

BOARDS & COMMISSIONS APPLICATION

132 North Elmwood Avenue 330-722-9038 www.medinaoh.org

Application Number P23-02

		_		
GENERAL	Date of Application 1/18/23			
	Property Location 855 Weymouth Road			
	Description of Project 1,762 sq. ft. addition to the recreation center to accommodate an area for			
	free weights.			
CONTACT INFORMATION	Applicant Name City of Medina - Jansen Wehrley			
	Address 132 North Elmwood Ave City Medina State Oh Zip 44256			
	Phone 330-712-6950 Email jwehrley@medinaoh.org			
	Property Owner Name Medina City Schools			
	Address 777 East Union St City Medina State OH Zip 44256			
00	Phone 330-636-3031 Email sablea@medinabees.org			
TYPE	Planning Commission Site Plan Conditional Zoning Certificate Code or Map Amendment	_		
ON	Preliminary Plan Final Plat Conditional Sign (EMC/Shopping Ctr) Cert. of Appr. (TCOV) Other			
APPLICATION	Historic Preservation Board Certificate of Appropriateness Conditional Sign			
	Board of Zoning Appeals Variance Appeal			
APPLICANT SIGNATURE	By signing this application, I hereby certify that: 1) The information contained in this application is true and accurate to the best of my knowledge; 2) I am authorized to make this application as the property owner of record or I have been authorized to make this application by the property owner of record; 3) I assume sole responsibility for correspondence regarding this application; and 4) I am aware that all application requirements must be submitted prior to the formal acceptance of my application.			
	Signature Date			
OFFICIAL USE	Zoning District PF Fee (See Fee Sheet) \$			
	Meeting Date Check Box when Fee Paid			
		_		



P23-02 Recreation Center Addition

Property Owner: Medina City School District

Applicant: Jansen Wehrley

Location: 855 Weymouth Road

Zoning: P-F (Public Facilities)

Request: Site Plan approval for an addition

LOCATION AND SURROUNDING USES

The subject site is composed of 117 acres located on the north and west sides of Weymouth Road and East Union Street. Adjacent properties include the following uses and zoning:

- North Single-Family Residential (R-1)
- East Park (O-C), Cemetery (P-F) & Single-Family Residential (R-2)
- South Single-Family Residential (R-2)
- West Single-Family Residential (R-2) & Multi-Family Residential (R-4)



BACKGROUND & PROPOSED APPLICATION

In 2019, a 4,328 sq. ft. addition on the northeast side of the Medina Recreation Center was approved by the Planning Commission. Due to the onset of the COVID-19 pandemic and other factors, the project did not move forward. The current application is a 1,762 sq. ft. ft. one-story addition with a flat roof. The addition is in the same location and will accommodate a free-weight area.

Though the use is permitted, Section 1130.06 requires a public hearing for all Site Plan applications in the P-F zoning district.



DEVELOPMENT STANDARDS

The following table indicates the general development standard requirements of the PF zoning district:

	Required	Proposed
Min. Building Setback		
Front	50 ft.	725 ft.+
Side	50 ft.	1,600 ft.+
Rear	50 ft.	500 ft.+
Min. Lot Frontage	40 ft.	3,500 ft.+
Max Building Height	45 ft.	13 ft.

The project meets the applicable minimum general development standards.

PARKING, ACCESS, AND CIRCULATION

The proposed addition does not propose any alterations to parking, access, or circulation for the site. The addition is minor and does not require any changes.

LANDSCAPING, SCREENING, AND BUFFERING

The proposed addition does not propose any changes to landscaping, screening, or buffering for the site. The addition is minor and does not require any additional landscaping.

BUILDING ELEVATIONS AND LIGHTING

Architectural plans have been submitted showing the front and side of the addition clad in brick with scored CMU accents. The addition will also include three sets of windows facing to the north and one set of windows facing east. The proposed addition's exterior is similar to the existing facade of the Medina Recreation Center.

No lighting is proposed for the addition.

ENGINEERING AND FIRE DEPARTMENT COMMENTS

The Engineering and Fire Departments had no comments regarding the application.

