARING WALL, TYPE 5A CONSTRUCTION 1/2 USE, MIN. 5' FIRE SEPARATION DISTANCE PER OBC TABLE 601 & 602.
- NON-FIRE RATED EXTERIOR NON-BEARING WALL, TYPE 5A CONSTRUCTION 1/2 USE, GREATER THAN OR EQUAL TO 30' FIRE SEPARATION DISTANCE PER OBC TABLE 601 & 602.
- UNLIMITED UNPROTECTED OPENINGS PERMITTED PER OBC TABLE 705.8 FOR EXTERIOR WALL WITH 20 MIN FIRE SEPARATION DISTANCE FOR A SPRINKLERED BUILDING.
- 75% UNPROTECTED OPENINGS PERMITTED PER OBC 705.8. IN-ORTH OPENINGS 1/2 FOR EXTERIOR WALL WITH 15' TO 20' FIRE SEPARATION DISTANCE FOR A SPRINKLERED BUILDING.
- 2 HOUR RATED FIRE BARRIER EXIT STAR ENCLOSURE PER OBC 502 AND 704.
- 2 HOUR RATED FIRE BARRIER ELEVATOR SHAFT PER OBC 502, 707, AND 702.
- 4" BATHROOM EXHAUST AND DRYER VENTS WITH INDIVIDUAL FLUE CONTROLS TO ROOF THROUGH PENETRATION OF HORIZONTAL ASSEMBLY IN ACCORDANCE WITH OBC SECTION 717.41 EXCEPTION ITEMS #1 - #5. NO SHUFT CONSTRUCTION REQUIRED.
- 5 HOUR RATED FIRE PARTITION CORRIDOR WALLS PER OBC TABLE 1003 & SECTION 708 FOR BUILDING WITH SPRINKLER SYSTEM.
- 5 HOUR RATED FIRE PARTITION WALLS BETWEEN APARTMENTS PER OBC SECTION 708.3 EXCEPTION #2 FOR BUILDING WITH SPRINKLER SYSTEM.
- 5 HOUR RATED HORIZONTAL FLOOR/CEILING SEPARATION BETWEEN APARTMENTS PER OBC SECTION 403.3.1 EXCEPTION #2 FOR BUILDING WITH SPRINKLER SYSTEM.
- OPERABLE APARTMENT WINDOWS WITH WINDOW OPENING CONTROL DEVICES PER OBC SECTION 708.1 & 708.1.1 TYPICAL.
- 4" DEAD END CORRIDOR, 50' MAX DEAD END CORRIDOR PERMITTED PER OBC SECTION 1004 EXCEPTION #2 FOR A BUILDING WITH SPRINKLER SYSTEM.
- ELEVATOR AREA OF REFUGE IS NOT REQUIRED PER OBC SECTION 1004 EXCEPTION #2 FOR A BUILDING WITH SPRINKLER SYSTEM.
- STAIRWAY AREA OF REFUGE IS NOT REQUIRED PER OBC SECTION 1003 EXCEPTION #5 FOR A BUILDING WITH SPRINKLER SYSTEM.
- NO BUILD' EASEMENT ZONE.
- 1 HOUR RATED EXTERIOR BEARING WALL, TYPE 5A CONSTRUCTION 1/2 USE PER OBC TABLE 601.



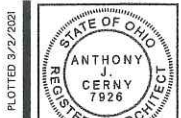
SECOND, THIRD, FOURTH FLOOR PLAN
11,280 SF - R2 - TYPE 5A
SCALE: 1/16" = 1' - 0"

FIRST FLOOR PLAN OBC NOTES

- 2 HOUR RATED NON-BEARING EXTERIOR WALL, TYPE IA CONSTRUCTION, TYPE M USE, 5' TO 10' FIRE SEPARATION DISTANCE PER OBC TABLE 601 & 602.
- NON-RATED NON-BEARING EXTERIOR WALL, TYPE IA CONSTRUCTION, TYPE M USE, GREATER THAN 30' FIRE SEPARATION DISTANCE PER OBC TABLE 601 & 602.
- 1 HOUR RATED EXTERIOR BEARING WALL, TYPE IA CONSTRUCTION, TYPE M USE PER OBC TABLE 601.
- 2 HOUR RATED FIRE BARRIER EXIT STAR ENCLOSURE PER OBC 502 & 704.
- 2 HOUR RATED FIRE BARRIER ELEVATOR SHAFT PER OBC 502, 702, & 707.
- 2 HOUR RATED FIRE BARRIER ELEVATOR EQUIPMENT ROOM ENCLOSURE PER OBC SECTION 503.4 & 702.
- EXIT DISCHARGE IN ACCORDANCE WITH OBC SECTION 1004 EXCEPTION #1. 50% OF INTERIOR EXIT STAIRWAYS ARE PERMITTED TO ENTER THROUGH AREAS ON THE LEVEL OF EXIT DISCHARGE. EXIT DISCHARGE MUST BE READILY VISIBLE AND FIRST FLOOR MUST BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM.
- 0 HOUR RATED NON-BEARING EXTERIOR, TYPE IA, FIRE SEPARATION DISTANCE GREATER THAN OR EQUAL TO 30' PER OBC TABLE 601 & 602.
- 3 HOUR HORIZONTAL ASSEMBLY FLOOR/CEILING ABOVE SEPARATING RESIDENTIAL ABOVE FROM FIRST FLOOR PER OBC TABLE SECTION 503.
- NO BUILD' EASEMENT ZONE.
- UNLIMITED UNPROTECTED OPENINGS PERMITTED ON SOUTH WALL PER OBC SECTION 705.81 EXCEPTION #1 WHERE WALL FACES A STREET AND HAS A FIRE SEPARATION DISTANCE OF MORE THAN 15'.
- ELEVATOR AREA OF REFUGE IS NOT REQUIRED PER OBC SECTION 1004 EXCEPTION #2 FOR A BUILDING WITH SPRINKLER SYSTEM.
- STAIRWAY AREA OF REFUGE IS NOT REQUIRED PER OBC SECTION 1003 EXCEPTION #5 FOR A BUILDING WITH SPRINKLER SYSTEM.



