



MEMORANDUM

DATE: January 4, 2024
TO: Planning Commission
FROM: Andrew Dutton, Community Development Director
SUBJECT: Extension of P23-03 - Famous Supply Site Plan

Initial Approval

On February 10, 2023, Application P23-03, David Budge requesting Site Plan approval for a wholesale warehouse on the east side of Commerce Drive, north of West Smith Road, with Parcel Number 029-19A-22-008 in an I-1 (Industrial) zoning district, was conditionally approved by the Planning Commission with the following conditions:

1. The dumpster enclosure screening type and height shall be indicated and shall comply with the requirements of Section 1155.05(a).
2. All lighting shall incorporate full cut-off fixtures per Section 1145.09(c)(5).
3. The project shall comply with stormwater and all other applicable requirements of the City of Medina Engineering Department.

Extension Request

Per Section 1109.02(f), construction must commence within one year of the Site Plan approval and be completed within two years of the Site Plan approval. At this time, construction has not commenced on the project.

The applicant has requested the extension of the conditionally approved Site Plan for one additional year from the initial approval. If the extension request is approved, construction must commence by February 10, ~~2024~~ and be completed by February 10, ~~2025~~ with the original conditions of approval remaining in effect. → 2025 → 2026

Please let me know if you have any questions regarding the proposed revision and extensions.

Extension Request 1-11-24



BOARDS & COMMISSIONS APPLICATION

132 North Elmwood Avenue
330-722-9038
www.medinaoh.org

Application Number P23-03

GENERAL	Date of Application <u>1/19/2023</u> Property Location <u>6.58 acres of vacant land located within PPN 029-19A-22-008</u> Description of Project <u>Construction of a 32,450 sf wholesale warehouse and showroom building and related improvements located on 6.58 acres along Commerce Drive near the corner of W. Smith Rd.</u> _____ _____
CONTACT INFORMATION	Applicant Name <u>WXZ Development Inc.</u> Address <u>22720 Fairview Center Dr. # 150</u> City <u>Fairview Park</u> State <u>OH.</u> Zip <u>44256</u> Phone <u>440-686-1468</u> Email <u>dbudge@wxzinc.com</u> Property Owner Name <u>Gowe Leasing Limited</u> Address <u>620 E. Smith Rd. Ste. E-1</u> City <u>Medina</u> State <u>OH.</u> Zip <u>44256</u> Phone <u>330-722-0620</u> Email _____
APPLICATION TYPE	Planning Commission Site Plan <input checked="" type="checkbox"/> Conditional Zoning Certificate <input type="checkbox"/> Code or Map Amendment <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Conditional Sign (EMC/Shopping Ctr) <input type="checkbox"/> Cert. of Appr. (TCOV) <input type="checkbox"/> Other <input type="checkbox"/> Historic Preservation Board Certificate of Appropriateness <input type="checkbox"/> Conditional Sign <input type="checkbox"/> Board of Zoning Appeals Variance <input type="checkbox"/> Appeal <input type="checkbox"/>
APPLICANT SIGNATURE	By signing this application, I hereby certify that: 1) The information contained in this application is true and accurate to the best of my knowledge; 2) I am authorized to make this application as the property owner of record or I have been authorized to make this application by the property owner of record; 3) I assume sole responsibility for correspondence regarding this application; and 4) I am aware that all application requirements must be submitted prior to the formal acceptance of my application. Signature <u></u> Date <u>1-19-23</u>
OFFICIAL USE	Zoning District <u>I-1</u> Fee (See Fee Sheet) \$ <u>364.50</u> Meeting Date <u>2/9/23</u> Check Box when Fee Paid <input checked="" type="checkbox"/>



CITY OF MEDINA
Community Development Department
132 N. Elmwood Ave. Medina, OH 44256
Phone: 330-722-9056 Fax: 330-764-4385

February 10, 2023

David Budge
WXZ Development Inc.
22720 Fairview Center Dr. #150
Fairview park, OH 44126

Dear Mr. Budge,

At the February 9, 2023 meeting of the Planning Commission, the Commission considered application P23-03: David Budge requesting Site Plan approval for a wholesale warehouse on the east side of Commerce Drive, north of West Smith Road, with Parcel Number 029-19A-22-008 in an I-1 (Industrial) zoning district. After discussion, a motion was made to approve the application as submitted with the following conditions:

1. The dumpster enclosure screening type and height shall be indicated and shall comply with the requirements of Section 1155.05(a).
2. All lighting shall incorporate full cut-off fixtures per Section 1145.09(c)(5).
3. The project shall comply with stormwater and all other applicable requirements of the City of Medina Engineering Department.

The motion received the necessary votes of the Commission and the **application was approved.**

This action of the Planning Commission does not constitute approval of a Zoning Certificate, Sign Permit, Variance, Building Permit, Engineering Permit, or other application required by the City of Medina Codified Ordinances. The approved project shall commence within one year of the Commission's decision and the project shall be complete within two years of the Commission's decision or the Site Plan shall become null and void.

