



BOARDS & COMMISSIONS APPLICATION

132 North Elmwood Avenue
330-722-9038
www.medinaoh.org

Application Number P24-01

GENERAL	Date of Application <u>12-14-23</u> Property Location <u>820 WEST SMITH RD, MEDINA, OH 44256</u> Description of Project <u>DEMOLITION OF EXISTING BUILDINGS. CONSTRUCTION OF NEW BATCH MIXING BUILDING AND ADJACENT OFFICE BUILDING.</u>
CONTACT INFORMATION	Applicant Name <u>JOHN PATRICK PICARD</u> Address <u>50 NORTH AVE NE SUITE 102</u> City <u>MASSILLON</u> State <u>OH</u> Zip <u>44646</u> Phone <u>330-471-9000</u> Email <u>jpparchitect@yahoo.com</u> Property Owner Name <u>OC-SMA LLC (ATTN RICK KEMPER)</u> Address <u>80 PARK DR</u> City <u>THORNVILLE</u> State <u>OH</u> Zip <u>43076</u> Phone <u>1-740-516-1700</u> Email <u>rkemper@shellyco.com</u>
APPLICATION TYPE	Planning Commission Site Plan <input checked="" type="checkbox"/> Conditional Zoning Certificate <input type="checkbox"/> Code or Map Amendment <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Conditional Sign (EMC/Shopping Ctr) <input type="checkbox"/> Cert. of Appr. (TCOV) <input type="checkbox"/> Other <input type="checkbox"/> Historic Preservation Board Certificate of Appropriateness <input type="checkbox"/> Conditional Sign <input type="checkbox"/> Board of Zoning Appeals Variance <input type="checkbox"/> Appeal <input type="checkbox"/>
APPLICANT SIGNATURE	By signing this application, I hereby certify that: 1) The information contained in this application is true and accurate to the best of my knowledge; 2) I am authorized to make this application as the property owner of record or I have been authorized to make this application by the property owner of record; 3) I assume sole responsibility for correspondence regarding this application; and 4) I am aware that all application requirements must be submitted prior to the formal acceptance of my application. Signature <u></u> Date <u>12/13/23</u>
OFFICIAL USE	Zoning District <u>I-1</u> Fee (See Fee Sheet) \$ <u>225</u> Meeting Date <u>1/11/24 & 12/12/24</u> Check Box when Fee Paid <input checked="" type="checkbox"/>

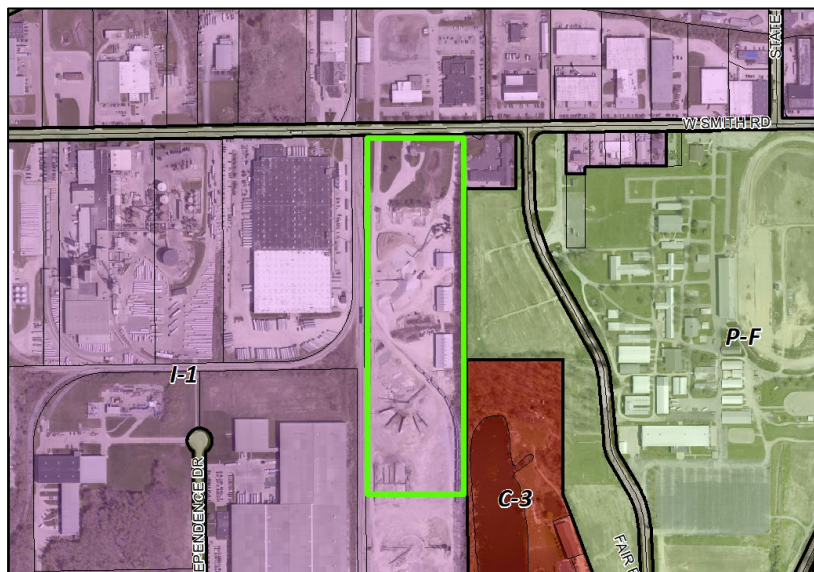
P24-01 REVISED
The Shelly Company Demo and Reconstruction

Property Owner: OC-SMA LLC
Applicant: John Patrick Picard
Location: 870 West Smith Road
Zoning: I-1 (Industrial)
Request: Revised Site Plan approval for the demolition of buildings and the construction of a processing facility and office

LOCATION AND SURROUNDING USES

The subject site is composed of 20.1 acres located on the south side of West Smith Road. Adjacent properties contain the following uses and zoning:

- North – County Service Building (I-1)
- East – Industrial (I-1), Fairground Parking (P-F), and Event Center (C-3)
- South – Industrial (I-1)
- West – Industrial (I-1)



PROPOSED APPLICATION

The site currently contains a home converted to an office near West Smith Road, a concrete mix facility, storage buildings, and outdoor storage and process of material. The project received Site Plan approval on 1/11/24 to remove the existing office building and mixing facility and construct a 2,400 sq. ft. mixing facility with a 960 sq. ft. supply room and a 960 sq. ft. office/storage room.

The proposed buildings will be further from the west property line, without the 960 sq. ft. supply room, and with an increased height.

DEVELOPMENT STANDARDS

The proposed building is located in the I-1 zoning district. The following table indicates general development standard requirements in the zoning district, which the project meets:

	Required	Proposed
Minimum Lot Frontage	100 ft.	224 ft.
Minimum Front Setback	25 ft.	500 ft.
Minimum Side Setback (Nonresidential)	25 ft.	128 ft.
Minimum Rear Setback (Nonresidential)	25 ft.	500+ ft.
Maximum Building Height	80 ft.	78 ft.

The proposed building height has been increased from 60 ft. to 78 ft. Structures further than 100 ft. from a property line are permitted to be up to 80 ft. in height. The structure has also been moved further from the western property line, increasing from 104 ft. to 128 ft.

PARKING, ACCESS, AND CIRCULATION

Access and Circulation – The site has one-way ingress and egress access drives and a central two-way access drive off of West Smith Road, which will be maintained.

Required Off-Street Spaces – Office uses require 1 space per 400 sq. ft. of floor area and warehouse and manufacturing uses require “enough to satisfy all the parking needs of the proposed use”. The 960 sq. ft. of office area requires 2 parking spaces and the warehouse and manufacturing use requires parking as needed. The project includes 4 additional parking spaces to the northwest of the proposed building.

LANDSCAPING, SCREENING, AND BUFFERING

All existing and proposed buildings and storage areas are buffered by existing landscaping on the east and south sides of the site. Though no additional landscaping, screening, or buffering is required for the project, trees will be added along the northern drive.

UTILITIES AND STORM WATER

The site has access to public water and sanitary sewer service. Existing storm water basins are located on the east and west sides of the site.

ENGINEERING AND FIRE DEPARTMENT COMMENTS

The Engineering Department has indicated that the applicant will need to complete a storm water and sediment control analysis, which may result in modifications to existing basins.

The Fire Department has no comments at this time.

BUILDING ELEVATIONS AND LIGHTING

Per Section 1109.04 (c)(17), industrial buildings must be harmonious with the area, utilize durable materials, additions must be compatible with the main structure. The existing office building is a converted residential structure and the existing additional structures are predominately metal sided.

The proposed 60 ft. concrete mixing facility will have metal siding and roofing with overhead garage doors on the north and east elevations. The attached supply room will have poured concrete walls and metal roofing.

The detached office/storage building will have a poured concrete wall first floor and a metal siding second floor.

Lighting must comply with Section 1145.09(c) including a photometric plan, full cut-off fixtures, and a maximum lighting height of 25 ft. Wall pack and freestanding lighting is shown in compliance with code requirements

SITE PLAN REVIEW STANDARDS

The Planning Commission's review and action shall be based on the following Standards per Section 1109.02(c):

- (1) The site plan shows that a proper relationship does exist between thoroughfares, service roads, driveways and parking areas to encourage pedestrian and vehicular traffic safety.
- (2) All the development features including the principal buildings, open spaces, service roads, driveways and parking areas are so located and related as to minimize the possibility of any adverse effects upon adjacent development.
- (3) The site plan includes adequate provision for the screening of parking areas, service areas and active recreation areas from surrounding properties by landscaping and/or ornamental walls or fences. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (4) Grading and surface drainage provisions are reviewed and approved by the City Engineer.
- (5) The design and construction standards of all private streets, driveways and parking areas are to be built following approval of plans by the City Engineer according to construction standards specified in the Codified Ordinances.
- (6) Maximum possible privacy for multi-family dwellings and surrounding residential properties shall be provided through good design and use of proper building materials and landscaping. Visual privacy should be provided through structural screening and landscaping treatment. Auditory privacy in multi-family dwellings should be provided through soundproofing. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (7) The architectural design of buildings should be developed with consideration given to the relationship of adjacent development in terms of building height, mass, texture, materials, line and pattern and character.
- (8) Building location and placement should be developed with consideration given to minimizing removal of trees and change of topography. Any trees to be removed which are planted in a public right-of-way or on municipal property shall be reviewed by the Shade Tree Commission.
- (9) In multi-family developments, television and other antennas shall be centralized.
- (10) On-site circulation shall be designed to make possible adequate fire and police protection.
- (11) Off-street parking facilities shall be provided in accordance with Chapter 1145. In large parking areas, visual relief shall be provided through the use of tree planted and landscaped dividers, islands and walkways. In multi-family developments no parking or service areas shall be permitted between any street and the main building. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (12) Signs shall be provided in accordance with these Codified Ordinances.
- (13) Any trees planted on site shall be on approved list of Shade Tree Commission and planted in accordance with Commission standards.

COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION

Staff recommends **approval** of revised application P24-01 as submitted including the previous condition that a storm water and sediment control analysis shall be completed as required by the City Engineer.



JOHN PATRICK
PICARD
ARCHITECT INC.

First North Building
50 North Avenue NE, Suite 102
Massillon, Ohio 44646
PHONE: (330)471-9000

November 19, 2024

Mr. Andrew Dutton
Community Development Director
City of Medina
Community Development Department
132 North Elmwood Avenue
Medina, Ohio 44256

Dear Mr. Dutton:

This letter is in regards to a change/revision to the previously approved Site Plan, Approval No. P24-01. During the development of the project, it was found that a taller building would be required to properly house the new proposed concrete batch plant.

The proposed building height will go from the previously approved 60' in height, to a height of 78' to the top of the building. (78' is the highest point, top of roof)

There is an additional change to the proposed building where the west storage area attached to the batch plant will no longer be required. This change will increase the building setback an additional 24' from the west property line. This will now place the proposed building 128' from the west property line.

Other additional site changes are first, the relocation of an existing silo currently located next to the east property line to the west side of the new batch plant. The second adjustment to the drawings, is that the existing scales located along the front of the property adjacent to West Smith Road will not be removed and will be left operational.

Please reference the revised submitted drawings: T-1, SD-1, A-1 and A-2.

Thank you for your consideration and please contact me with any questions or concerns.

Sincerely,

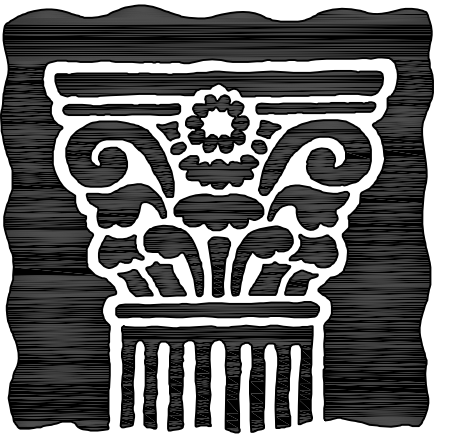
John Picard

John Patrick Picard Architect, Inc.

cc: Rick Kemper – The Shelly Company
Dan Freeman – Freeman Building systems

THE Shelly COMPANY

NEW READY MIX BUILDING FOR THE SHELLY COMPANY



JOHN PATRICK PICARD
ARCHITECT, INC.
50 NORTH AVENUE NORTHEAST
SUITE 102
MASSILLON, OHIO 44646
PHONE (330) 471-9000
EMAIL: jpparchitect@yahoo.com

820 WEST SMITH ROAD
MEDINA, OHIO 44256



1 RENDERED IMAGE
T1

11/19/24
SITE PLAN REVISION REVIEW RESUBMISSION

PREPARED BY:

HA
HAMMONTREE & ASSOCIATES, LIMITED
ENGINEERS, PLANNERS, SURVEYORS
5233 STONEHAM RD. NORTH CANTON, OH 44720
PHN: (330) 499-8817 FAX: (330) 499-0149
TOLL FREE: 1-800-394-8817

JOHN PATRICK PICARD
ARCHITECT INC.

STATE ELECTRICAL ENGINEERING
ELECTRICAL DESIGNERS AND ENGINEERS
519 FOURTH STREET, NW
CANTON, OHIO 44703
(330) 452-9806

NEW READY MIX BUILDING FOR
THE SHELLY COMPANY
820 WEST SMITH ROAD
MEDINA, OHIO 44256



OWNER
CONTRACTORS
ARCHITECT
BUILDING OFFICIALS

THE RELATIONSHIP OF THE PROJECT

THE DEVELOPMENT OF THIS PROJECT IS A TEAM EFFORT. THE TEAM IS COMPOSED OF THE OWNER, BUILDING OFFICIALS, CONTRACTORS, AND THE ARCHITECT. ALL MEMBERS OF THE TEAM ARE LEGALLY, CONTRACTUALLY AND TECHNICALLY NEEDED TO COMPLETE THE PROJECT. THE CONTRACTORS AND THE ARCHITECT ARE RESPONSIBLE TO PROVIDE THEIR SERVICES TO THE OWNER. THE OWNER, BUILDING OFFICIALS, CONTRACTOR AND ARCHITECT RELATIONSHIP MUST BE MAINTAINED AS A TEAM AT ALL TIMES TO ENSURE SUCCESS. THEREFORE, ALL QUESTIONS, COMMENTS, CONCERNS AND DECISIONS THAT ARISE DURING THE PROJECT DEVELOPMENT SHOULD BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT SO THAT THEY CAN BE ADMINISTRATED AND EVALUATED BY ALL MEMBERS OF THE TEAM. IF ALL MEMBERS OF THIS TEAM CAN FOLLOW THESE GUIDELINES, THE PROJECT WILL SURELY SUCCEED AND ALL MEMBERS OF THE TEAM WILL PROSPER.

PROJECT LOCATION

820 WEST SMITH ROAD
MEDINA, OHIO 44256

INDEX TO DRAWINGS

- Δ T1 TITLE SHEET, LOCATION MAP AND CODE DATA
- Δ S01 ARCHITECTURAL SITE PLAN, REFERENCE IMAGES AND LANDSCAPE DETAILS
- Δ A1 BATCH PLANT FLOOR PLAN AND RENDERED REFERENCE IMAGES
- Δ A2 BATCH PLANT ELEVATIONS AND COLOR CHART
- E51 SITE PHOTOMETRICS AND LIGHTING FIXTURE SCHEDULE
- E52 LIGHT FIXTURE CUT SHEETS
- E53 LIGHT FIXTURE CUT SHEETS
- C11 EXISTING DEMOLITION PLAN
- C21 SITE DIMENSION AND PAVEMENT PLAN
- C31 UTILITY PLAN
- C41 GRADING PLAN
- C5.1 SITE GENERAL NOTES
- C5.2 MEDINA GENERAL NOTES
- C5.3 MEDINA STANDARD DETAILS
- C5.4 MEDINA STANDARD DETAILS
- C5.5 SITE DETAILS
- C6.1 STORM WATER POLLUTION PREVENTION PLAN NOTES
- C6.2 STORM WATER POLLUTION PREVENTION PLAN PLAN
- C6.3 STORM WATER POLLUTION PREVENTION PLAN DETAILS
- C6.4 STORM WATER POLLUTION PREVENTION PLAN DETAILS

BUILDING CODE DATA:

PROJECT ADDRESS: 820 WEST SMITH ROAD
MEDINA, OHIO 44256

PROJECT DESCRIPTION: NEW READY MIX BATCH PLANT AND NEW OFFICE STORAGE BUILDING FOUNDATIONS

USE GROUP: BUILDING 1 F1
BUILDING 2 B/S1

CONSTRUCTION CLASS: 2B

ACCESSIBILITY: BUILDING IS ACCESSIBLE IN ACCORDANCE WITH CHAPTER II OF THE OHIO BUILDING CODE

FLOOR AREA: BUILDING 1 2,400 SF.
BUILDING 2 960 SF. (LOWER FLOOR)
960 SF. (UPPER FLOOR)
TOTAL FLOOR AREA 4,320 SF.

BUILDING HEIGHT: 78'
CBC 503.11 - SPECIAL INDUSTRIAL OCCUPANCIES

OCCUPANT LOAD:

	CALCULATED	ACTUAL
F1 - 2,400 SF / 100	24	5
B - 960 SF / 150	7	7
S1 - 960 / 500	2	0
CALCULATED	33	10

ZONING: I-1 INDUSTRIAL
NO CHANGE

STATE OF OHIO
REGISTERED ARCHITECT
JOHN PATRICK PICARD
10621

NAME: JOHN PATRICK PICARD
LICENSE NO. 9410621
EXPIRATION DATE: 12/31/2025

CODE OFFICIALS APPROVAL STAMPS

ARE YOU USING THE ENTIRE SET OF DRAWINGS?
HAVE YOU INCORPORATED ALL ISSUED ADDENDUMS AND REVISIONS?
YOU MUST COORDINATE THE LOCATION OF ALL FINISH MECHANICAL, ELECTRICAL AND ARCHITECTURAL DEVICES/EQUIPMENT WITH THE ARCHITECT/ OWNER BEFORE YOU ROUGH THEM IN