SITE PLAN REVIEW STANDARDS

The Planning Commission's review and action shall be based on the following standards per Section 1109.02(c):

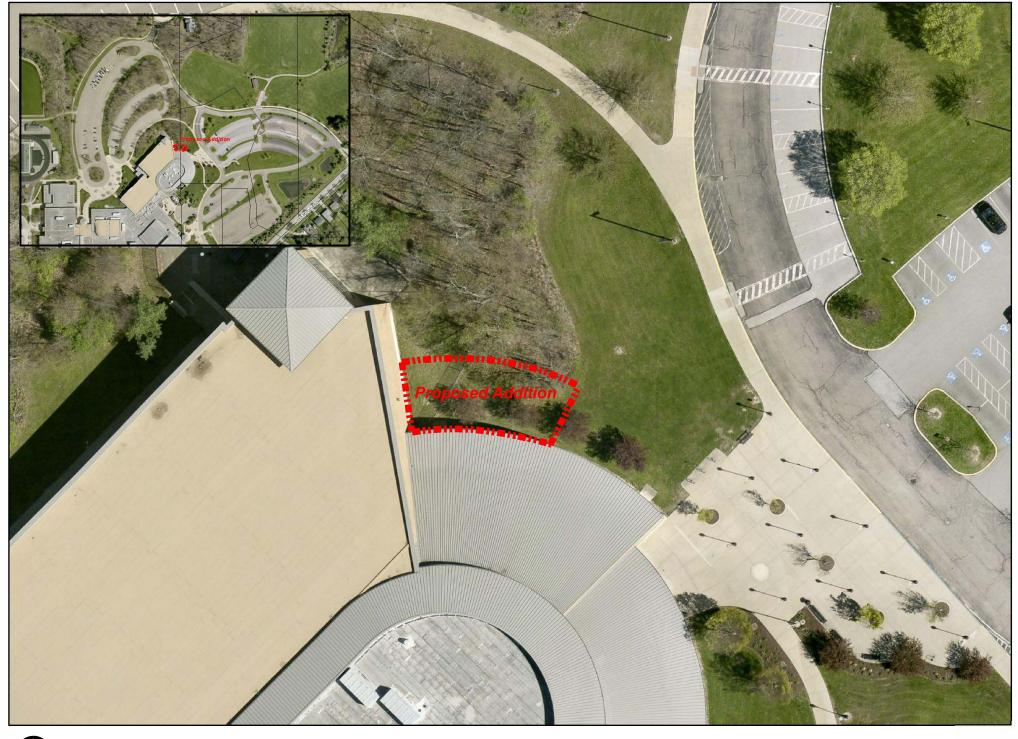
- (1) The site plan shows that a proper relationship does exist between thoroughfares, service roads, driveways and parking areas to encourage pedestrian and vehicular traffic safety.
- (2) All the development features including the principal buildings, open spaces, service roads, driveways and parking areas are so located and related as to minimize the possibility of any adverse effects upon adjacent development.
- (3) The site plan includes adequate provision for the screening of parking areas, service areas and active recreation areas from surrounding properties by landscaping and/or ornamental walls or fences. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (4) Grading and surface drainage provisions are reviewed and approved by the City Engineer.



- (5) The design and construction standards of all private streets, driveways and parking areas are to be built following approval of plans by the City Engineer according to construction standards specified in the Codified Ordinances.
- (6) Maximum possible privacy for multi-family dwellings and surrounding residential properties shall be provided through good design and use of proper building materials and landscaping. Visual privacy should be provided through structural screening and landscaping treatment. Auditory privacy in multi-family dwellings should be provided through soundproofing. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (7) The architectural design of buildings should be developed with consideration given to the relationship of adjacent development in terms of building height, mass, texture, materials, line and pattern and character.
- (8) Building location and placement should be developed with consideration given to minimizing removal of trees and change of topography. Any trees to be removed which are planted in a public right-of-way or on municipal property shall be reviewed by the Shade Tree Commission.
- (9) In multi-family developments, television and other antennas shall be centralized.
- (10) On-site circulation shall be designed to make possible adequate fire and police protection.
- (11) Off-street parking facilities shall be provided in accordance with Chapter 1145. In large parking areas, visual relief shall be provided through the use of tree planted and landscaped dividers, islands and walkways. In multi-family developments no parking or service areas shall be permitted between any street and the main building. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (12) Signs shall be provided in accordance with these Codified Ordinances.
- (13) Any trees planted on site shall be on approved list of Shade Tree Commission and planted in accordance with Commission standards.

COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION

Staff recommends approval of application P23-02 as submitted.





0 20 40 60 80 Feet

Recreation Center Expansion at Medina High School



CITY OF MEDINA & MEDINA CITY SCHOOLS

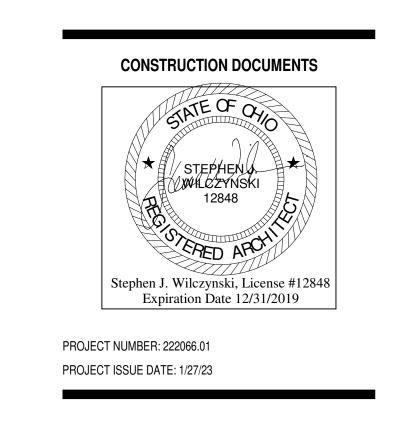


FANNING HOWEY
ASSOCIATES INC.
DUBLIN, OH 43017
614-764-4661



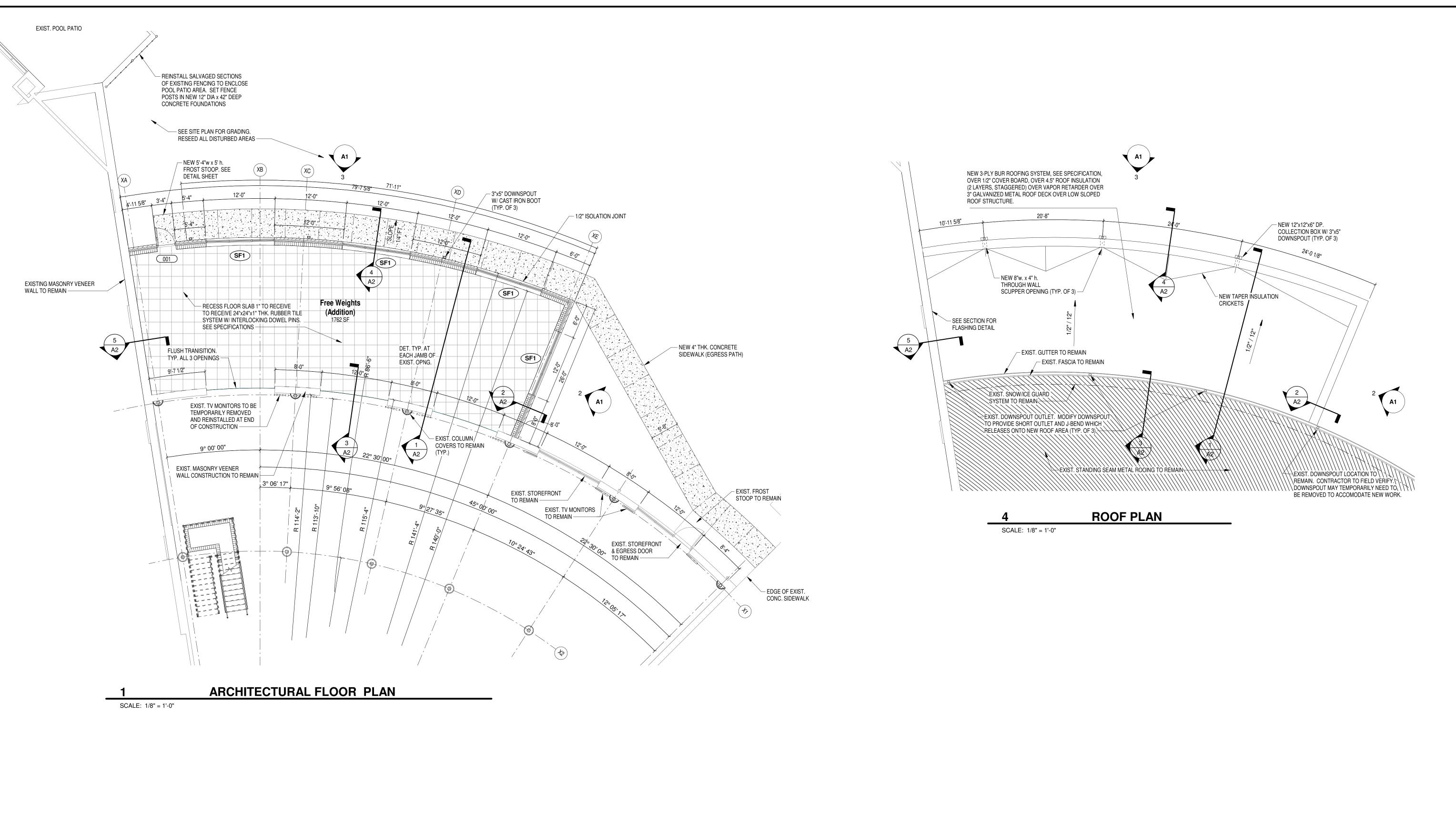
JEZERINAC GEERS & ASSOCIATES
DUBLIN, OH 43017
614-766-0066