Please feel free to contact me at (330) 722-9023 or adutton@medinaoh.org if you have any questions or need any further information.

Sincerely,

A handwritten signature in blue ink, appearing to read "Andrew Dutton", is written over a light blue horizontal line.

Andrew Dutton
Community Development Director

Andrew Dutton

From: Andrew Dutton
Sent: Tuesday, December 12, 2023 3:19 PM
To: 'Dave Budge'
Subject: RE: Famous Supply Medina

Dave,
Thanks for the email. I will indicate an extension request of **one additional year**. That is our typical extension period and should take into account any unforeseen delays.

Andrew Dutton

Community Development Director

City of Medina
adutton@medinaoh.org
330-722-9023



From: Dave Budge <DBudge@wxzdevelopment.com>
Sent: Tuesday, December 12, 2023 2:50 PM
To: Andrew Dutton <adutton@medinaoh.org>
Subject: Famous Supply Medina

Andrew,

Per our phone conversation, WXZ on behalf of Famous Supply, are requesting an extension on the approvals we received in February of this year for the construction of Famous' warehouse and wholesale showroom proposed for Commerce Drive and Smith Rd. We are now proposing a Spring 2024 groundbreaking and would appreciate the additional time to work through our permitting and last bit of corporate approvals. Thank you please call or email with any questions.

David Budge
Assistant Vice President
WXZ
22720 Fairview Center Dr. #150
Fairview Park OH. 44126

(D)440-686-1468
(C)216-533-8531



CITY OF MEDINA
Community Development Department
132 N. Elmwood Ave. Medina, OH 44256
Phone: 330-722-9023 Fax: 330-764-4385

December 27, 2023

David Budge
WXZ Development Inc.
22720 Fairview Center Dr. #150
Fairview park, OH 44126

Dear Mr. Budge,

You are receiving this notice because your request to extend approval of an application has been scheduled for review by the City of Medina Planning Commission. The Commission will review your extension request for the application described below at their next regular meeting at **6:00 pm on January 11, 2024**. The meeting will be held at City Hall, 132 North Elmwood Avenue, Medina, OH 44256.

P23-03: David Budge requesting Site Plan approval for a wholesale warehouse on the east side of Commerce Drive, north of West Smith Road, with Parcel Number 029-19A-22-008 in an I-1 (Industrial) zoning district.

Your attendance at the meeting is necessary for the Commission to review your application. At the meeting, the Commission generally requests you provide an overview of the project and answer questions regarding the application.

Please feel free to contact me at (330) 722-9038 or stome@medinaoh.org if you have any questions or need any further information.

Sincerely,

A handwritten signature in black ink that reads "Sarah Tome". The signature is fluid and cursive, with a long horizontal stroke at the end.

Sarah Tome
Administrative Assistant
Economic Development/Planning Department

P23-03
Famous Supply Wholesale Warehouse

Property Owner: Gowe Leasing Ltd.
Applicant: David Budge
Location: East Side of Commerce Drive, North of West Smith Road
(Parcel Number 029-19A-22-008)
Zoning: I-1 (Industrial)
Request: Site Plan approval for a wholesale warehouse

LOCATION AND SURROUNDING USES

The subject site is composed of two properties encompassing 6.6 acres located on the east side of Commerce Parkway, north of West Smith Road. Adjacent properties are zoned I-1 and include the following uses:

- North – Manufacturing
- West – Manufacturing
- South – Undeveloped
- East – Warehousing



BACKGROUND & PROPOSED APPLICATION

The northern portion of the existing undeveloped property has been proposed for the construction of a 32,450 sq. ft. warehouse for Famous Supply. The use will include wholesaling of items sold directly to contractors, a showroom, and training facilities. The Site Plan incorporates a centrally located building with two access points on Commerce Drive, parking on three sides, and a customer pickup area.

DEVELOPMENT STANDARDS

The following table indicates the general development standard requirements of the I-1 zoning district:

	Required	Proposed
Min. Building Setback		
Front	25 ft.	90 ft.
Side	25 ft.	93 ft.
Rear	25 ft.	374 ft.
Min. Lot Frontage	100 ft.	410 ft.
Max Building Height	50 ft.	32 ft.

The project meets the applicable minimum general development standards.

PARKING, ACCESS, AND CIRCULATION

Access and Circulation – The proposed site will have a two-way access point off Commerce Drive. Two-way traffic circulation has been shown on the site for both passenger vehicles and commercial trucks.

Required Off-Street Spaces – Warehousing and Wholesaling uses require parking that is “enough to satisfy all the parking needs of the proposed use”. Plans show 80 off-street parking spaces, which would be considered high for warehousing and wholesaling uses. The applicant has indicated that the proposed spaces are necessary as employee training will take place at the facility in addition to the warehousing, wholesaling, and a showroom.

Customer Pickup Lanes – Contractor pickup lanes are shown on the south side of the building, which will be an option for customers. The two one-way pickup lanes directly access the southern access drive.