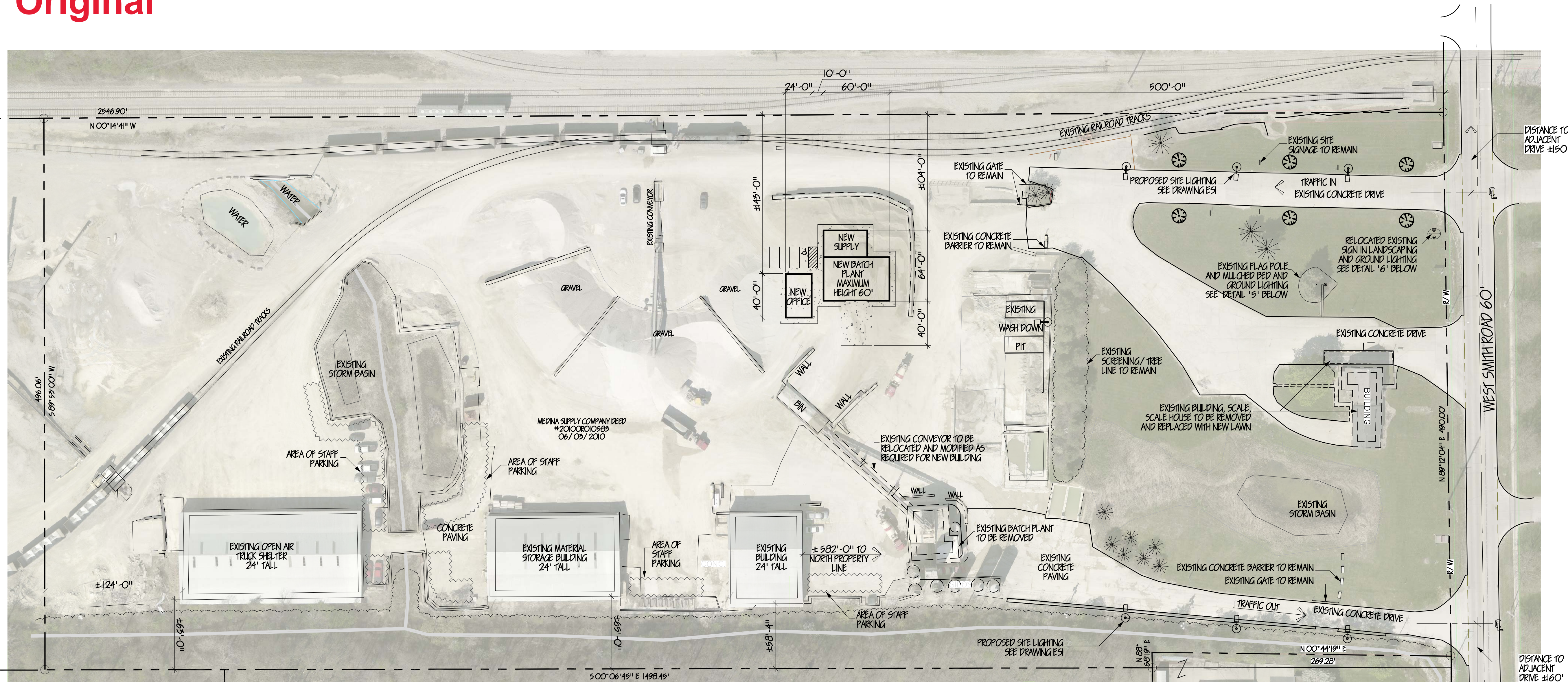
Project Number 23043
Date 12/14/23

STOP
ALL REVISIONS MADE TO THIS DRAWING AFTER ABOVE DATE SHALL BE DATED AND DESCRIBED BELOW.
THIS DRAWING WAS LAST REVISED ON 11/19/24

11/19/24
SITE PLAN REVISION REVIEW RESUBMISSION



Original



CITY LOT 1746 VIRGIL E. JR. AND NANCY D. WILLIAMS TR. #20442004070 03/04/2024



CITY LOT 9178 BOARD OF COUNTY COMMISSIONERS OF HESPERIA COUNTY, OHIO D.V. 190, PG. 526 06/05/1998

PROGRESS INDUSTRIAL PROPERTIES, INC. #20070807162 06/22/2007 #20010804710 12/27/2001

DISTANCE TO ADJACENT DRIVE #160'