FIRST FLOOR PLAN - 10,912 SF
B, M, A-2 NON SEPARATED - TYPE IA
SCALE: 1/16" = 1' - 0"

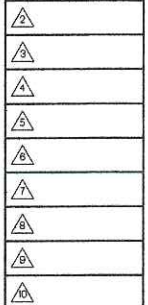


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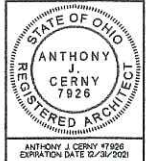
SEPTEMBER 2018
18032

OBC

SITE PLAN NOTES

- ① EXISTING ASPHALT AT ENTRANCE TO EXISTING PARKING DECK
- ② EXISTING CONCRETE PAD

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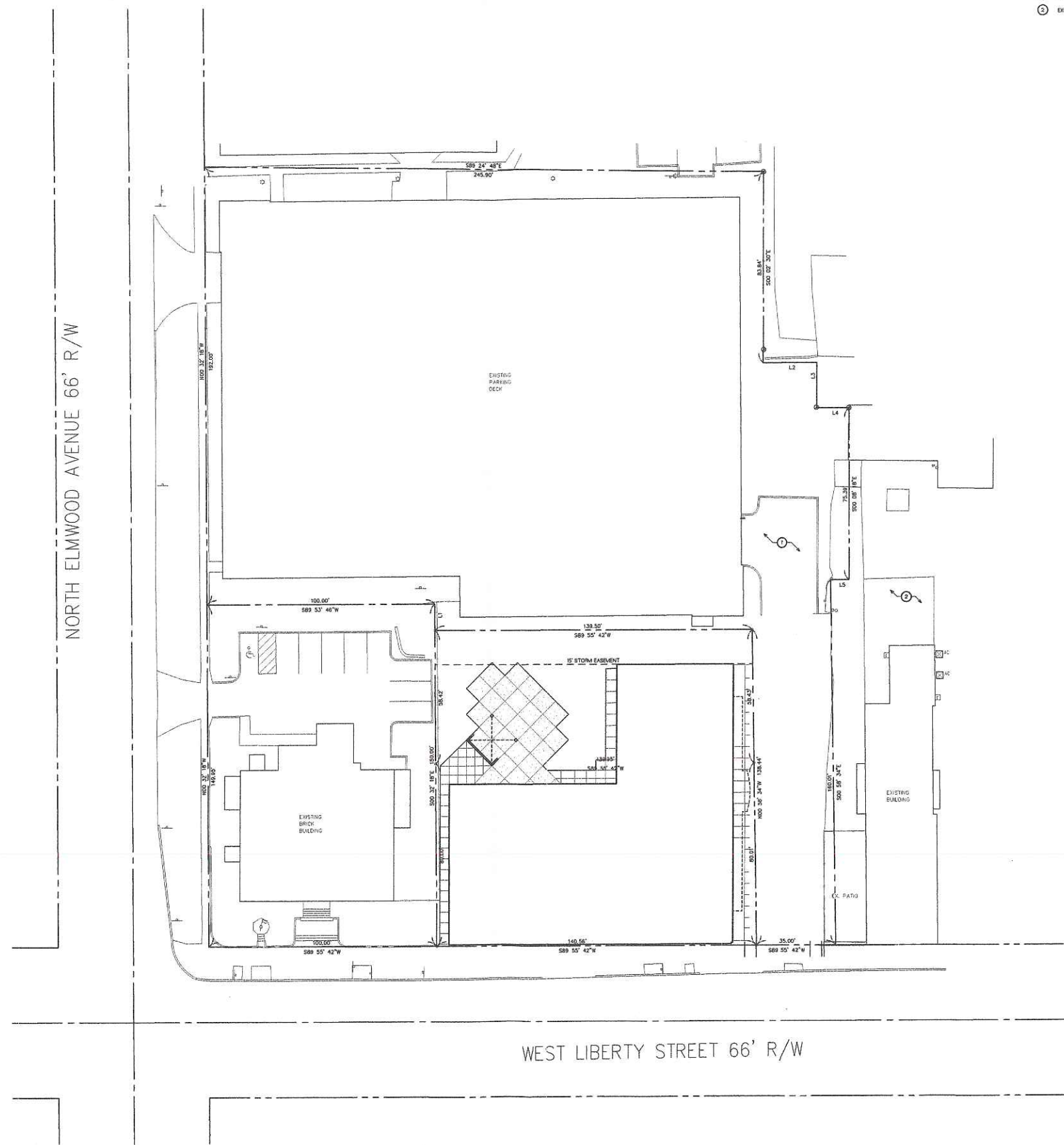
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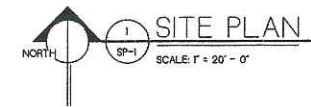
SEPTEMBER 2018
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SP-1



Parcel Line Table

Line #	Length	Direction
L1	11.54'	N00 32' 18"W
L2	33.89'	N89 45' 42"E
L3	20.00'	N00 08' 18"W
L4	14.00'	S89 45' 43"E
L5	8.00'	S89 55' 42"W

