

MEETING DATE: _____

HISTORIC PRESERVATION BOARD

**Case No. H21-06
119 Public Square
PJ Marley's**



CITY of MEDINA
Historic Preservation Board
May 5, 2021 Special Meeting


Case No: H21-06

Address: 119 Public Square

Applicant: Patty Stahl

Subject: Certificate of Appropriateness – outdoor dining deck expansion

Zoning: C-2 Central Business District

Submitted by: Jonathan Mendel, Community Development Director 

Site Location:

The site is located on the north side of Public Square and has been in operation since about 2014.

Project Introduction:

The applicant proposes expanding the existing 493 sq. ft. outdoor dining deck by 231 sqft (21ft x 11ft) on the east side of the existing deck. The expansion will be stained a natural wood color and have railings and detailing matching the existing deck and ramp.

Please find attached to this report:

1. Applicant's plans and site photos received April 27, 2021

Section 145 Historic Preservation Board

Section 145.07(a) states the intent of the Guidelines is to preserve and restore the features which establish a building's architectural character while making alterations and renovations necessary for the efficient and contemporary use of the building. The historic materials, features and/or craftsmanship are important in defining the building character and should be retained, protected, and repaired when possible. When the preservation of architectural features is not possible, alterations should be done in a manner respectful of the existing character, but done in a manner that is representative of architectural design and construction of contemporary times.

Staff Comments:

The existing outdoor deck has been a valued addition to the general Historic District dining environment and the vitality of the community.

This expansion will simply provide more area for diversity of dining options to the community and visitors, thereby continuing the applicant's and District's vitality.

The expansion will seamlessly match the design, detailing and colors of the existing deck, further improve the rear of the subject property and no way negatively affect the historic nature of the public frontage of the subject property or the District.

Staff Recommendation:

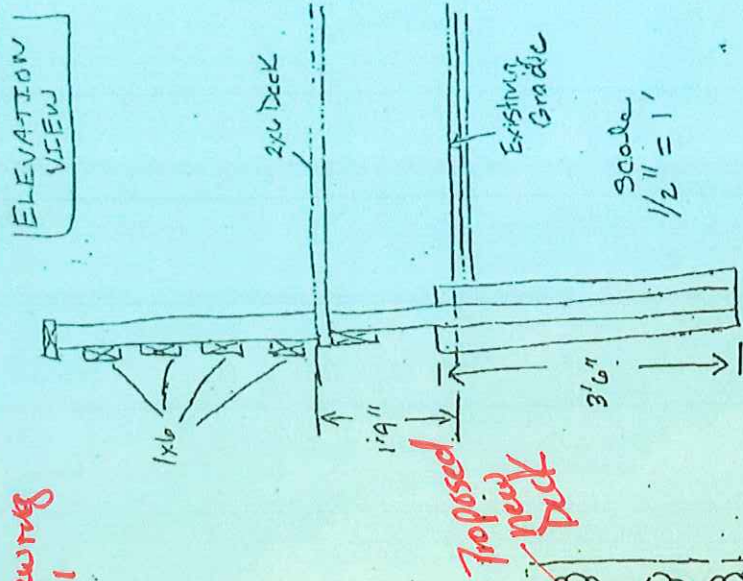
Staff recommends the Historic Preservation Board grant a Certificate of Appropriateness for the project as proposed.