1 REFERENCE IMAGE
SD-1 EXISTING BATCH PLANT TO BE REMOVED

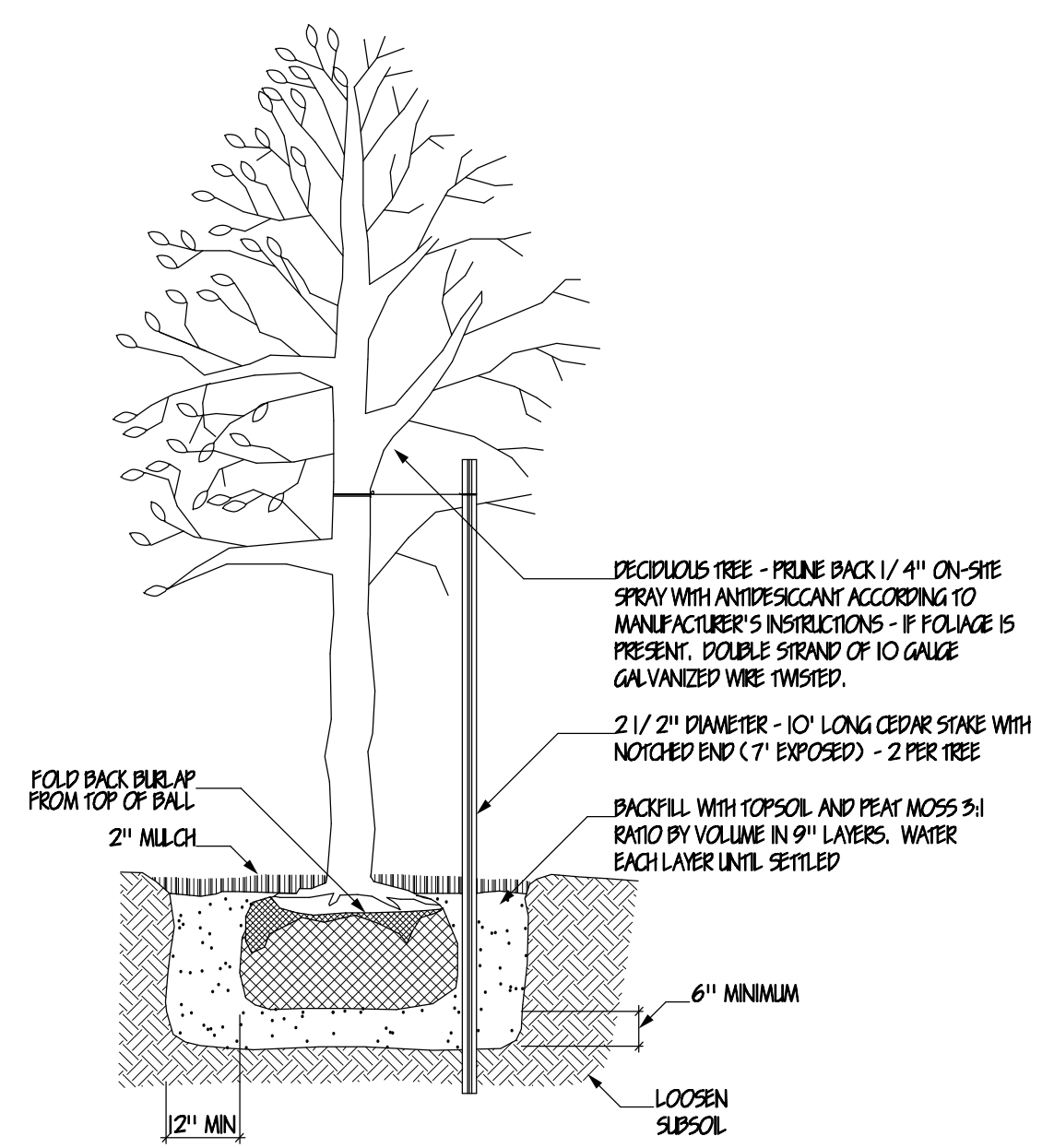


2 REFERENCE IMAGE
SD-1 EXISTING OFFICE TO BE REMOVED

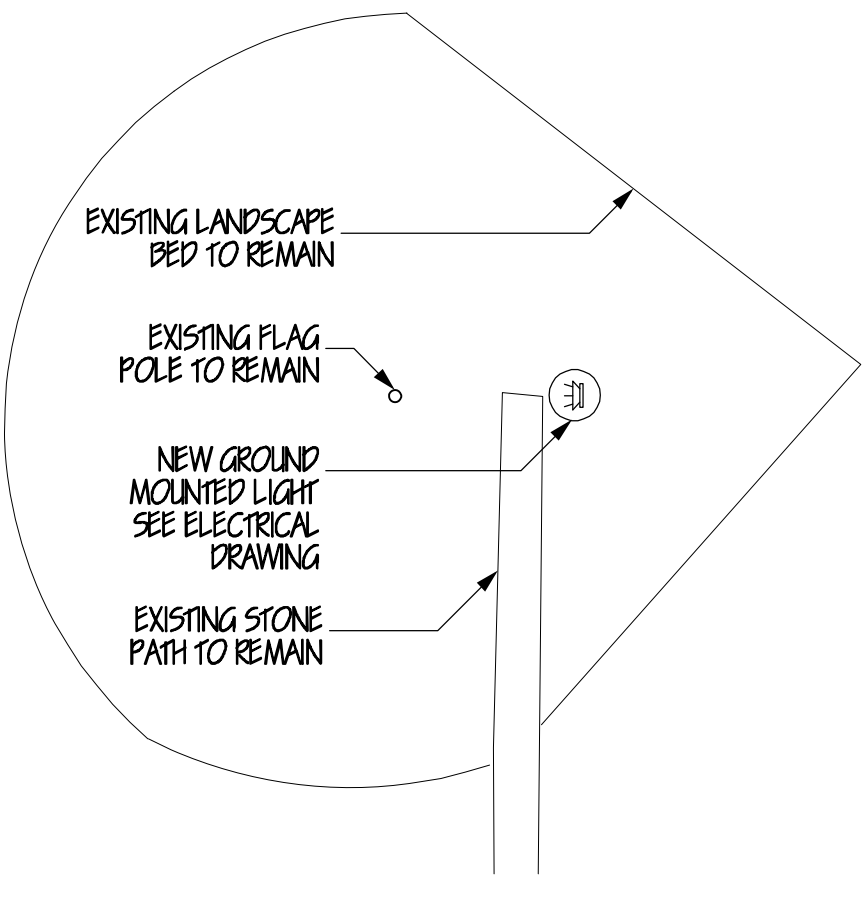
LEGEND	
	THORNLESS LOCUST (FEMALES) 2-1/2" CALIBER WITH 5'-0" RINGED MULCH BED BALLED AND BURLAPPED (6 REQUIRED)
	EXISTING PINE TREE TO REMAIN
	EXISTING TREE LINE TO REMAIN
	NEW LIGHT POLE - SEE ELECTRICAL DRAWING ESI
	NEW GROUND MOUNTED SIGN LIGHT SEE ELECTRICAL DRAWING ESI
	AREA OF EXISTING STAFF PARKING



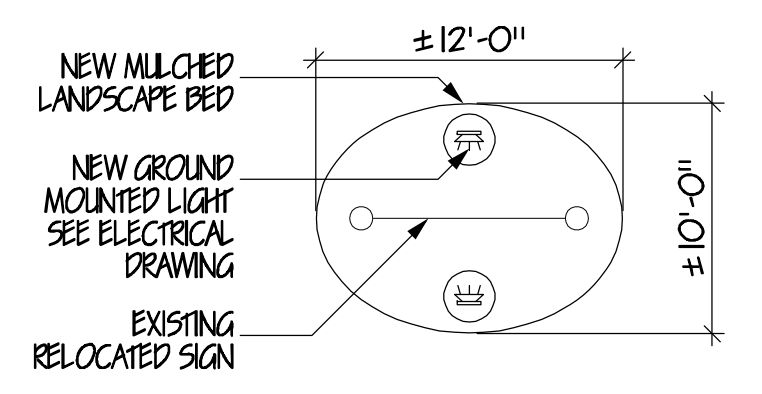
3 REFERENCE IMAGE
SD-1 EXISTING SIGN TO BE RELOCATED



4 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

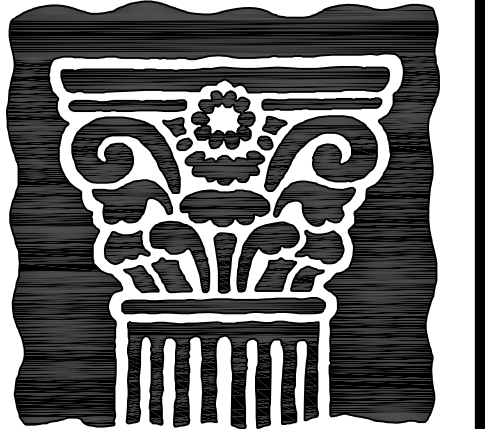


5 FLAG LANDSCAPE BED
SD-1 EXISTING FLAG LANDSCAPE BED



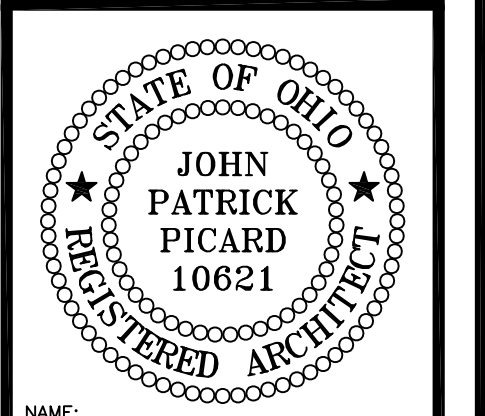
6 REFERENCE IMAGE
SD-1 EXISTING SIGN TO BE RELOCATED

7 MOUNDED LANDSCAPE BED
SD-1 NOT TO SCALE



JOHN PATRICK PICARD ARCHITECT, INC.
50 NORTH AVENUE NORTHEAST SUITE 102 MASSILLON, OHIO 44646
PHONE (330) 471-9000
EMAIL: jpparchitect@yahoo.com

NEW READY MIX BUILDING FOR
THE SHELLY COMPANY
820 WEST SMITH ROAD
MEDINA, OHIO 44256

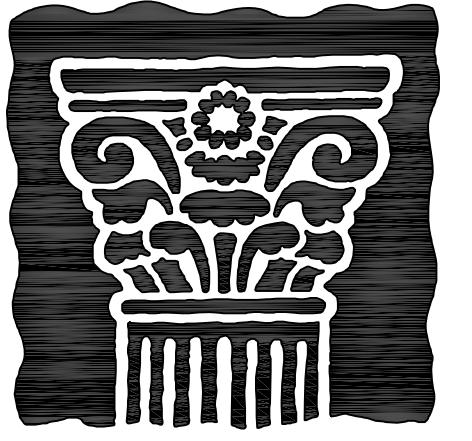


NAME: JOHN PATRICK PICARD
LICENSE NO. 9410621
EXPIRATION DATE: 12/31/2025

Project Number 23043
Date 12/14/23
ALL REVISIONS MADE TO THIS DRAWING AFTER ABOVE DATE SHALL BE DATED AND DESCRIBED BELOW. THIS DRAWING WAS LAST REVISION ON 04/22/24.

