

**P22-19**  
**Hotel Redevelopment**  
**REVISED**

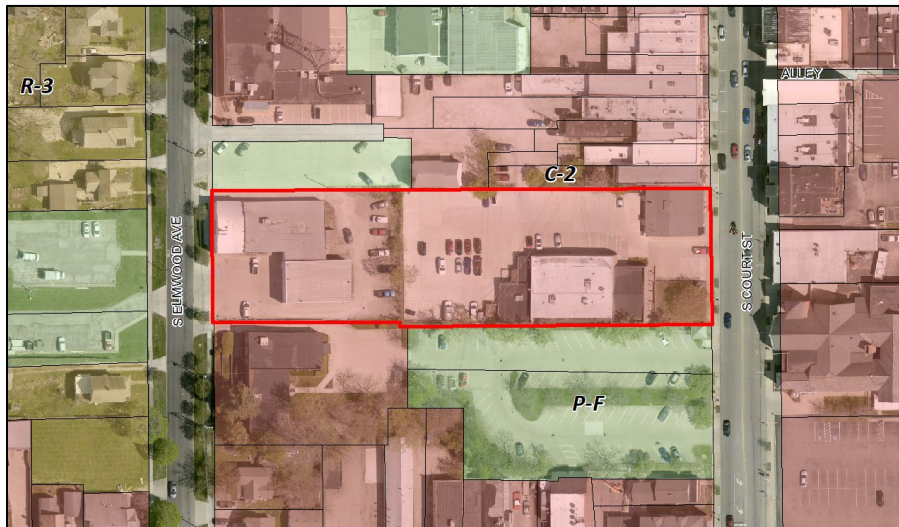
Property Owner: Legacy Hotel of Medina LLC  
Applicant: Jim Gerspacher  
Location: 257 South Court Street  
Zoning: C-2 (Central Business)  
Request: Revised Site Plan approval for the construction of a hotel

**LOCATION AND SURROUNDING USES**

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The subject property encompasses 1.48 acres located between South Court Street and South Elmwood Avenue. Adjacent properties contain the following uses and zoning:

- North – Retail (C-2) and Parking (P-F)
- East – Retail and Entertainment (C-2)
- South – Fitness Center (C-2) and Parking (P-F)
- West – Residential (R-3) and Parking (P-F)



**BACKGROUND & PROPOSED APPLICATION**

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November 9, 2022 - The Planning Commission (PC) conditionally approved application P22-19 for the construction of a hotel.

October 12, 2023 – The PC extended the conditional approval.

March 14, 2024 – The PC approved a separate application, P24-09, for the construction of an event center and a parking lot to the rear of the hotel.

May 9, 2024 – The PC approved revisions to the building’s footprint, height, and building elevations.

The current application requests modifications to the southeast corner of the building by incorporating a door on the east side of the building, a door on the south side of the building, and a new staircase.

## **REVISED PLANS**

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### **East Side (Facing South Court Street)**

#### Approved 5/9/24

- Limestone colored masonry
- Dark metal front double doors with a large flat bronze colored canopy
- Six windows with upper grilles and “Hogan Admiral” colored awnings

#### Proposed

- Limestone colored masonry, brick, and navy colored fiber cement board with gold details
- Front double doors with a reduced flat bronze colored canopy and additional double doors near the southern corner of the building. Both doors are brown in color and incorporate grilles.
- Two light fixtures on each side of the entrance
- Red awnings above the northern two windows and blue and white striped awnings above the two southernmost windows and a proposed door
- Ten window sections with grilles
- Additional sign on top of the canopy, which would require separate approval and a variance

The applicant received a variance from Section 1135.13(b)(4), which states that the face of the building shall be broken up into storefront modules not exceeding 50 ft. in width. The proposed revision would bring the project more in compliance with this requirement as the front face of the building is broken up into different sections and has multiple entrances.

### **South Side (Facing the Feckley Parking Lot)**

#### Approved 5/9/24

- Limestone colored masonry
- A dark metal front door with a “Hogan Admiral” colored awning
- Three windows with upper grilles
- A ramp/walkway with a black metal railing

#### Proposed

- Limestone colored masonry, brick, and navy colored fiber cement board with gold details
- An additional side double door, brown in color, with grilles
- Three additional window sections with grilles
- A ramp/walkway with a black metal railing and stairs

### **Site (Southeast Corner)**

#### Approved 5/9/24

- Landscaping between the hotel and the sidewalk
- A ramp/walkway connecting the sidewalk to an entrance on the south side of the building, incorporating a black metal railing, and partially located on the Feckley Lot property

#### Proposed

- A hardscaped area with steps, a patio area, and potted plants south of the main entrance between the hotel and the sidewalk
- The connection of the ramp/walkway to the Feckley Lot via the aforementioned stairs
- A hatched area in one or more parking spaces in the Feckley Lot

The acceptance of hatching of an existing parking space(s) in the Feckley Lot would be included in Condition #4 of the previous approval, which states: "Use, improvements, or access to the public right-of-way or City Parking Lot #4 shall be authorized in a format determined by the City Law Director".