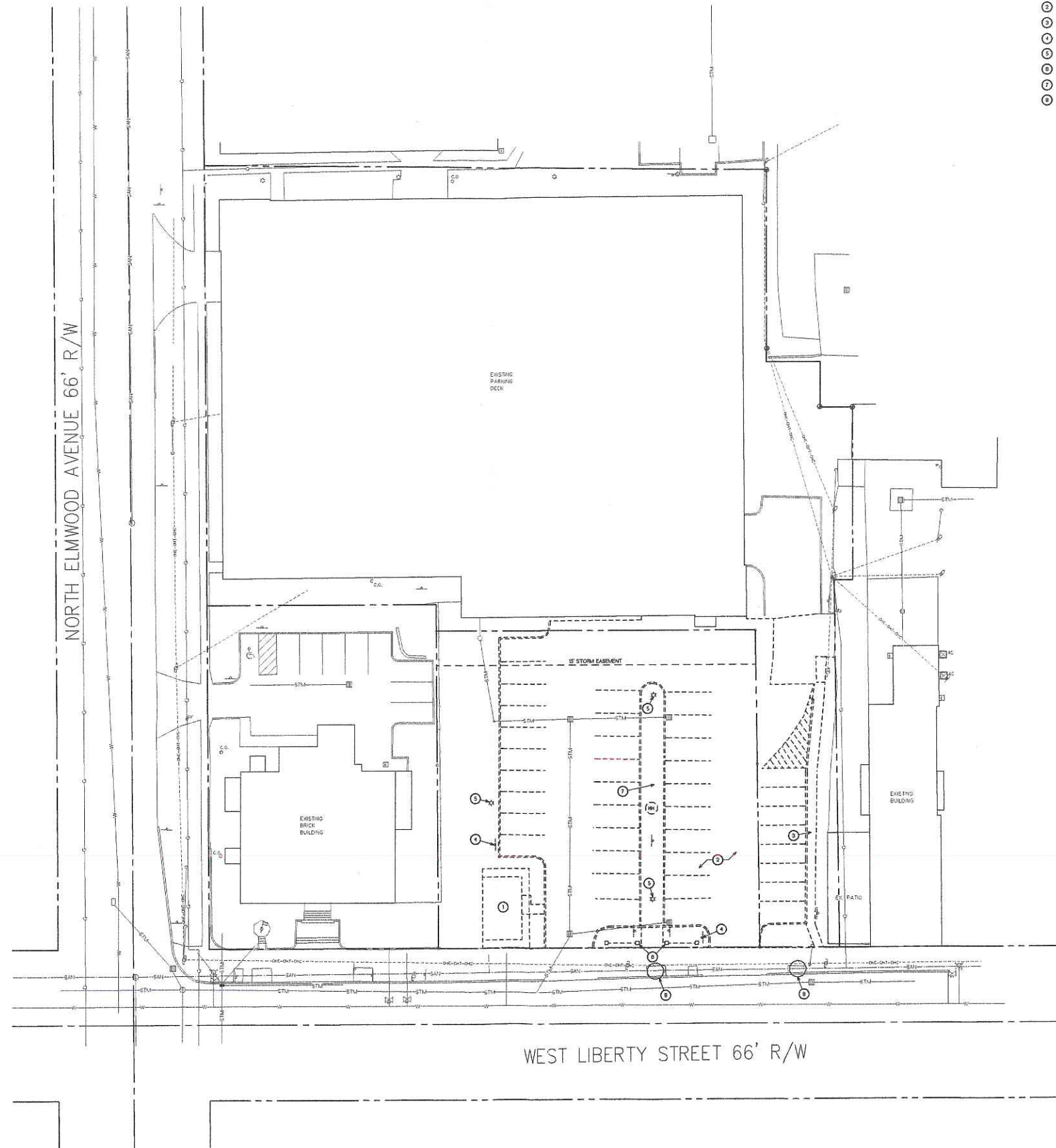


811
 Know what's below.
 Call before you dig.

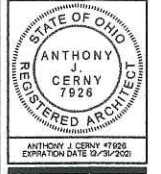
PLANNING STUDIOS, 135 WEST LIBERTY STREET, MEDINA, OHIO 44256

SITE DEMOLITION PLAN NOTES

- ① REMOVE EXISTING CONCRETE BLOCK BUILDING
- ② REMOVE EXISTING CONCRETE PARKING LOT INCLUDING CONCRETE CURBS
- ③ REMOVE EXISTING CONCRETE SIDEWALK
- ④ EXISTING SIGNS TO BE REMOVED AND TURNED OVER TO THE CITY OF MEDINA
- ⑤ EXISTING LIGHT POLES TO BE REMOVED AND TURNED OVER TO THE CITY OF MEDINA
- ⑥ REMOVE EXISTING BRICK PERI AND METAL FENCE
- ⑦ REMOVE EXISTING LANDSCAPE ISLAND AND PLANTINGS
- ⑧ REMOVE EXISTING TREES