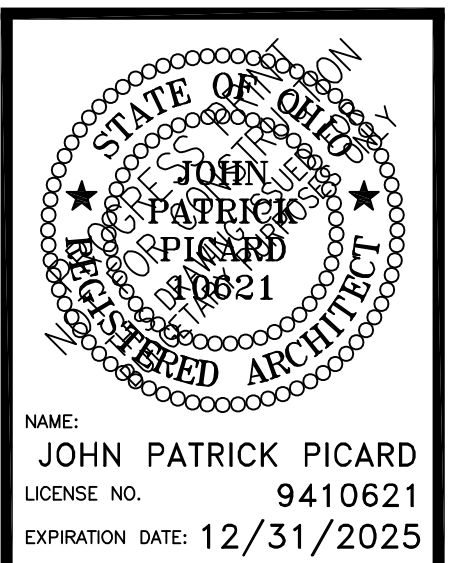


Proposed



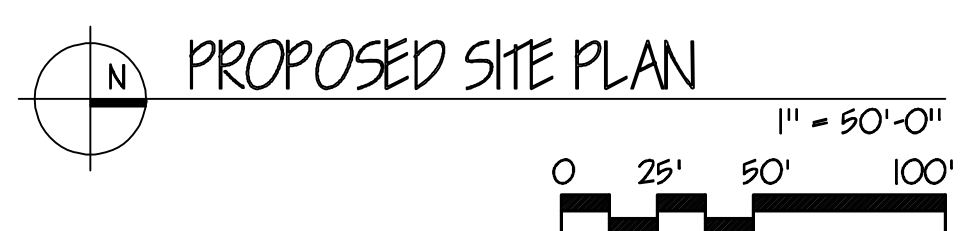
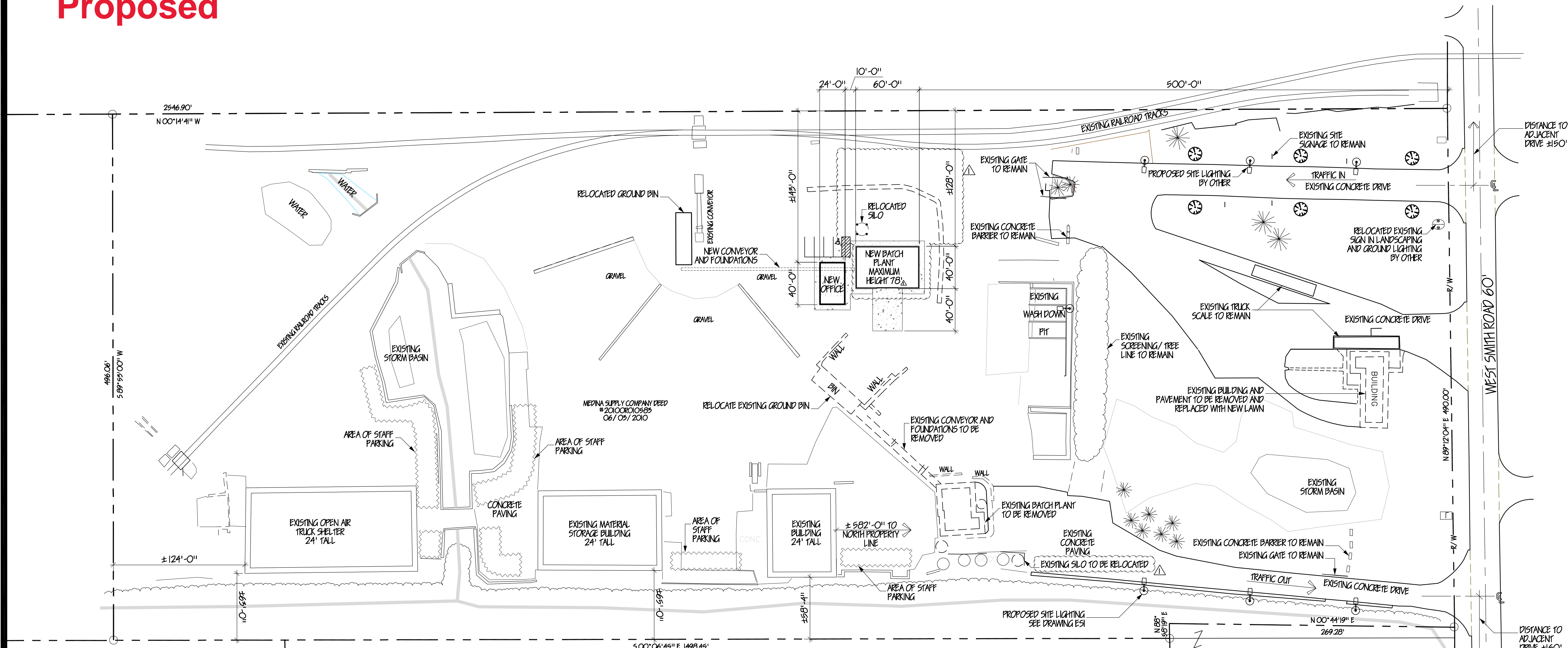
JOHN PATRICK PICARD ARCHITECT, INC.
 50 NORTH AVENUE NORTHEAST SUITE 102
 MASSILLON, OHIO 44646
 PHONE (330) 471-9000
 EMAIL: jpprchitect@yahoo.com

NEW READY MIX BUILDING FOR
THE Shelly Company
 MEDINA, OHIO 44256
 820 WEST SMITH ROAD

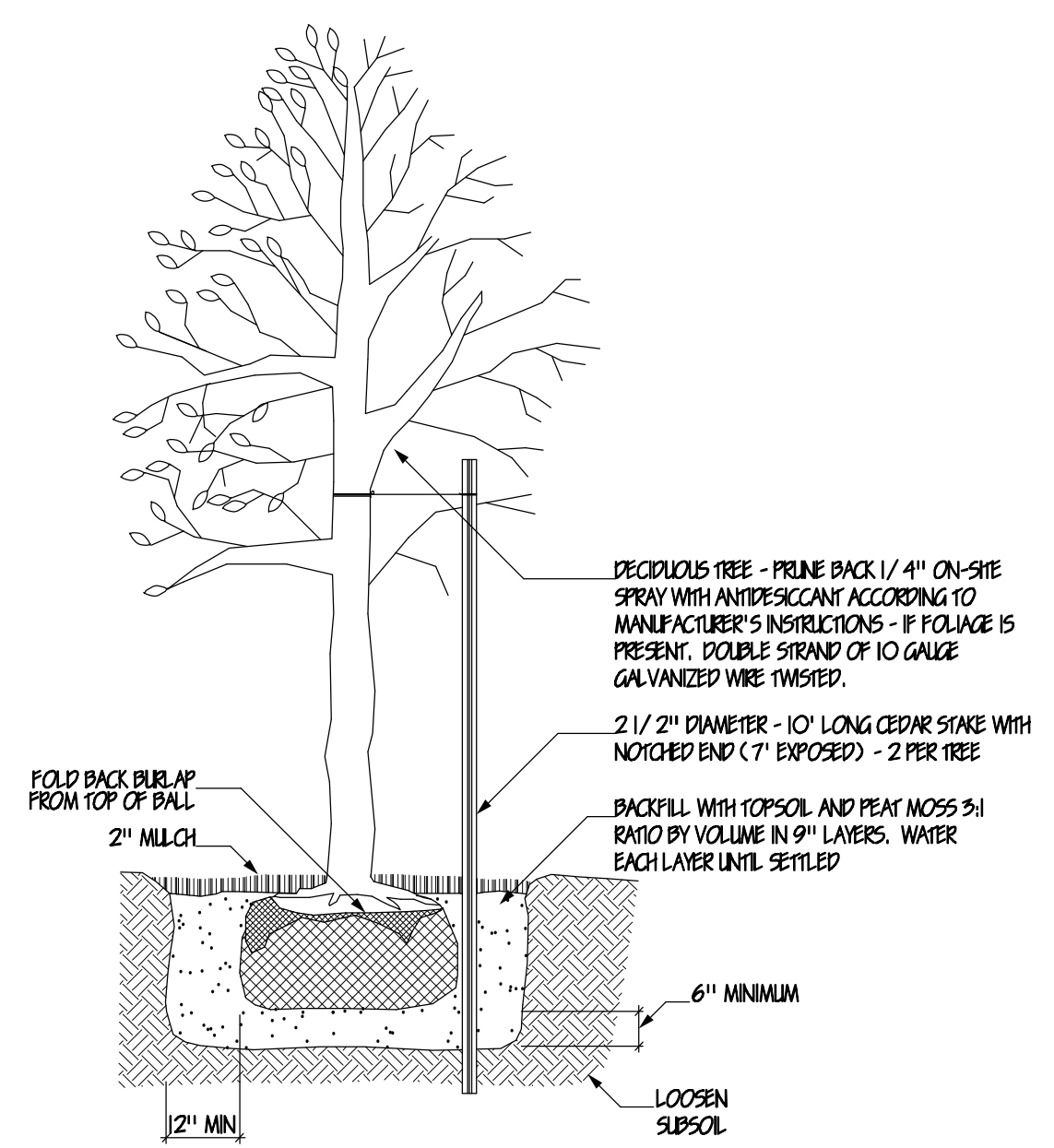


Project Number: 24022
 Date: 09/27/23
 ALL REVISIONS MADE TO THIS DRAWING AFTER ABOVE DATE SHALL BE DATED AND DESCRIBED BELOW. THIS DRAWING WAS LAST REVISED ON 11/19/24.
 11/19/24 SITE PLAN REVISION REVIEW RESUBMISSION

SD1



LEGEND	
	1 THORNTLESS LOCUST (FEMALES) 2-1/2" CALIBER WITH 5'-0" RINGED MULCH BED BALLED AND BURLAPPED (6 REQUIRED)
	2 EXISTING PINE TREE TO REMAIN
	3 EXISTING TREE LINE TO REMAIN
	4 NEW LIGHT POLE - SEE ELECTRICAL DRAWING ESI
	5 NEW GROUND MOUNTED SIGN LIGHT SEE ELECTRICAL DRAWING ESI
	6 AREA OF EXISTING STAFF PARKING



1 REFERENCE IMAGE
 SD-1 EXISTING BATCH PLANT TO BE REMOVED



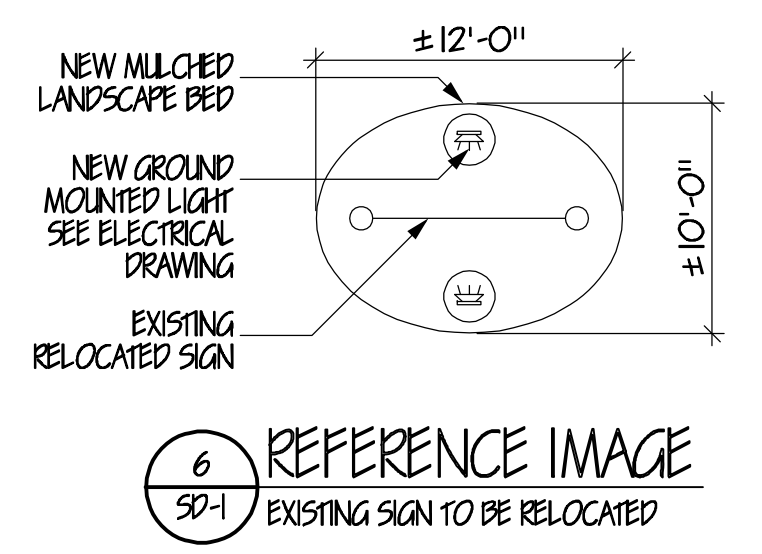
2 REFERENCE IMAGE
 SD-1 EXISTING OFFICE TO BE REMOVED