### **SITE PLAN REVIEW STANDARDS**

The Planning Commission's review and action shall be based on the following Standards per Section 1109.02(c):

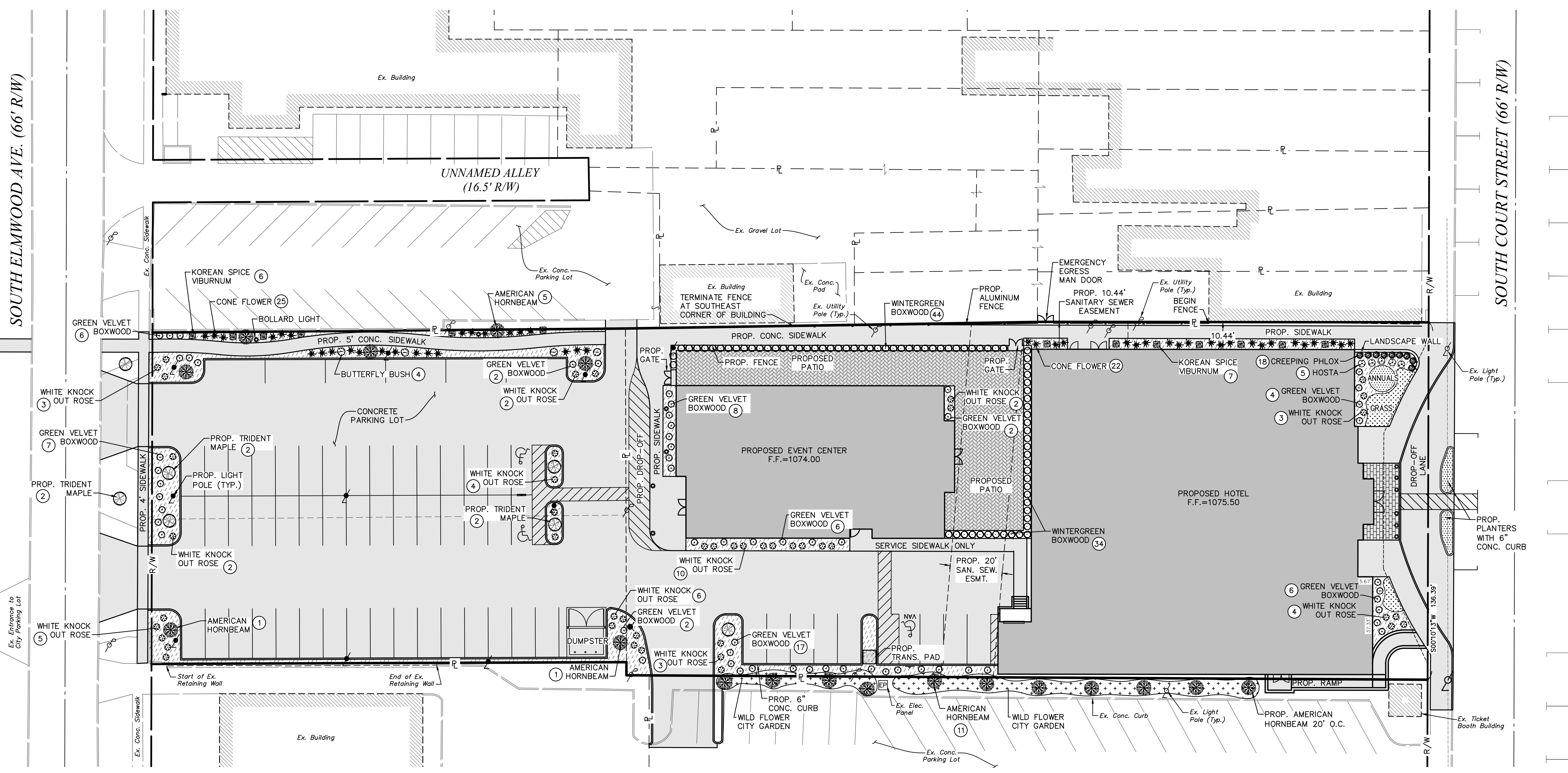
- (1) The site plan shows that a proper relationship does exist between thoroughfares, service roads, driveways and parking areas to encourage pedestrian and vehicular traffic safety.
- (2) All the development features including the principal buildings, open spaces, service roads, driveways and parking areas are so located and related as to minimize the possibility of any adverse effects upon adjacent development.
- (3) The site plan includes adequate provision for the screening of parking areas, service areas and active recreation areas from surrounding properties by landscaping and/or ornamental walls or fences. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (4) Grading and surface drainage provisions are reviewed and approved by the City Engineer.
- (5) The design and construction standards of all private streets, driveways and parking areas are to be built following approval of plans by the City Engineer according to construction standards specified in the Codified Ordinances.
- (6) Maximum possible privacy for multi-family dwellings and surrounding residential properties shall be provided through good design and use of proper building materials and landscaping. Visual privacy should be provided through structural screening and landscaping treatment. Auditory privacy in multi-family dwellings should be provided through soundproofing. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (7) The architectural design of buildings should be developed with consideration given to the relationship of adjacent development in terms of building height, mass, texture, materials, line and pattern and character.
- (8) Building location and placement should be developed with consideration given to minimizing removal of trees and change of topography. Any trees to be removed which are planted in a public right-of-way or on municipal property shall be reviewed by the Shade Tree Commission.
- (9) In multi-family developments, television and other antennas shall be centralized.
- (10) On-site circulation shall be designed to make possible adequate fire and police protection.
- (11) Off-street parking facilities shall be provided in accordance with Chapter 1145. In large parking areas, visual relief shall be provided through the use of tree planted and landscaped dividers, islands and walkways. In multi-family developments no parking or service areas shall be permitted between any street and the main building. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (12) Signs shall be provided in accordance with these Codified Ordinances.
- (13) Any trees planted on site shall be on approved list of Shade Tree Commission and planted in accordance with Commission standards.