PLOTTED 3/2/2021



ANTHONY J. CERNY #1026
 EXPIRATION DATE 12/31/2023

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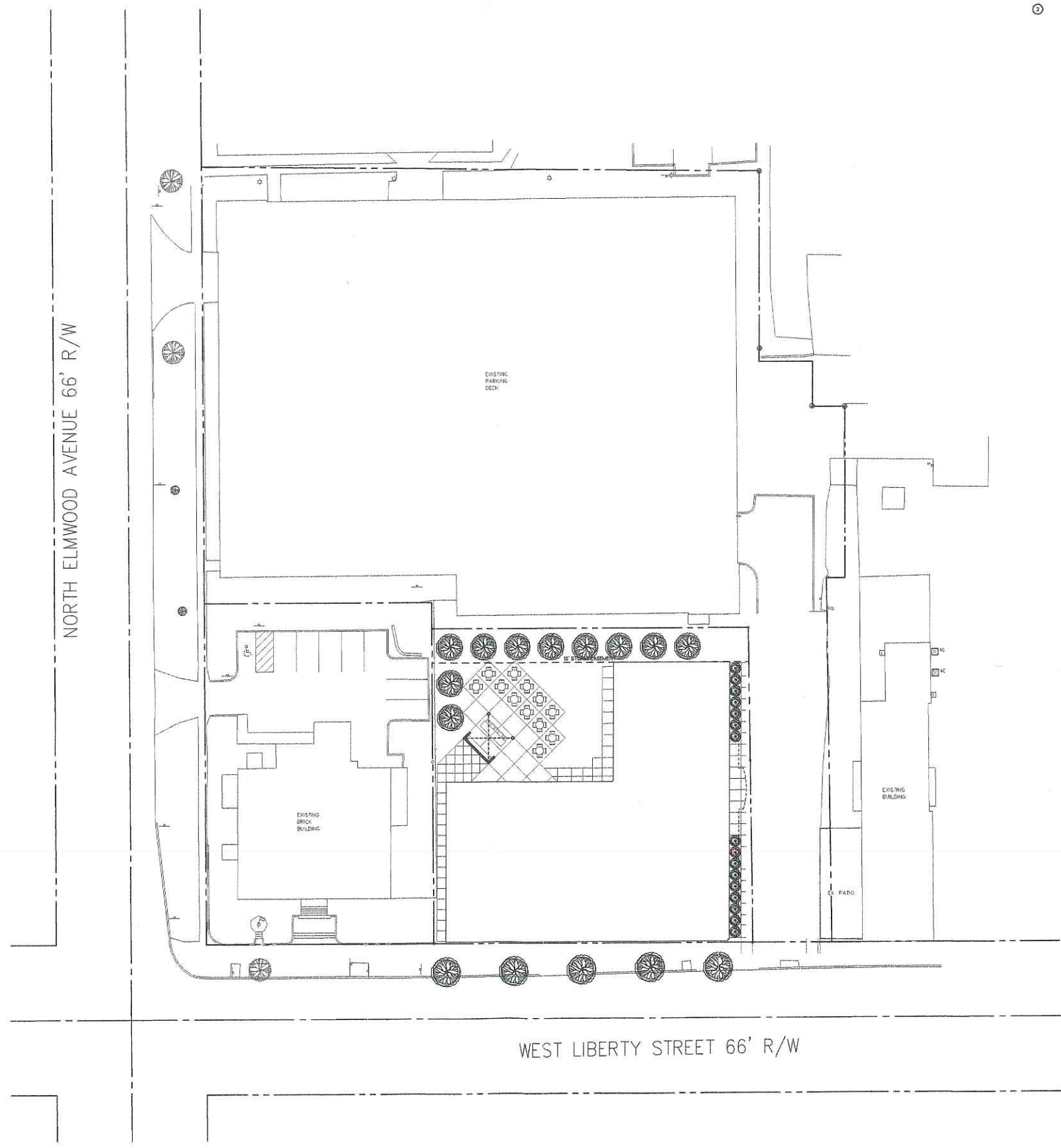
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SP-2

PLANNING AND DESIGN SERVICES, INC.

1 SITE DEMOLITION PLAN
 SP-2 SCALE: 1" = 20' - 0"





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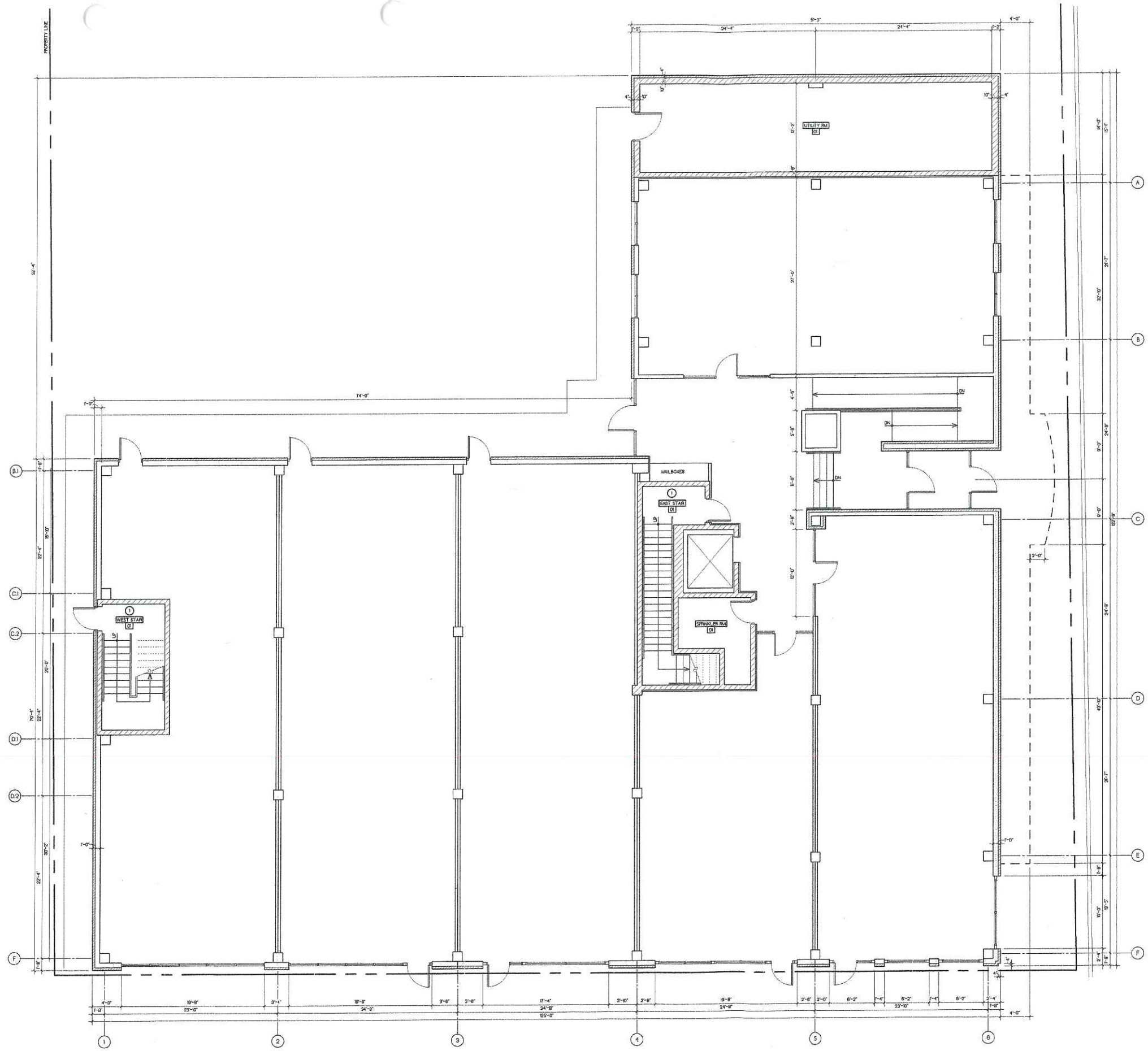
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SP-5