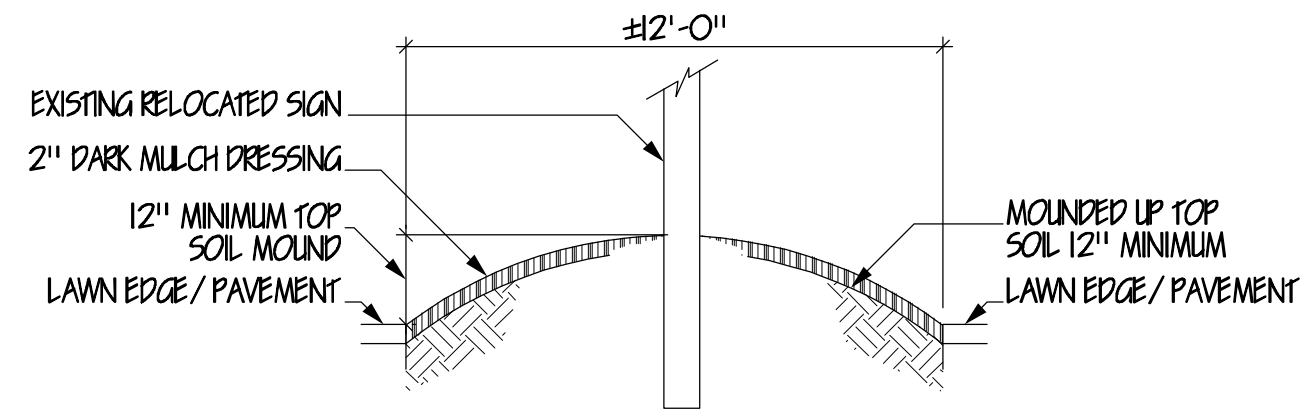
3 REFERENCE IMAGE
 SD-1 EXISTING SIGN TO BE RELOCATED

4 DECIDUOUS TREE PLANTING DETAIL
 SD-1 NOT TO SCALE

5 NOT USED
 SD-1

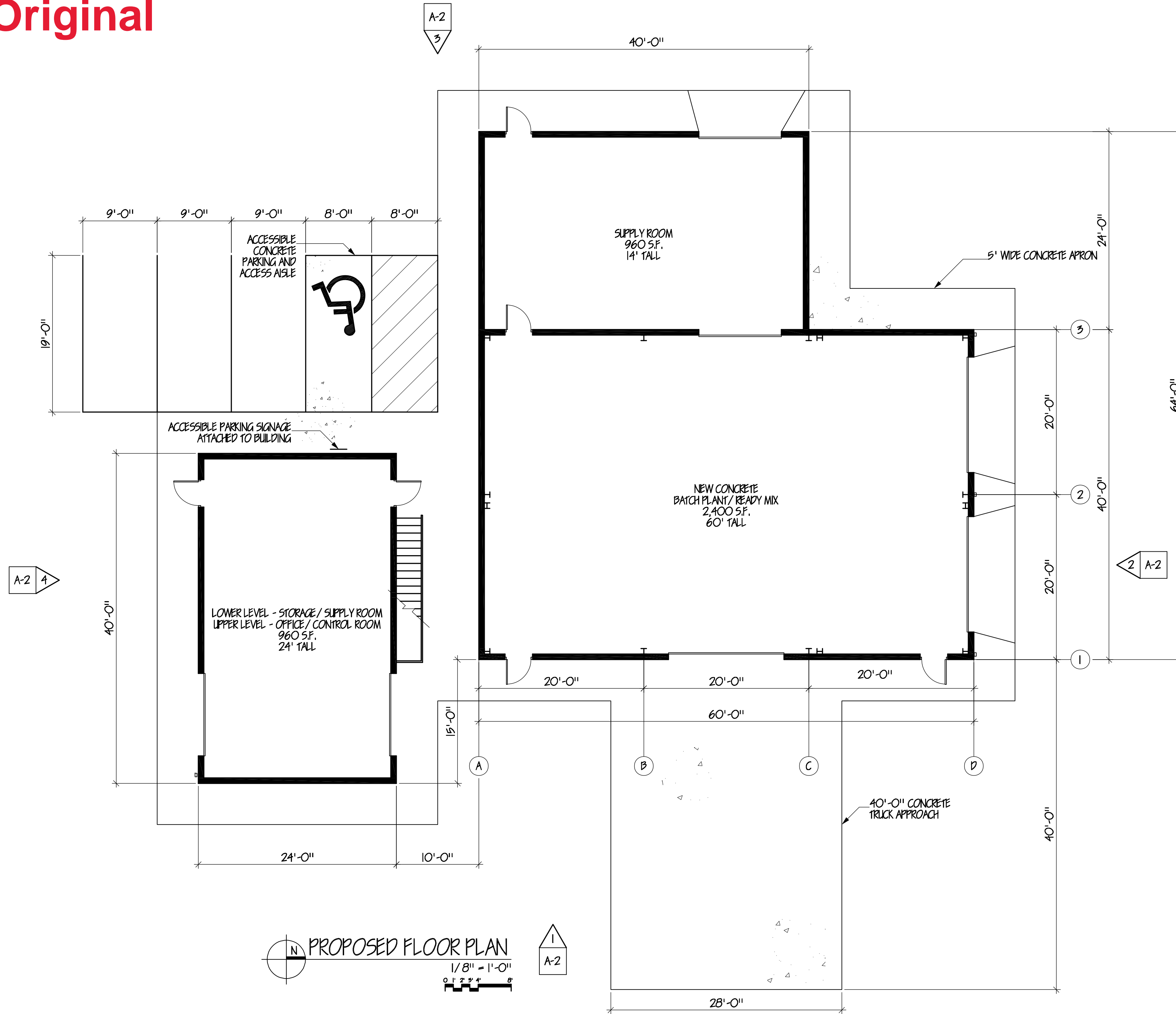


6 REFERENCE IMAGE
 SD-1 EXISTING SIGN TO BE RELOCATED



7 MOUNDED LANDSCAPE BED
 SD-1 NOT TO SCALE

Original



1 RENDERED IMAGE
 A-1 VIEW FROM WEST SMITH ROAD
 LOOKING SOUTH



2 RENDERED IMAGE
 A-1 OF NEW BATCH PLANT LOOKING NORTH



3 RENDERED IMAGE
 A-1 OF NEW BATCH PLANT LOOKING WEST



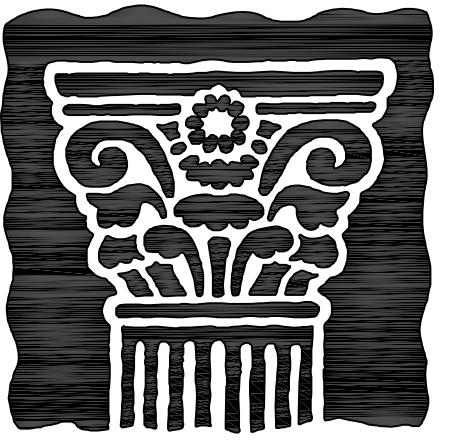
6 RENDERED IMAGE
 A-1 BIRDS EYE VIEW



5 RENDERED IMAGE
 A-1 BIRDS EYE VIEW LOOKING SOUTHWEST



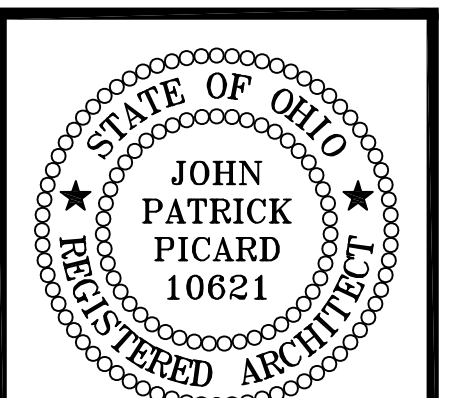
4 RENDERED IMAGE
 A-1 OF NEW BATCH PLANT LOOKING SOUTH



**JOHN PATRICK
 PICARD**
 ARCHITECT, INC.
 50 NORTH AVENUE NORTHEAST
 SUITE 102
 MASSILLON, OHIO 44646
 PHONE (330) 471-9000
 EMAIL: jpparchitect@yahoo.com