COVER SHEET

VOLUME A



EXIST. STANDING SEAM METAL

EXIST. GUTTER & DOWNSPOUT

EXIST. SCORED CMU —

EXIST. STOREFRONT ----

SCALE: 3/16" = 1'-0"

NEW PRE-ENGINEERED / PRE-FINISHED METAL COPING (MATCHING METAL ROOFING COLOR)

- NEW 4" CONC. SIDEWALK ON

4" GRANULAR BASE

NEW 8"x16"x4" SCORED CMU MASONRY VENEER (MATCH EXISTING COLOR) TYP.

NEW ALUMN. STOREFRONT WINDOW SYSTEM

NEW CONCRETE FOUNDATION

NORTH EXTERIOR ELEVATION

ARCHITECTURAL PLAN GENERAL NOTES

- A. ALL CMU WALLS THAT DO NOT LAY OUT IN FULL OR HALF LENGTHS SHOULD BE BALANCED SO AS NOT TO HAVE ANY PIECES LESS THAN 4" IN SIZE EXPOSED
- TO HAVE ANY PIECES LESS THAN 4" IN SIZE EXPOSED TO VIEW.

 B. WHERE DISSIMILAR FLOOR MATERIALS MEET, THEY
- SHALL DO SO UNDER THE CENTERLINE OF THE DOOR,
 UNLESS NOTED OTHERWISE.
 C. THERE SHALL BE PERIMETER INSULATION CONTINUOUS
- C. THERE SHALL BE PERIMETER INSULATION CONTINUOU AROUND THE ENTIRE PERIMETER OF THE BUILDING EXTENDING 2'-0" MINIMUM BELOW GRADE.
- EXTENDING 2'-0" MINIMUM BELOW GRADE.
 THE BASE FLOOR ELEVATION INDICATED FOR THE PROJECT IS 100'-0". REFER TO SITE PLAN FOR
- CORRELATION TO USGS DATUM.

 E. ALL INTERIOR MASONRY WALLS THAT RUN TO UNDERSIDE OF DECK ABOVE SHALL HAVE A 2" JOINT (U.N.O.) AT THE DECK TO BE FILLED WITH FIRE STOPPING AT RATED WALLS PER PROJECT MANUAL., AND MINERAL WOOL AT THE NON-RATED WALLS, TO ALLOW FOR DEEL ECTION.
- AND MINERAL WOOL AT THE NON-RATED WALLS, TO
 ALLOW FOR DEFLECTION.