Loading Areas – A two-space loading area is indicated on the east side of the building. The loading spaces are adequate for delivery vehicles to maneuver.

LANDSCAPING, SCREENING, AND BUFFERING

Parking Lot Setback – Per Sections 1145.04(g) and 1145.09(b), parking lots must be setback 10 ft. from any street right-of-way and must contain landscape features or other visual barriers. The parking lot is setback 20 ft. from the right-of-way and includes a variety of landscape materials.

Interior Parking Lot Landscaping – 5 sq. ft. of internal landscaping is required per 100 sq. ft. of parking lot area. In the I-1 district, this standard only applies to the parking lot area between the building and the right-of-way. Adequate internal landscaping has been provided.

Dumpsters Enclosure – A dumpster with an enclosure is shown on the southeast side of the building. The City’s standard dumpster detail is included, though the type and height of screening will need to be indicated.

UTILITIES AND STORMWATER

The site has access to public water and sanitary sewer service. The applicant is working with the City’s Engineering Department regarding stormwater management, which will utilize a regional stormwater management basin to the east of the site.

ENGINEERING AND FIRE DEPARTMENT COMMENTS

Engineering Department comments have been included in your packet. As previously noted, stormwater for the site will utilize an off-site basin on the property to the east. The Department's comments are regarding a necessary stormwater analysis, easement agreement, and maintenance agreement for the shared detention basin.

The Fire Department has noted that depending on the location of the Fire Department Connection for the sprinkler system, an additional fire hydrant might be needed.

BUILDING ELEVATIONS AND LIGHTING

Architectural plans have been submitted showing the front of the building clad in aluminum panels, CMU, and Dryvit (Upper areas). The front elevation of the building also includes multiple door openings and windows. The rear of the building incorporates CMU on lower levels and metal siding on upper levels. Colors are muted in grey and beige tones, though a "Neon Red" accent is shown on a canopy located on the west (front) and south sides of the buildings.

Section 1109.04(c)(17) states that industrial buildings shall have "Architectural details and ornamentation on the street façade shall be meaningful to the overall design and appropriate for the size and scale of proposed structures, and harmonious with other architectural details and ornamentation on adjacent structures".

Section 1145.09 requires lighting to have a maximum height of 25 ft. and incorporate a full cut-off fixture that shines straight down. Freestanding lights in the parking lot have been indicated at 24 ft. in height with full cut-off fixtures. In addition, wall packs are shown on all sides of the building, though the fixtures are not full cut-off.

SITE PLAN REVIEW STANDARDS

The Planning Commission's review and action shall be based on the following standards per Section 1109.02(c):

- (1) The site plan shows that a proper relationship does exist between thoroughfares, service roads, driveways and parking areas to encourage pedestrian and vehicular traffic safety.
- (2) All the development features including the principal buildings, open spaces, service roads, driveways and parking areas are so located and related as to minimize the possibility of any adverse effects upon adjacent development.
- (3) The site plan includes adequate provision for the screening of parking areas, service areas and active recreation areas from surrounding properties by landscaping and/or ornamental walls or fences. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (4) Grading and surface drainage provisions are reviewed and approved by the City Engineer.
- (5) The design and construction standards of all private streets, driveways and parking areas are to be built following approval of plans by the City Engineer according to construction standards specified in the Codified Ordinances.
- (6) Maximum possible privacy for multi-family dwellings and surrounding residential properties shall be provided through good design and use of proper building materials and landscaping. Visual privacy should be provided through structural screening and landscaping treatment.

- Auditory privacy in multi-family dwellings should be provided through soundproofing. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (7) The architectural design of buildings should be developed with consideration given to the relationship of adjacent development in terms of building height, mass, texture, materials, line and pattern and character.
 - (8) Building location and placement should be developed with consideration given to minimizing removal of trees and change of topography. Any trees to be removed which are planted in a public right-of-way or on municipal property shall be reviewed by the Shade Tree Commission.
 - (9) In multi-family developments, television and other antennas shall be centralized.
 - (10) On-site circulation shall be designed to make possible adequate fire and police protection.
 - (11) Off-street parking facilities shall be provided in accordance with Chapter 1145. In large parking areas, visual relief shall be provided through the use of tree planted and landscaped dividers, islands and walkways. In multi-family developments no parking or service areas shall be permitted between any street and the main building. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
 - (12) Signs shall be provided in accordance with these Codified Ordinances.
 - (13) Any trees planted on site shall be on approved list of Shade Tree Commission and planted in accordance with Commission standards.

COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION

Staff recommends **approval** of application P23-03 as submitted, with the following conditions:

1. The dumpster enclosure screening type and height shall be indicated and shall comply with the requirements of Section 1155.05(a).
2. All lighting shall incorporate full cut-off fixtures per Section 1145.09(c)(5).
3. The project shall comply with stormwater and all other applicable requirements of the City of Medina Engineering Department.