### **COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION**

Staff recommends revised Site Plan approval of application P22-19 retaining the conditions from the previous approval, many of which have already been addressed.

SOUTH ELMWOOD AVE. (66' R/W)

SOUTH COURT STREET (66' R/W)



DATE	DESCRIPTION	R/W

**LEGACY HOTEL OF MEDINA**  
 LOCATED IN  
 COUNTY OF MEDINA  
**CUNNINGHAM & ASSOCIATES, INC.**  
 CIVIL ENGINEERING and SURVEYING  
 203 W. LIBERTY ST. MEDINA, OHIO 44226 330-725-5980

**LANDSCAPE PLAN**

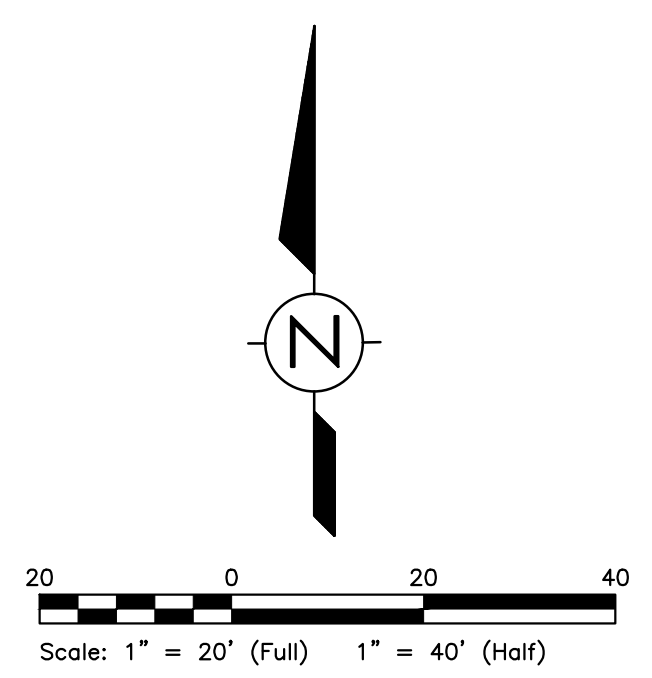
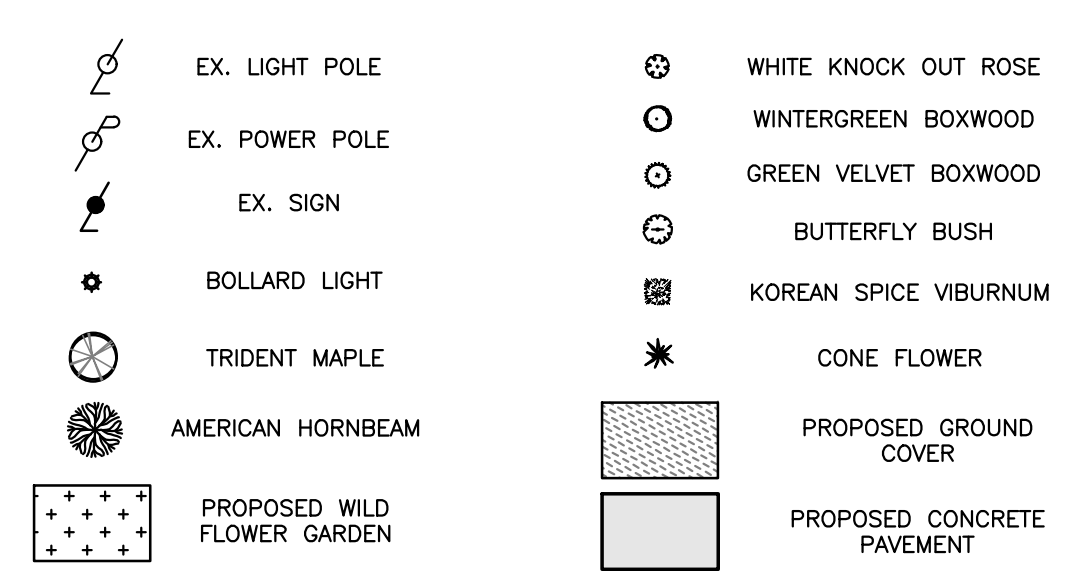
**LANDSCAPE PLAN**