NEW READY MIX BUILDING FOR
**THE SHELLY
 COMPANY**
 820 WEST SMITH ROAD
 MEDINA, OHIO 44256

**THE SHELLY
 COMPANY**

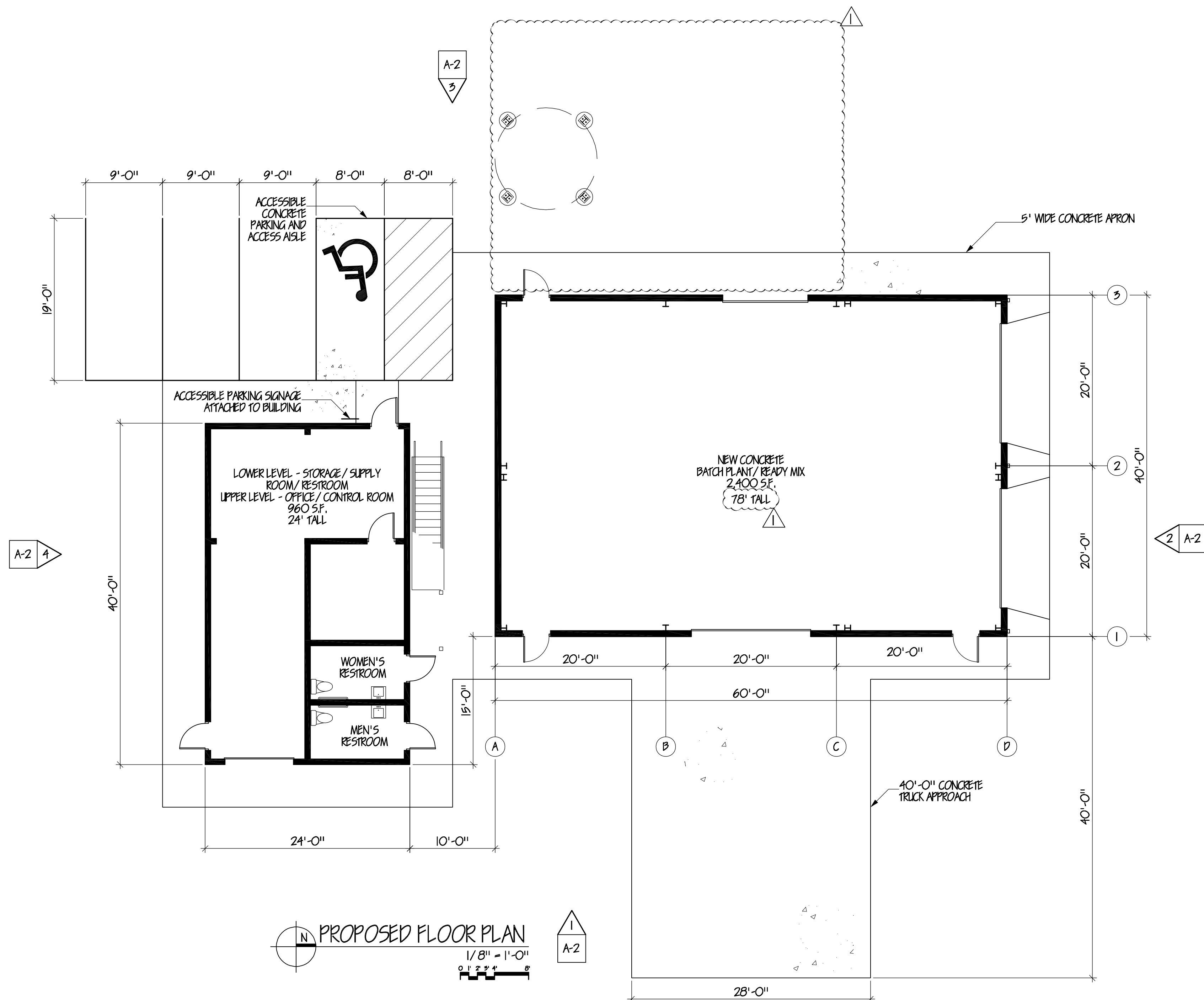


NAME: JOHN PATRICK PICARD
 LICENSE NO. 9410621
 EXPIRATION DATE: 12/31/2025

Project Number 23043
 Date 12/14/23
 ALL REVISIONS MADE TO THIS DRAWING AFTER ABOVE DATE SHALL BE DATED AND DESCRIBED BELOW. THIS DRAWING WAS LAST REVISED ON 12/14/23.

A1

Proposed



1 RENDERED IMAGE
A-1 VIEW FROM WEST SMITH ROAD LOOKING SOUTH



2 RENDERED IMAGE
A-1 OF NEW BATCH PLANT LOOKING SOUTHEAST



3 RENDERED IMAGE
A-1 OF NEW BATCH PLANT LOOKING SOUTH



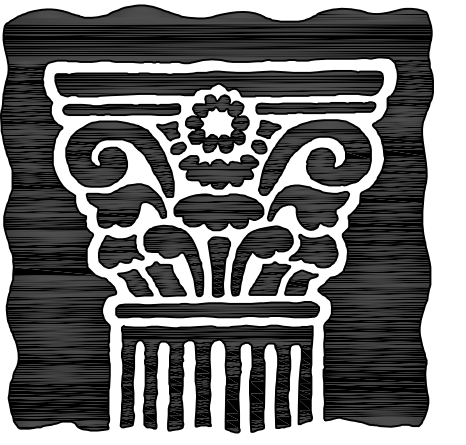
6 RENDERED IMAGE
A-1 BIRDS EYE VIEW



5 RENDERED IMAGE
A-1 BIRDS EYE VIEW LOOKING SOUTHWEST



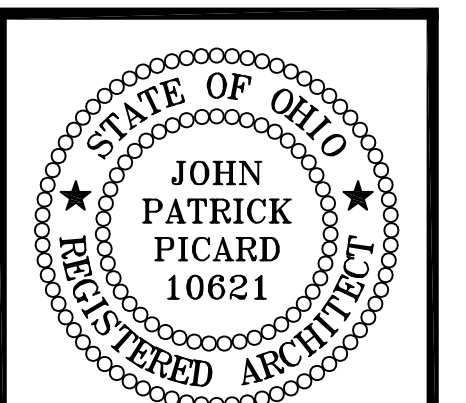
4 RENDERED IMAGE
A-1 OF NEW BATCH PLANT LOOKING SOUTH



JOHN PATRICK PICARD
ARCHITECT, INC.
50 NORTH AVENUE NORTHEAST
SUITE 102
MASSILLON, OHIO 44646
PHONE (330) 471-9000
EMAIL: jpparchitect@yahoo.com