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SITE LANDSCAPE PLAN
 SP-5
 SCALE: 1" = 20' - 0"

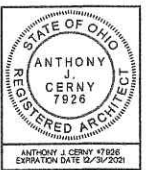




FIRST FLOOR PLAN NOTES

- 1 REFER TO ENLARGED STAIR PLANS ON SHEET A-11
- 2

PLOTTED 3/27/2021



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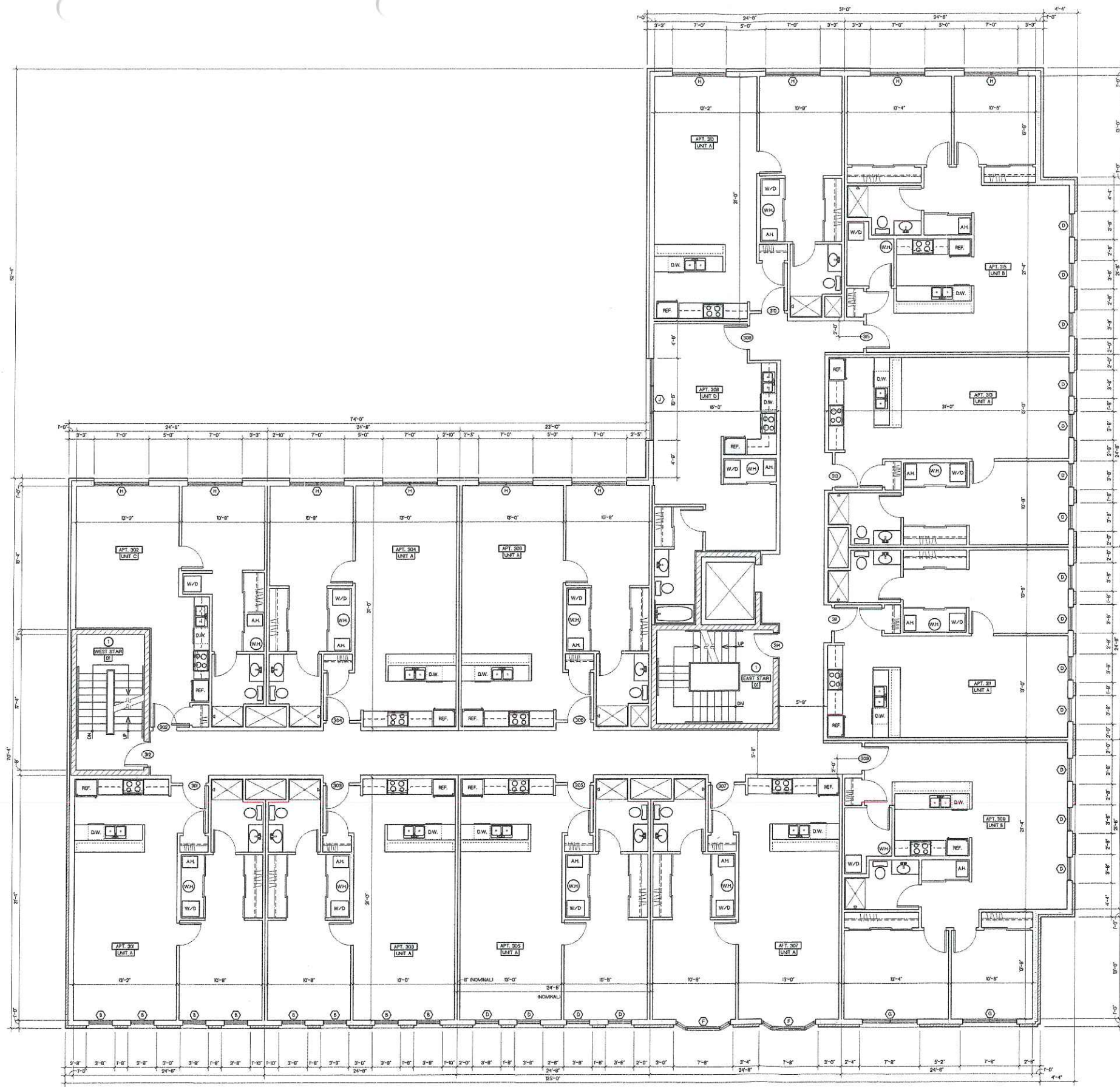
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A-21

FIRST FLOOR PLAN
 SCALE 3/16" = 1'-0"
 NORTH

DIMENSIONS TO STUD WALLS ARE NOMINAL AND ARE INTENDED TO ROUGHLY REPRESENT FACE OF STUD TO FACE OF STUD.
 4" = 3-5/8" STEEL STUD
 6" = 5" STEEL STUD

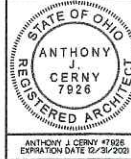
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THIRD FLOOR PLAN NOTES

REFER TO ENLARGED STAIR PLANS ON SHEET A-41

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ANTHONY J. CERNY #7826
EXPIRATION DATE 12/31/2028