**LANDSCAPE PLAN**

PLANT MATERIALS LIST			
QTY.	COMMON NAME	BOTANICAL NAME	SIZE
<b>DECIDUOUS TREES</b>			
8	TRIDENT MAPLE	<i>Acer buergerianum</i>	6'-7'
18	AMERICAN HORNBEAM	<i>Carpinus caroliniana</i>	6'-7'
<b>FLOWERING AND EVERGREEN SHRUBS</b>			
78	WINTERGREEN BOXWOOD	<i>Buxus sinica var. insularis 'Wintergreen'</i>	12"
59	GREEN VELVET BOXWOOD	<i>Buxus koreana 'Green Velvet'</i>	12"
44	WHITE KNOCK OUT ROSE	<i>Rosa x 'RADwhite'</i>	12"
13	KOREAN SPICE VIBURNUM	<i>Viburnum carlesii</i>	12"
4	BUTTERFLY BUSH	<i>Buddleja davidii</i>	12"
<b>PERENNIALS</b>			
18	CREeping PHLOX	<i>Phlox subulata-white and pink</i>	6"
47	CONE FLOWER	<i>Echinacea purpurea</i>	8"-12"
5	HOSTA	<i>Fortunei 'aureomarginata'</i>	8"-12"
<b>ANNUALS</b>			
72	FLOWERING ANNUALS	Daylily, Red Impatiens, Coreopsis, Sweet williams, Aster, Geraniums	12"

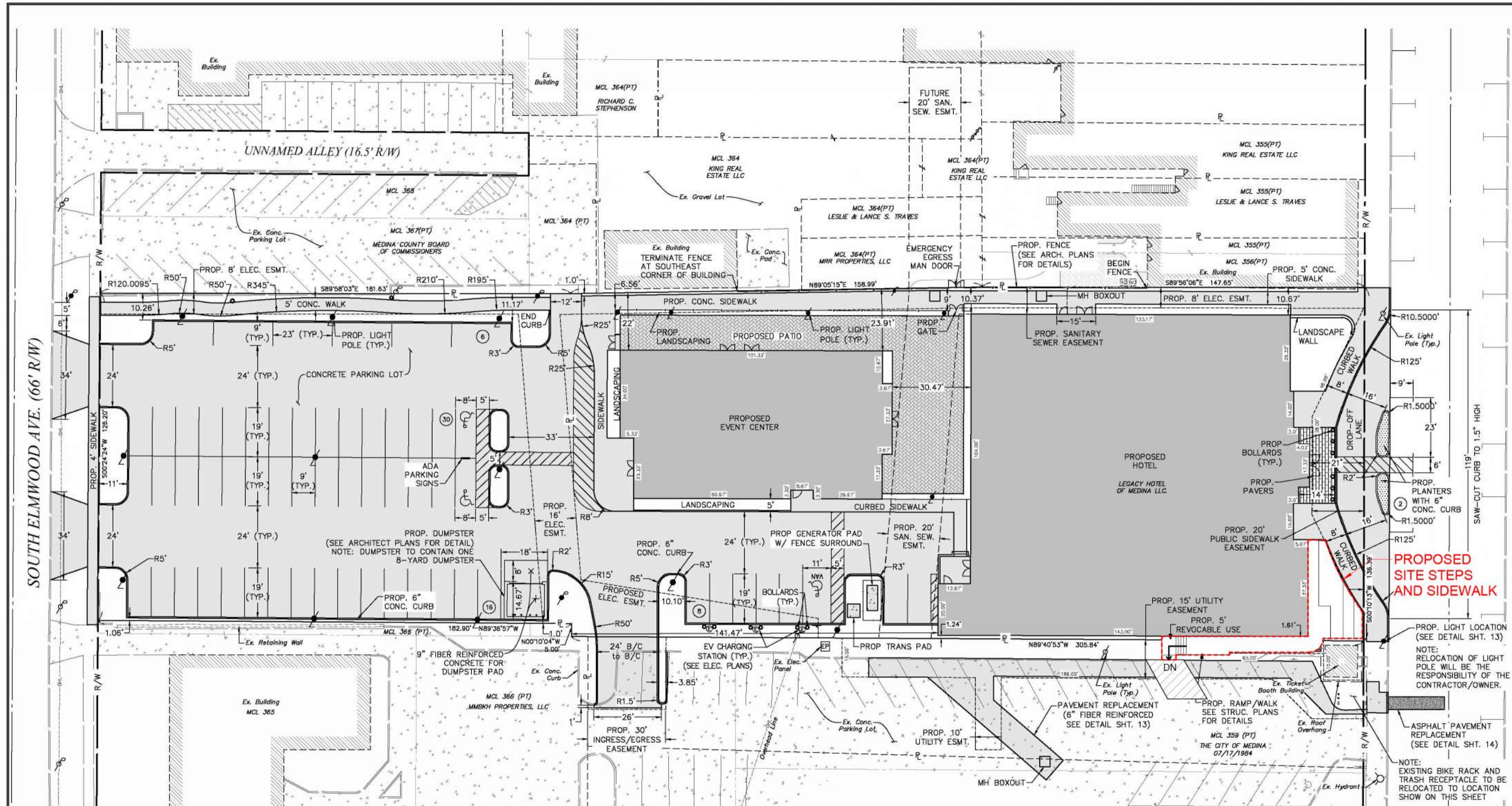
- GENERAL NOTES - PLANTING**
- EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
  - EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
  - CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
  - ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD BARK MULCH BED.
  - CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
  - FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
  - CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION, SEE PLAN.
  - ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
  - ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
  - LANDSCAPING MUST CONFORM TO THE CITY OF MEDINA PLANNING AND ZONING CODE CHAPTER 1149.
  - BACKFILL WITH TOPSOIL AS REQUIRED TO BRING FINISHED GRADE FLUSH WITH GRADE ADJACENT, INSURING POSITIVE DRAINAGE OVER ALL SURFACE.
  - LAWN AREA, FILL WITH TOPSOIL, MINIMUM DEPTH SHALL BE 6". MEET ADJACENT SURFACES FLUSH. MOUND TO PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
  - LANDSCAPE AREA, FILL WITH TOPSOIL, MINIMUM DEPTH SHALL BE 24". MEET ADJACENT SURFACES FLUSH. MOUND TO PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.