Proposed Outdoor Seating
for P.J. Marley's Restaurant & Pub
4/24/15 - Drawing 1

UPDATED Drawing
4/26/2021

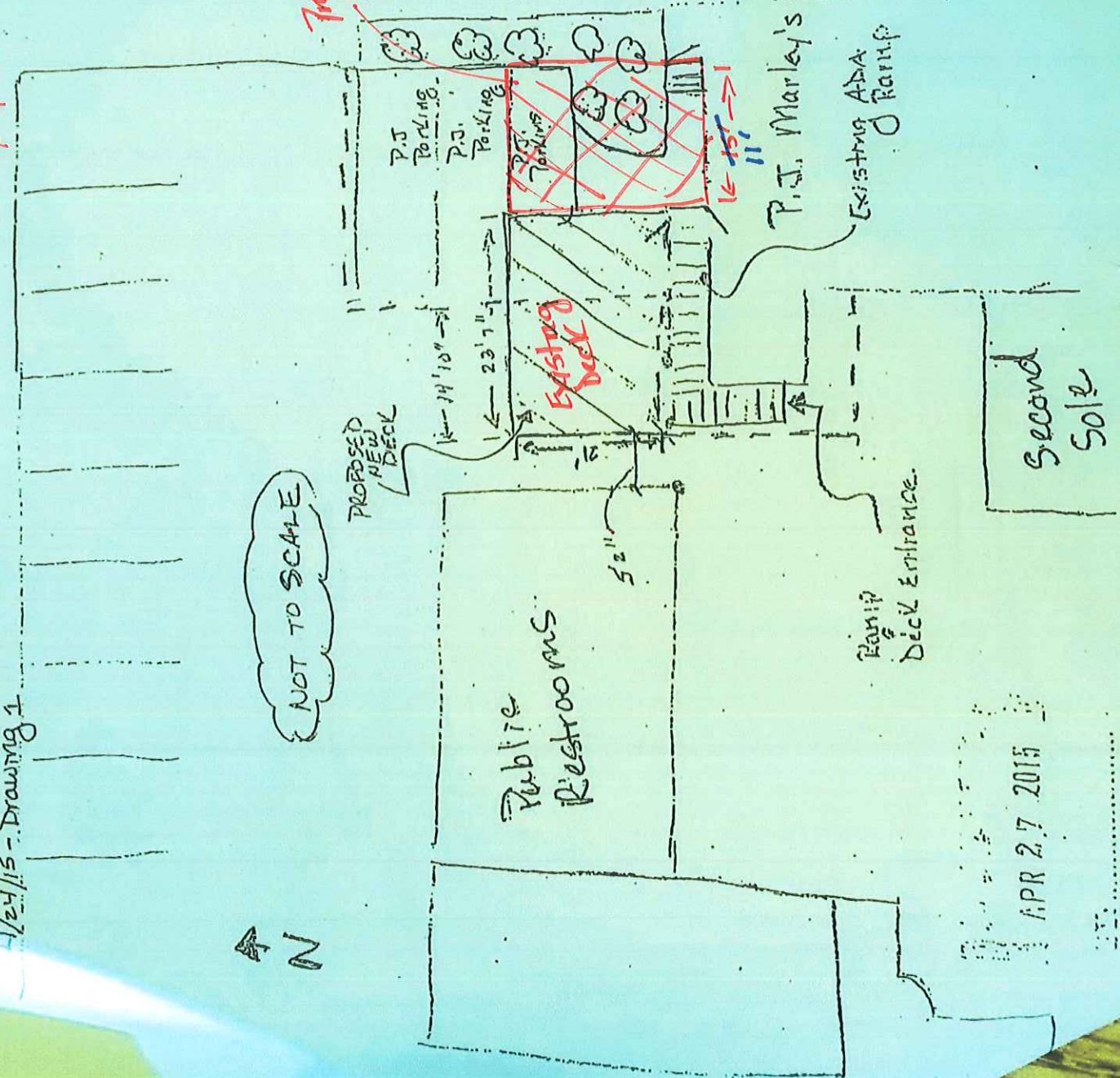


NOT TO SCALE



NOTES

- ① The proposed deck will be 493 sqft
 - ② The location of the deck will require the use of city owned property.
 - ③ One entrance to deck via ADA Ramp for safety.
 - ④ All other property on drawing is City owned.
- Existing P.J.'s Property/Lime
 Proposed Deck



Second
Sale

APR 27 2015

RECEIVED
APR 27 2021

BY:



NO PARKING
ANYTIME
EXCEPT
ON SUNDAY

APR 27 2021





RECEIVED
APR 27 2021



APR 27 2021