 F. FOR TYPICAL COMMON JOINT DETAILS AND
 CONSTRUCTION MOVEMENT JOINT DETAILS REFER TO
 DETAILS ON SHEET XX.

 G. ALL DIMENSIONS ON FLOOR PLANS ARE TO FINISH
- FACE OF CMU, CONCRETE, BRICK OR FINISH FACE OF GWB AT METAL STUD WALLS, UNLESS NOTED OTHERWISE. EXCEPTION: EXTERIOR METAL STUD WALLS ARE TO FACE OF METAL STUDS.

 H. HINGE SIDE DOOR JAMB AT WALLS WILL TYPICALLY BE
- LOCATED 4" MINIMUM FROM ADJACENT WALL UNLESS NOTED OTHERWISE.

 I. ALL EXPOSED CONCRETE MASONRY UNITS (CMU) CORNERS ARE TO BE BULLNOSE, EXCEPT AT WINDOW JAMBS, BULKHEADS, WINDOW AND DOOR HEADS.
- J. SEE RÉFLECTED CEÍLING PLANS FOR BULKHEAD LOCATIONS AND DETAIL REFERENCES.
 K. REFER TO ROOM FINISH SCHEDULE OR PLAN AND EQUIPMENT PLANS FOR LOCATION AND EXTENT OF
- EQUIPMENT PLANS FOR LOCATION AND EXTENT OF FINISH FLOOR MATERIALS.

 L. PROVIDE WOOD BLOCKING AS REQUIRED. WITHIN METAL STUD WALLS FOR WALL MOUNTED ITEMS.

 M. REFER TO MASTER/CODE PLANS FOR CODE
- INFORMATION AND FIRE RATED WALL LOCATIONS.

 N. PROVIDE SPRAY FOAM INSULATION AND THERMAL BARRIER CONTINUOUS AT INTERSECTION OF EXTERIOR WALLS AND DECK.

Recreation Center
Expansion at
Medina High
School

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777 E Union Street Medina, OH 44256

CITY OF MEDINA & MEDINA CITY SCHOOLS

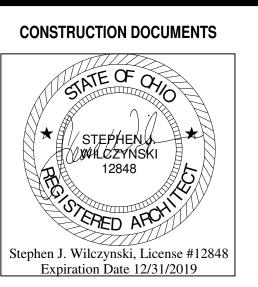


ARCHITE



614-764-4661 WWW.FHAI.COMDUBLIN, OH 43017

PLAN



DRAWN BY: MSM
PROJECT NUMBER: 222066.01
PROJECT ISSUE DATE: 1/27/23

REV.

NO.	DESCRIPTION	DATE
-		
-		
	•	•

VERIFICATION NOTE

EXIST. MASONRY VEENER WALL SYSTEM

NEW THROUGH WALL SCUPPER, COLLECTION BOX, DOWNSPOUT, & CAST IRON BOOT (TYP. OF 3)

NEW AL. STOREFRONT

DOOR & HARDWARE ----

- NEW UTILITY BRICK (4"x12"x4")

MATCH EXISTING, TÝP.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CLEARANCES AND ALL EXISTING FIELD CONDITIONS BEFORE STARTING CONSTRUCTION. COMMENCEMENT OF WORK CONSTITUTES ACCEPTANCE OF CONDITIONS.

SHOULD DIFFERENT CONDITIONS BE ENCOUNTERED, CONTACT THE ARCHITECT BEFORE PROCEEDING WITH

TOP OF MAS. WALL EL 113'-0"

FIRST FLOOR EL 100'-0"

FLOOR & ROOF PLAN, EXT. ELEVS, DETAILS

 \mathbf{A}^{T}

- NEW PRE-ENGINEERED / PRE-FINISHED

NEW 8"x16"x4" SCORED CMU MASONRY VENEER (MATCH

EXISTING COLOR)

NEW CONCRETE FOUNDATION

EAST EXTERIOR ELEVATION

SCALE: 3/16" = 1'-0"

METAL COPING (MATCHING METAL ROOFING COLOR)

NEW ALUMN. STOREFRONT WINDOW SYSTEM

— NEW UTILITY BRICK (4"x12"x4")

FIRST FLOOR

EXIST. UTILITY BRICK —

MATCH EXISTING

- NEW 4" CONC. SIDEWALK ON

4" GRANULAR BASE