**LEGEND**



**Approved 5/9/24**

X:\Info\_Folders\2022\22-137 Drawings\Improvement Plans\22-137 SITE L5.dwg, 3/22/2024 8:50 AM, Cindy Halitch



**1** PLAN PRELIMINARY SITE PLAN - HOTEL  
 1" = 40'-0"

SLATE LOOK SHINGLE ROOF  
 ECO STAR MAJESTIC SLATE  
 TRADITIONAL CLASS C  
 COLOR: CHESTNUT BROWN,  
 FEDERAL GRAY, CEDAR  
 BROWN, MOUNTAIN PLUM,  
 DRIFTWOOD

FIBER CEMENT PANEL  
 PRIMED AND PAINTED,  
 COLOR: PANDA WHITE  
 SW 6147

FIBERGLASS CORNICE  
 ARCHITECTURAL  
 FIBERGLASS C-332. NO  
 CHANGE TO PROPOSED  
 COLOR PALETTE

BRICK VENEER,  
 GLEN-GERY: OLDE DETROIT

SIGNAGE TO BE DETERMINED  
 AT A FUTURE DATE

BRICK REVEAL DETAIL

STO LIMESTONE

SOLDIER COURSE DETAIL

ANODIZED ALUMINUM FIXED  
 WINDOW, LOW-E GLASS,  
 FRAME COLOR: DARK BRONZE,

AWNING, COLOR: HOGAN  
 ADMIRAL

ANODIZED ALUMINUM FIXED  
 WINDOW, LOW-E GLASS,  
 FRAME COLOR: DARK BRONZE

ARRISCRAFT - RENAISSANCE  
 MASONRY UNITS, COLOR:  
 LIMESTONE, FINISH: SATIN

CAST STONE BASE

CANOPY, COLOR: BRONZE

BOLLARD (FLAT TOP), COLOR: BLACK



1

ELEVATION HOTEL - EAST ELEVATION

1" = 10'-0"

1" = 10'-0"



PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
 DATE: MAY 1, 2024  
 PROJECT NO. 14423

Approved 5/9/24

SHEET NAME

HOTEL - EAST EXTERIOR  
 ELEVATION

SHEET NO.

HSK01



SLATE LOOK SHINGLE ROOF  
 ECO STAR MAJESTIC SLATE  
 TRADITIONAL CLASS C  
 COLOR: CHESTNUT BROWN,  
 FEDERAL GRAY, CEDAR  
 BROWN, MOUNTAIN PLUM,  
 DRIFTWOOD

FIBER CEMENT PANEL  
 PRIMED AND PAINTED,  
 COLOR: PANDA WHITE  
 SW 6147

FIBERGLASS CORNICE  
 ARCHITECTURAL  
 FIBERGLASS C-332. NO  
 CHANGE TO PROPOSED  
 COLOR PALETTE

BRICK VENEER,  
 GLEN-GERY: OLDE DETROIT

SIGNAGE TO BE DETERMINED  
 AT A FUTURE DATE

BRICK REVEAL DETAIL

STO LIMESTONE

SOLDIER COURSE DETAIL

ANODIZED ALUMINUM FIXED  
 WINDOW, LOW-E GLASS,  
 FRAME COLOR: DARK BRONZE,

AWNING, COLOR: HOGAN  
 ADMIRAL

ANODIZED ALUMINUM FIXED  
 WINDOW, LOW-E GLASS,  
 FRAME COLOR: DARK BRONZE

FIBER CEMENT AND MDO  
 TRIM. COLOR: NEEDLEPOINT  
 NAVY SW 0032



CAST STONE BASE

CANOPY, COLOR: BRONZE

BOLLARD (FLAT TOP), COLOR: BLACK



1

ELEVATION HOTEL - EAST ELEVATION

1" = 10'-0"

1" = 10'-0"



PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
 DATE: SEPTEMBER 30, 2024  
 PROJECT NO. 14423

**Proposed**

SHEET NAME

HOTEL - EAST EXTERIOR  
 ELEVATION

SHEET NO.