ANTHONY J. CERNY #7826
EXPIRATION DATE 12/31/2028

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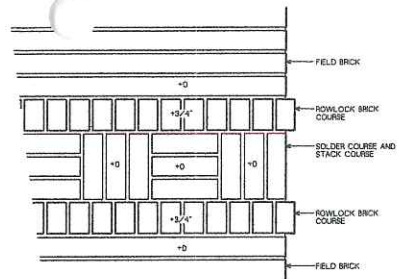
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#18052

A-2.3

DIMENSIONS TO STUD WALLS ARE NOMINAL AND ARE INTENDED TO ROUGHLY REPRESENT FACE OF STUD TO FACE OF STUD.
4" x 3-1/2" WOOD STUD
8" x 3-1/2" WOOD STUD

1 THIRD FLOOR PLAN
A-2.3
SCALE: 3/16" = 1'-0"

1: LOCALS: UNITS: UNIT: #18052: MEDINA APARTMENTS: VAS



BRICK BASKETWEAVE
SCALE: 1/2" = 1'-0"

Building "A"				
PRODUCT	MANUFACTURER	COLOR	MORTAR	NOTES
A	Split Face 8" x 16"	Rococast	Buffstone	
B	Bullnose 4"	Rococast	Buffstone	
C	Modular Brick	Belden	St. Anne Clear	
D	Modular Brick	Belden	St. Anne Blend 'A'	
E	EIFS	DRYVIT	#111 Prairie Clay	Limestone Finish
F	Window Frame & Trim	Andersen	Sandtone SW #9174 Moth Wing	
G	Cornice			Refer to Details Sheets FA-4.3 & A-4.4 for paint color
H	Sillstone 4"	Rococast	Buffstone	
J	Injection Molded Letters	Gemini	#0314 Old Copper	Stud Mounted
K	Fascia	Metal Era		
L	Aluminum Storefront Framing	Tubelite	Light Champagne	

Building "B"				
PRODUCT	MANUFACTURER	COLOR	MORTAR	NOTES
A	Modular Brick	Belden	Midland Blend 'A'	
B	Chamfered 5 5/8" #HD-2258	Rococast	Buffstone	
C	Modular Brick	Belden	Rosewood Clear 'A'	
D	Windows	Andersen	Canvas	
E	Window Trim & Head	SW #	Bircheye Maple	
F	Cornice			Refer to Details Sheet A-4.5 for paint color
G	Awning	Sunbrella	Eastland Redwood	
H	Sillstone 4"	Rococast	Buffstone	
J	Injection Molded Letters	Gemini		Stud mounted
K	Fascia	Metal Era		
L	Aluminum Storefront Framing	Tubelite	Medium Bronze	

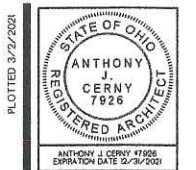
Building "C"				
PRODUCT	MANUFACTURER	COLOR	MORTAR	NOTES
A	Modular Brick	Belden	Meadow Blend 'A'	
B	Modular Brick	Belden	Brandywine Velour 'A'	
C	Roof - Copper Standing Seam			
D	Window	Andersen	Sandtone	
E	Window Trim & Panel		SW #219 Downing Slate SW #2397 Aurora Brown SW #2618 Ranwick Heather	
F	Cornice			Refer to Sheet A-4.6 for paint color
G	Awning	Sunbrella	Mediterranean Tweed	
H	Not Used			
J	Injection Molded Letters	Gemini		Stud mounted
K	Fascia	Metal Era		
L	Aluminum Storefront Framing	Tubelite	Dark Bronze	

Building "D"				
PRODUCT	MANUFACTURER	COLOR	MORTAR	NOTES
A	Modular Brick	Belden	Kingsport Dart	
B	Modular Brick	Belden	Brandywine Velour 'A'	
C	EIFS	DRYVIT	#111 Prairie Clay	Sandblast Finish
D	Window	Andersen	Sandtone	
E	Window Trim	Andersen	SW #7829 Grapy	
F	EIFS Cornice			Refer to details on Sheet A-4.7
G	Awning	Sunbrella	Eastridge Coconut	
H	Medallions 12" x 12"	Pineapple Grove	Oak Leaf - Brownstone	
J	Injection Molded Letters	Gemini		Stud mounted
K	Fascia	Metal Era		
L	Aluminum Storefront Framing	Tubelite	Light Champagne	



ELEVATION NOTES
 1 XXXXX
 2 XXXXX

1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



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A-31

Building "E"				
PRODUCT	MANUFACTURER	COLOR	MORTAR	NOTES
A	Split Face 8" x 16"	Schory	Chalk	
B	Modular Brick	Belden	Rosewood Clear A	
C	Modular Brick	Belden	Rosewood Clear A	
D		Andersen		
E	Window Trim & Head		SW #2800 Sage	
F	Cornice		Refer to Details this Sheet for Cornice Paint Colors	
G	EIFS	DRYVIT		
H	Not Used			
J	Injection Molded Letters	Gemini	#0314 Old Copper	
K	Fascia	Metal Eze		Stud Mounted
L	Aluminum Stonefront Framing	Tubeite	Medium Bronze	

NOTES:

PLOTTED 3/2/2001



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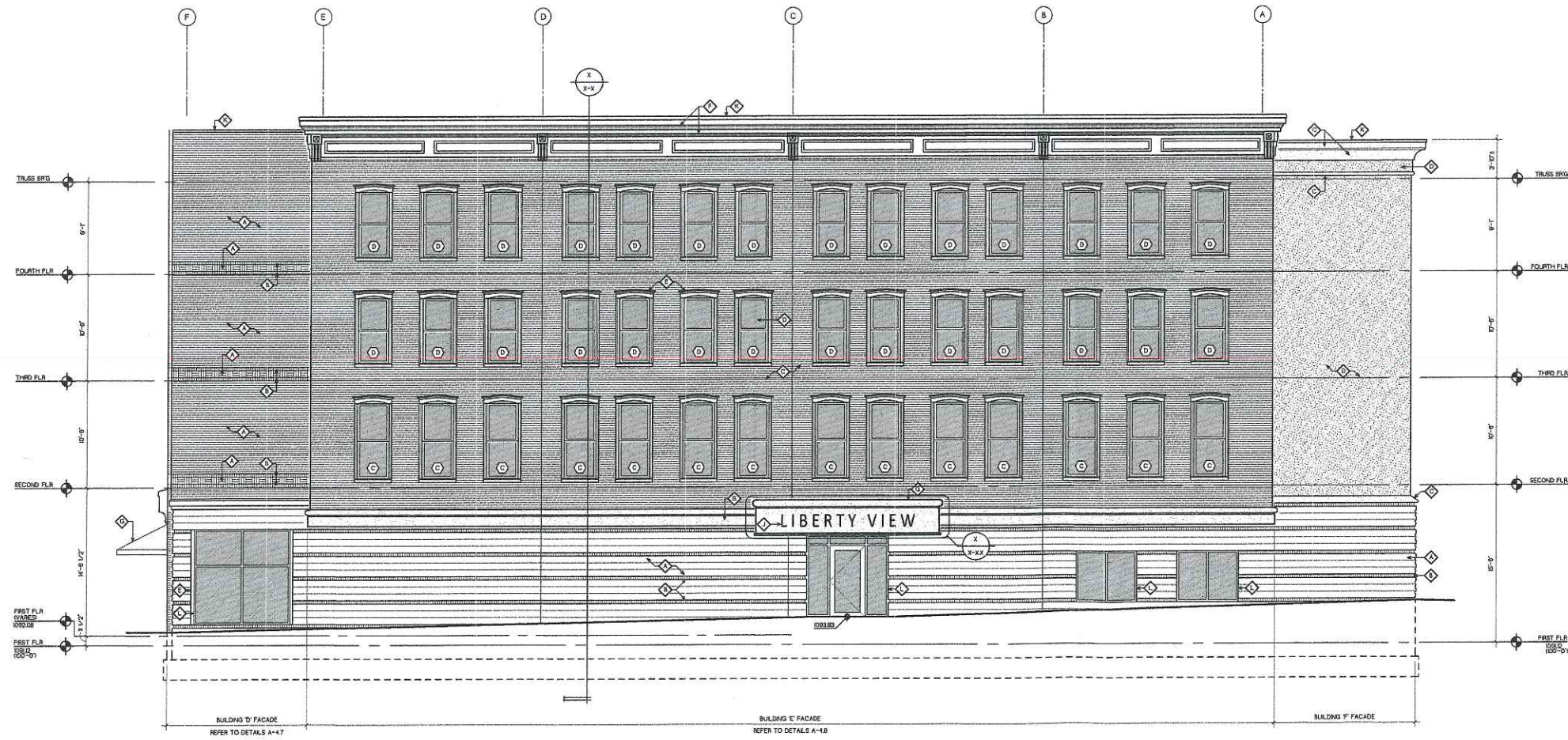
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A-3.2



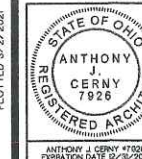
EAST ELEVATION
 SCALE: 3/16" = 1'-0"

LOCATED: D:\WORK\18052\ARCH\A-3.2.EAST.DWG

Building "F"				
PRODUCT	MANUFACTURER	COLOR	MORTAR	NOTES
A	Solid Face 8" x 16"	Schory	Chalk	
B	Modular Brck	Belden	Rosewood Clear 'A'	
C	EIFS	DRYVIT	#1C4 Dover Sky	Sandblast Finish
D	EIFS	DRYVIT	#305 Plum	Quartzputz Finish
E	EIFS	DRYVIT	#926 Fern Ridge	Quartzputz Finish
F	Not Used			
G	Paint	Sharvin Williams	Paint N.M. Doors SW #7546 Prairie Grass	
H	Window	Andersen	Sandtone	
J	Window	Andersen	Dark Bronze	
K	Fascia	Metel Era		
L	Aluminum Storefront Framing	Tubelite	Medium Bronze	

NOTES:

PLOTTED 3/2/2021



ANTHONY J. CERNY #7926
EXPIRATION DATE 12/31/2021



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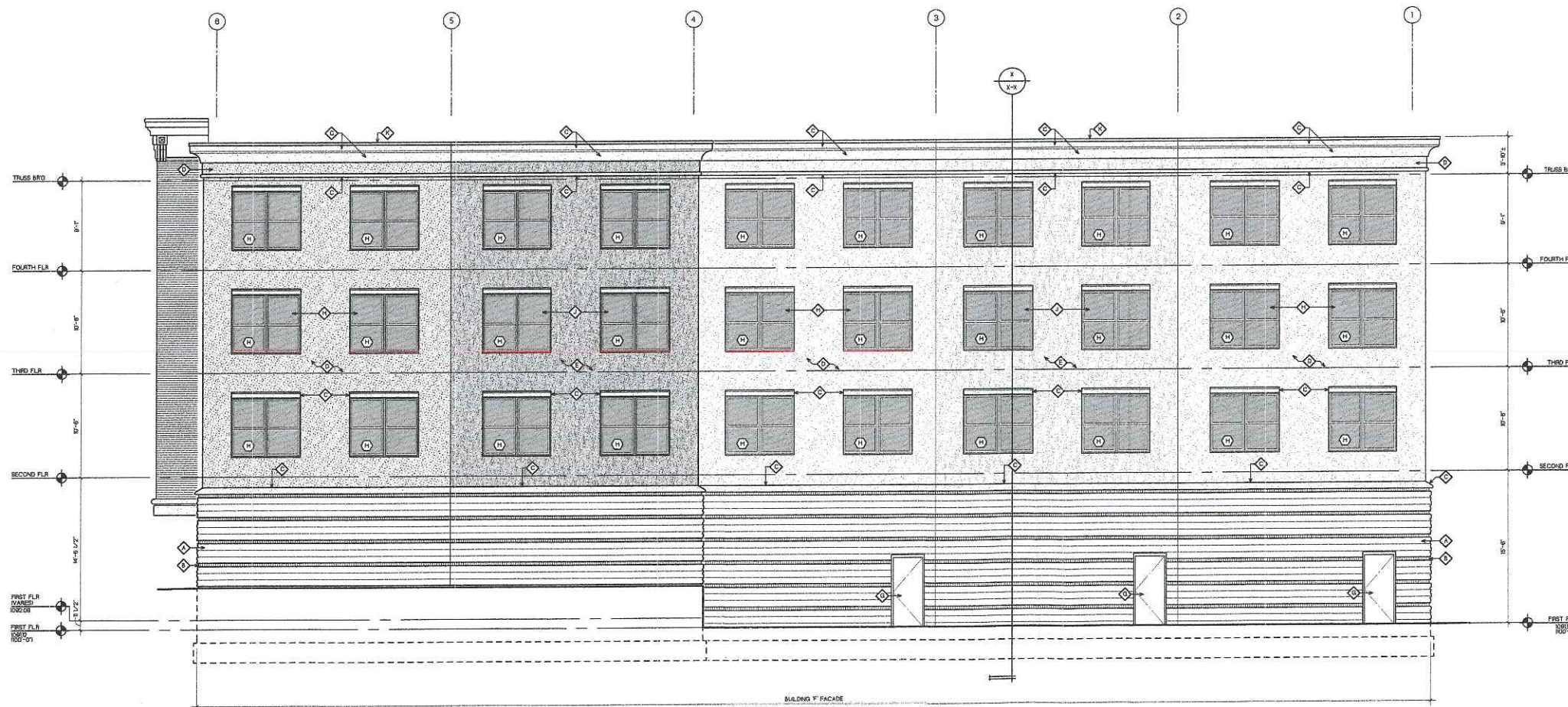
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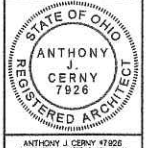
A-3.3



1 NORTH ELEVATION
SCALE: 3/16" = 1' - 0"

1:\SCALE:DWG:\WP\MOZ\AKERIA_ARCH\PROJECTS\A3

PLOTTED 3/2/2021



ANTHONY J. CERNY #7926
EXPIRATION DATE 2/2/2021

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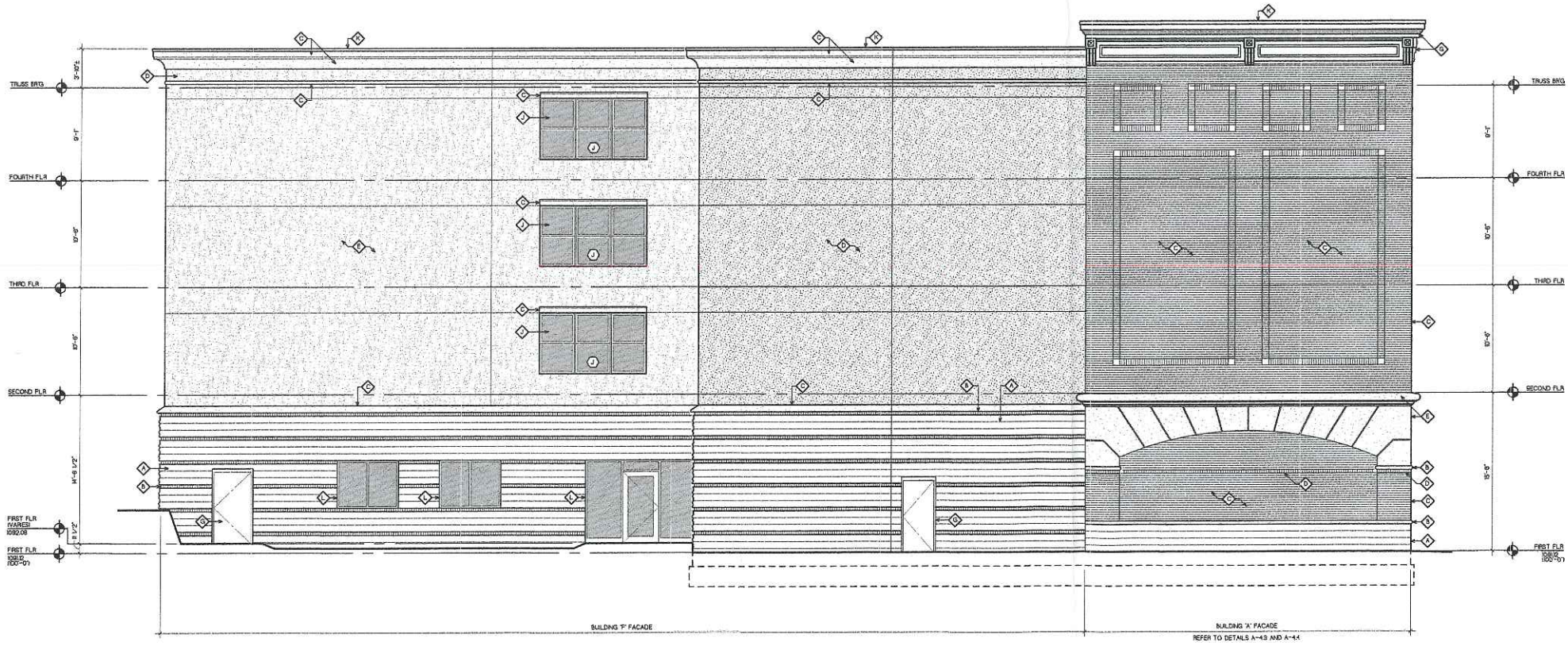
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SEPTEMBER 2018
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A-3.4



WEST ELEVATION
A-3.4
SCALE: 3/16" = 1' - 0"

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