HSK01



SLATE LOOK SHINGLE ROOF  
 ECO STAR MAJESTIC SLATE  
 TRADITIONAL CLASS C  
 COLOR: CHESTNUT BROWN,  
 FEDERAL GRAY, CEDAR  
 BROWN, MOUNTAIN PLUM,  
 DRIFTWOOD

FIBER CEMENT PANEL  
 PRIMED AND PAINTED,  
 COLOR: PANDA WHITE  
 SW 6147

FIBERGLASS CORNICE  
 ARCHITECTURAL  
 FIBERGLASS C-345.  
 COLOR:  
 SW 6147 PANDA WHITE  
 SW 0032 NEEDLEPOINT  
 NAVY

BRICK VENEER,  
 GLEN-GERY: OLDE DETROIT

STO LIMESTONE

BRICK REVEAL DETAIL

SOLDIER COURSE  
 DETAIL

ANODIZED ALUMINUM FIXED  
 WINDOW, LOW-E GLASS,  
 FRAME COLOR: DARK  
 BRONZE

FIBERGLASS CORNICE  
 ARCHITECTURAL  
 FIBERGLASS C-332. NO  
 CHANGE TO PROPOSED  
 COLOR PALETTE

ARRISCRAFT -  
 RENAISSANCE  
 MASONRY UNITS,  
 COLOR: LIMESTONE,  
 FINISH: SATIN

CAST STONE BASE



TOP OF ROOF  
71'-0"

ROOF  
61'-0"

PARAPET  
53'-3"

FIFTH FLOOR  
47'-10 1/4"

FOURTH FLOOR  
36'-7 5/8"

THIRD FLOOR  
25'-9 7/8"

SECOND FLOOR  
15'-0"

CANOPY, COLOR:  
DARK BRONZE

FIRST FLOOR  
0'-0"

1

ELEVATION HOTEL - SOUTH ELEVATION

1" = 10'-0"

1" = 10'-0"



PROJECT INFORMATION  
 MEDINA HOTEL - EVENT CENTER  
 DATE: MAY 1, 2024  
 PROJECT NO. 14423

Approved 5/9/24

SHEET NAME  
 HOTEL - SOUTH  
 EXTERIOR ELEVATION

SHEET NO.  
 HSK04



SLATE LOOK SHINGLE ROOF  
 ECO STAR MAJESTIC SLATE  
 TRADITIONAL CLASS C  
 COLOR: CHESTNUT BROWN,  
 FEDERAL GRAY, CEDAR  
 BROWN, MOUNTAIN PLUM,  
 DRIFTWOOD

FIBER CEMENT PANEL  
 PRIMED AND PAINTED,  
 COLOR: PANDA WHITE  
 SW 6147

FIBERGLASS CORNICE  
 ARCHITECTURAL  
 FIBERGLASS C-345.  
 COLOR:  
 SW 6147 PANDA WHITE  
 SW 0032 NEEDLEPOINT  
 NAVY

BRICK VENEER,  
 GLEN-GERY: OLDE DETROIT

STO LIMESTONE  
 BRICK REVEAL DETAIL  
 SOLDIER COURSE  
 DETAIL

ANODIZED ALUMINUM FIXED  
 WINDOW, LOW-E GLASS,  
 FRAME COLOR: DARK  
 BRONZE

FIBERGLASS CORNICE  
 ARCHITECTURAL  
 FIBERGLASS C-332. NO  
 CHANGE TO PROPOSED  
 COLOR PALETTE

ARRISCRAFT -  
 RENAISSANCE  
 MASONRY UNITS,  
 COLOR: LIMESTONE,  
 FINISH: SATIN

CAST STONE BASE

+ 71'-0"

+ 66'-11"

TOP OF ROOF  
 71'-0"

ROOF  
 61'-0"

PARAPET  
 53'-3"

FIFTH FLOOR  
 47'-10 1/4"

FOURTH FLOOR  
 36'-7 5/8"

THIRD FLOOR  
 25'-9 7/8"

CANOPY, COLOR:  
 DARK BRONZE

SECOND FLOOR  
 15'-0"

FIBER CEMENT AND  
 MDO TRIM. COLOR:  
 NEEDLEPOINT NAVY  
 SW 0032

FIRST FLOOR  
 0'-0"

**1** ELEVATION HOTEL - SOUTH ELEVATION  
 1" = 10'-0" 1" = 10'-0" 0 10' 20' 30'



PROJECT INFORMATION  
 MEDINA HOTEL - EVENT CENTER  
 DATE: SEPTEMBER 30, 2024  
 PROJECT NO. 14423

**Proposed**

SHEET NAME SHEET NO.  
 HOTEL - SOUTH EXTERIOR ELEVATION HSK04



NEIGHBORING BUILDING  
HEIGHT ~ 32'-8"

~ 36'-2"

NEIGHBORING BUILDING  
GRADE AT 1079'

HOTEL FIRST FLOOR GRADE AT 1075.5'

PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
DATE: MAY 1, 2024  
PROJECT NO. 14423

**Approved 5/9/24**

SHEET NAME  
SOUTH EAST CORNER -  
3D STREET  
PERSPECTIVE

SHEET NO.  
HSK08





PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
 DATE: OCTOBER 1, 2024  
 PROJECT NO. 14423

**Proposed**

SHEET NAME  
 SOUTH EAST CORNER -  
 3D STREET  
 PERSPECTIVE

SHEET NO.  
 HSK08





MEDINA HOTEL - EVENT CENTER  
DATE: MAY 1, 2024  
PROJECT NO. 14423

PROJECT INFORMATION

**Approved 5/9/24**

SHEET NAME

EAST FACADE - 3D  
PERSPECTIVE

SHEET NO.

HSK09



PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
DATE: OCTOBER 1, 2024  
PROJECT NO. 14423

**Proposed**

SHEET NAME

UPDATED NORTH EAST -  
3D PERSPECTIVE

SHEET NO.

HSK14





PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
DATE: OCTOBER 1, 2024  
PROJECT NO. 14423

**Proposed**

SHEET NAME

UPDATED SOUTH EAST -  
3D PERSPECTIVE

SHEET NO.

HSK15





PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
DATE: OCTOBER 1, 2024  
PROJECT NO. 14423

**Proposed**

SHEET NAME  
UPDATED SOUTH EAST  
CORNER - 3D  
PERSPECTIVE

SHEET NO.  
HSK16





PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
DATE: OCTOBER 1, 2024  
PROJECT NO. 14423

**Proposed**

SHEET NAME  
HOTEL ENTRANCE &  
COFFEE SHOP - 3D  
PERSPECTIVE

SHEET NO.  
HSK17







PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
DATE: OCTOBER 1, 2024  
PROJECT NO. 14423

**Proposed**

SHEET NAME  
UPDATED HOTEL  
ENTRANCE - 3D  
PERSPECTIVE

SHEET NO.  
HSK18





PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
DATE: OCTOBER 1, 2024  
PROJECT NO. 14423

**Proposed**

SHEET NAME  
COFFEE SHOP  
ENTRANCE- 3D  
PERSPECTIVE

SHEET NO.  
HSK19





PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
DATE: OCTOBER 1, 2024  
PROJECT NO. 14423

**Proposed**

SHEET NAME

SOUTH ENTRANCE - 3D  
PERSPECTIVE

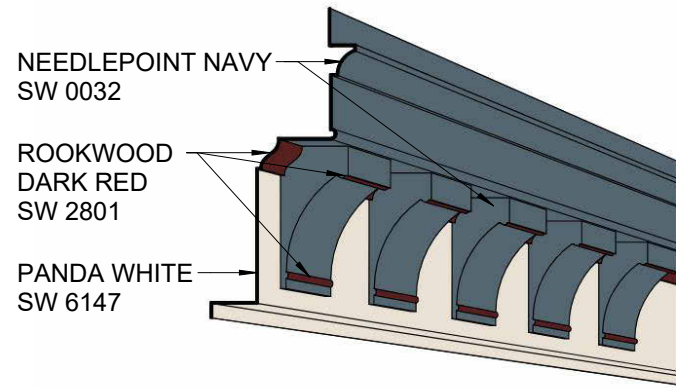
SHEET NO.

HSK20



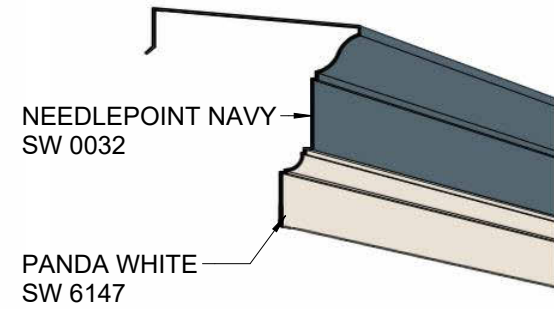
FIBERGLASS CORNICE - AMERICAN  
FIBERGLASS INC. C-332 (NO CHANGE)

C-332  
DEPTH: 1'-8"  
HEIGHT: 3'-6 3/4"



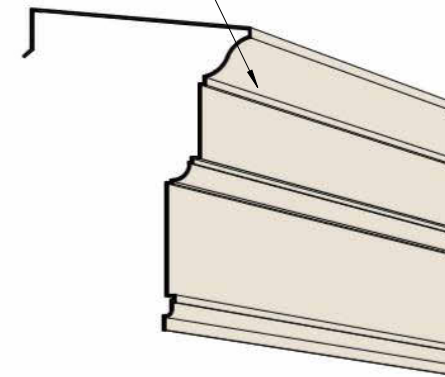
FIBERGLASS CORNICE - AMERICAN  
FIBERGLASS INC. C-345

C-345  
DEPTH: 1'-10 1/2"  
HEIGHT: 2'-7 7/8"



-10 1/2"  
-7 7/8"

PANDA WHITE  
SW 6147



STO LIMESTONE FINISH @  
LINTELS & SILLS. (NO CHANGE)

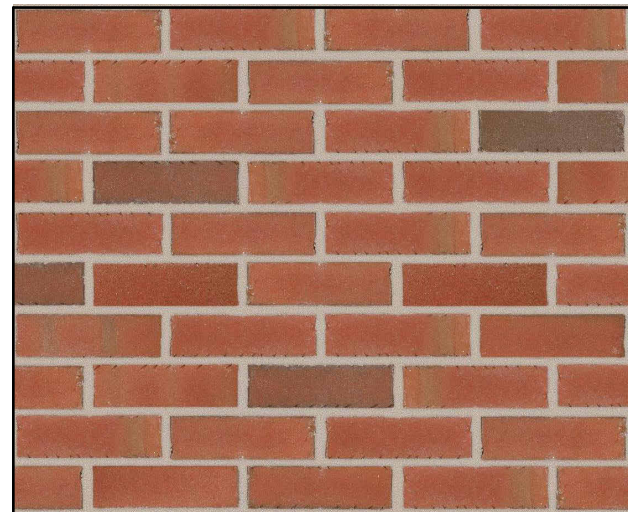
STO LIMESTONE FINISH



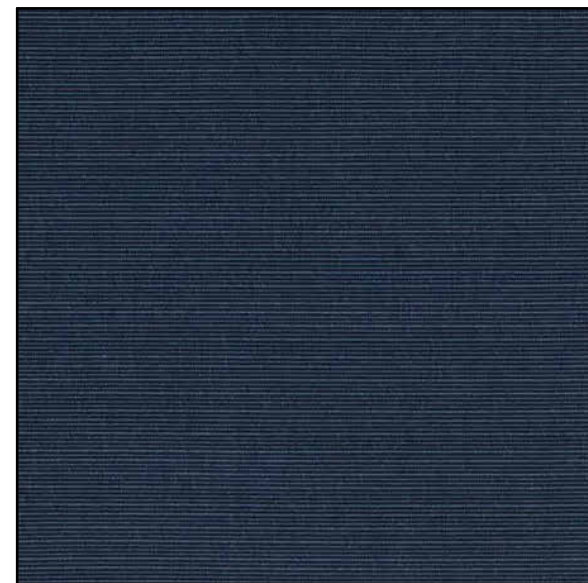
ARRISCRAFT - RENAISSANCE MASONRY UNITS,  
COLOR: LIMESTONE, FINISH: SATIN



GLEN-GERY BRICK : OLDE DETROIT  
(NO CHANGE)



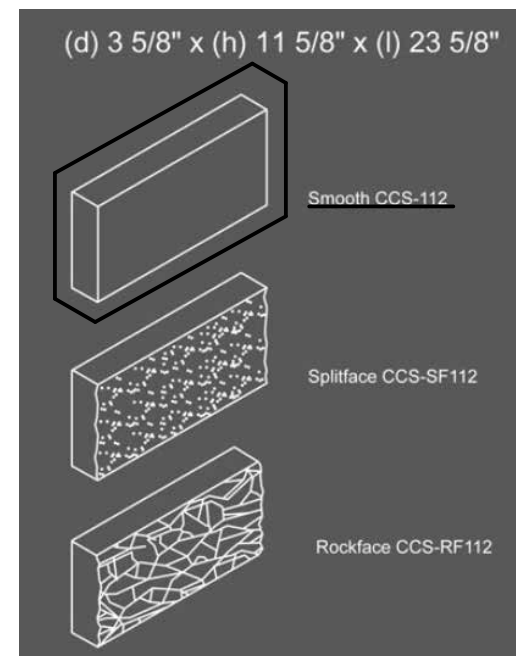
SUNBRELLA FABRICS  
COLOR: HOGAN ADMIRAL



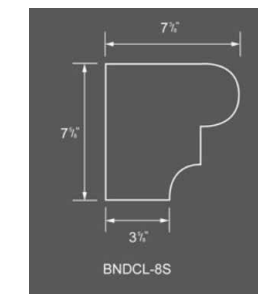
ARCHITECTURAL CAST STONE BASE, CUSTOM CASTSTONE.  
STONE SMOOTH FINISH CCS-112, CAP BNDCL-8S  
COLOR: LIMESTONE

STONE SIZE AND FINISH

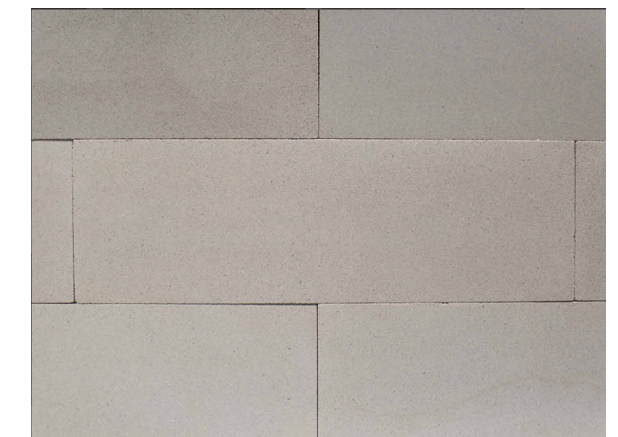
(d) 3 5/8" x (h) 11 5/8" x (l) 23 5/8"



CAP PROFILE



COLOR



PROJECT INFORMATION

MEDINA HOTEL - EVENT CENTER  
DATE: MAY 1, 2024  
PROJECT NO. 14423

SHEET NAME

EXTERIOR ELEVATIONS  
MATERIALS

SHEET NO.

HSK06