NEW READY MIX BUILDING FOR
THE SHELLY COMPANY
820 WEST SMITH ROAD
MEDINA, OHIO 44256

THE Shelly COMPANY

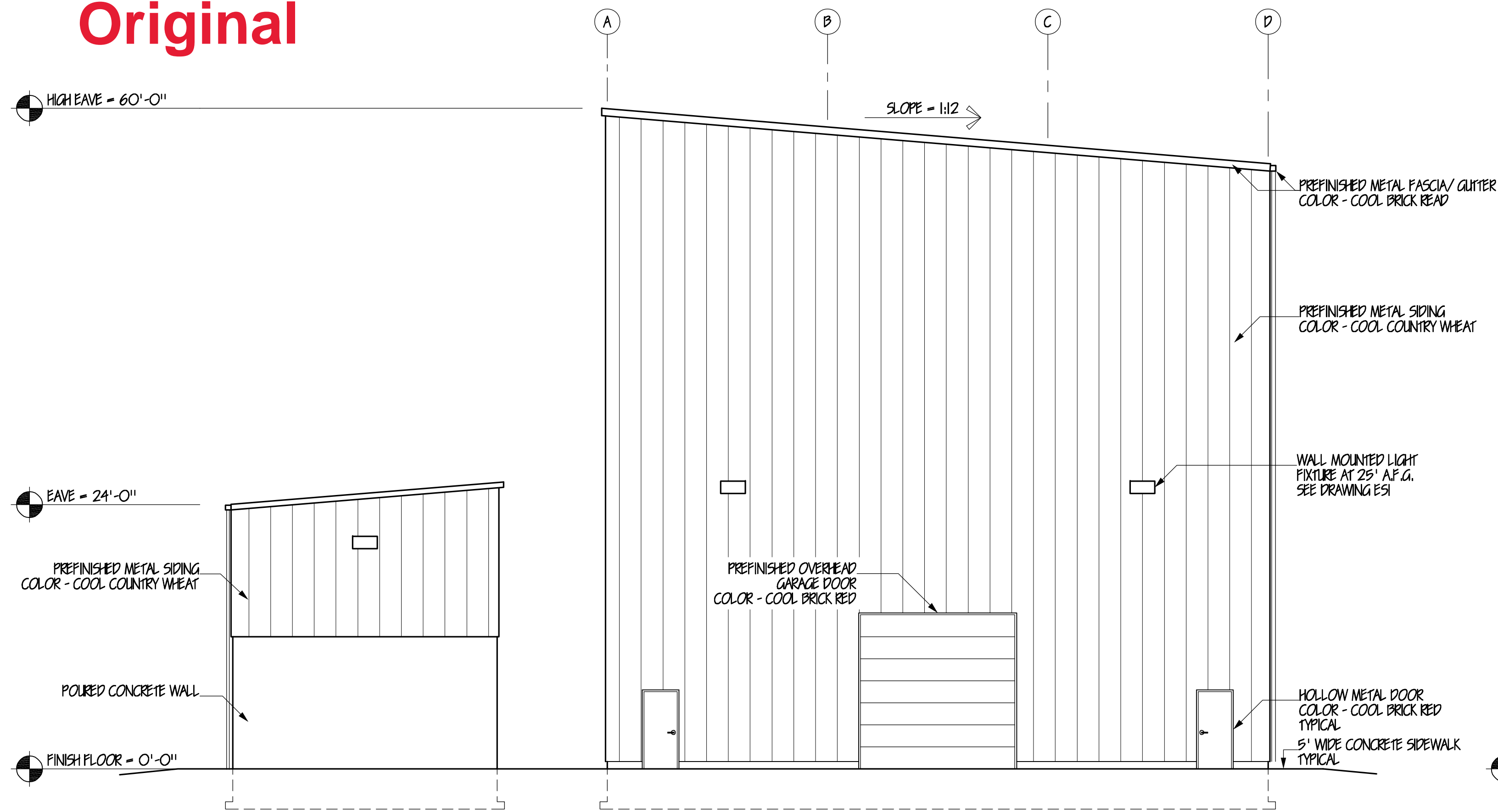


NAME: JOHN PATRICK PICARD
LICENSE NO. 9410621
EXPIRATION DATE: 12/31/2025

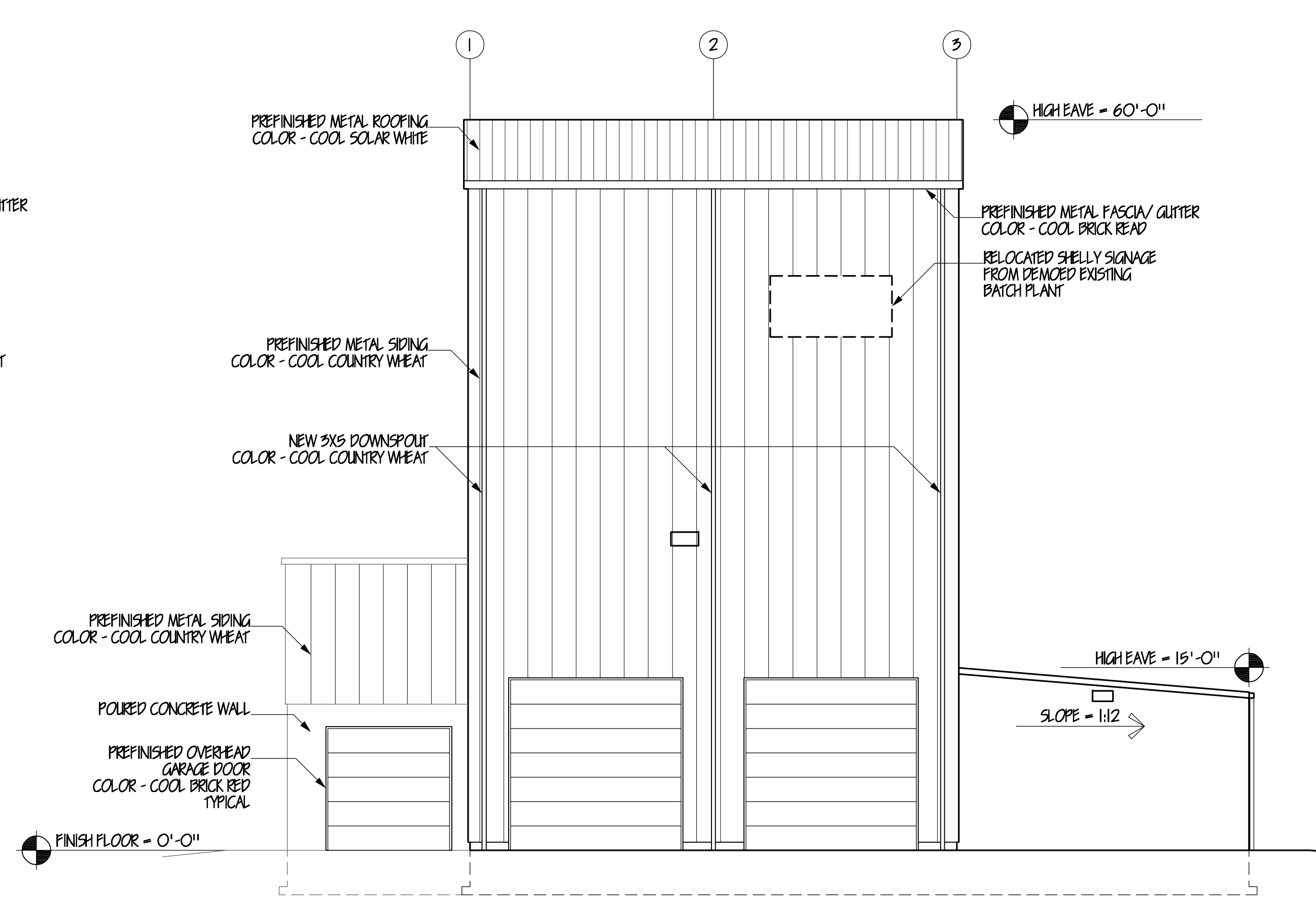
Project Number 23043
Date 12/14/23
ALL REVISIONS MADE TO THIS DRAWING AFTER ABOVE DATE SHALL BE DATED AND DESCRIBED BELOW. THIS DRAWING WAS LAST REVISED ON 12/14/23.
11/19/24
SITE PLAN REVISION REVIEW
RESUBMISSION

A1

Original

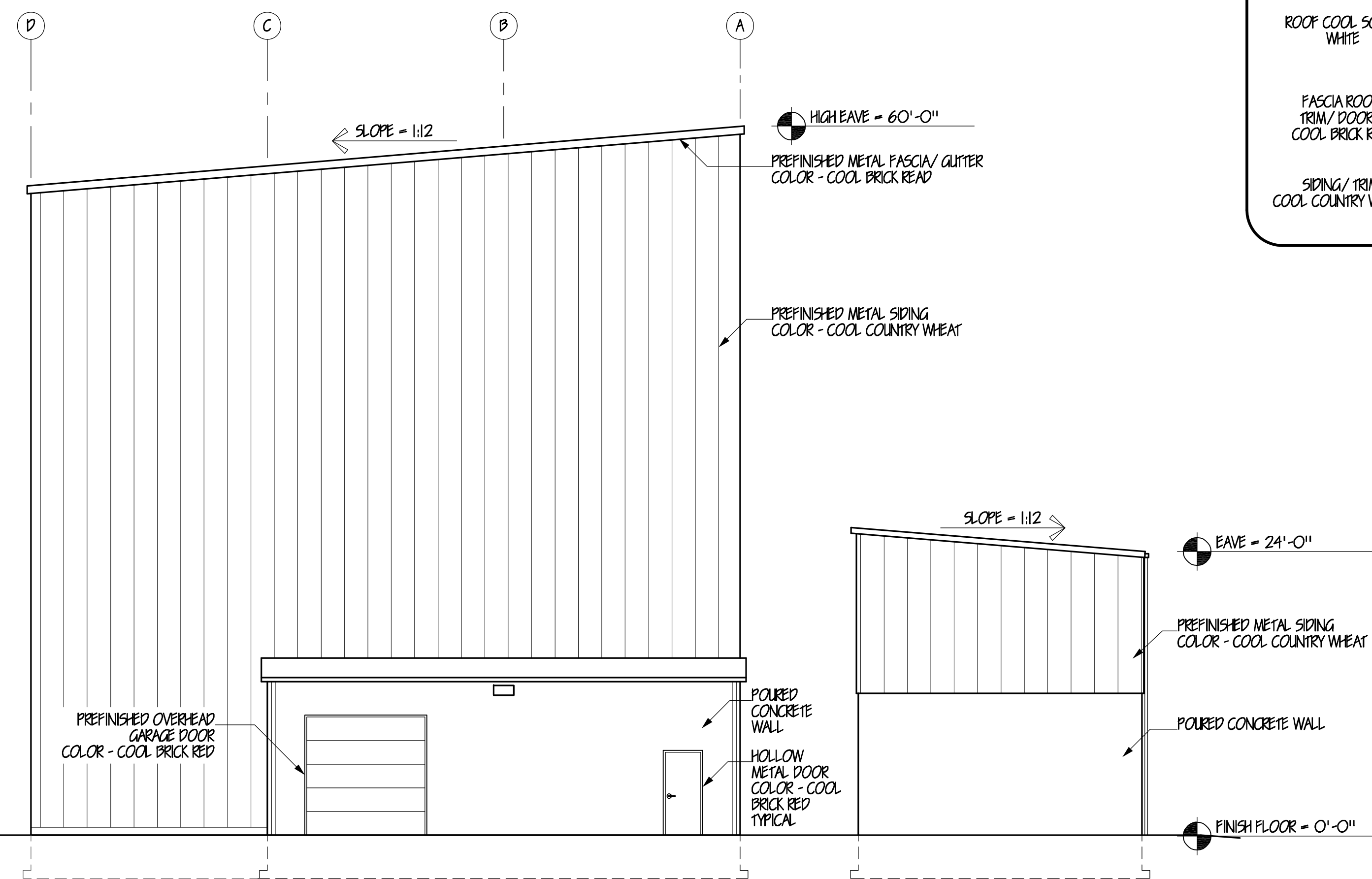


1 EAST ELEVATION
1/8" = 1'-0"

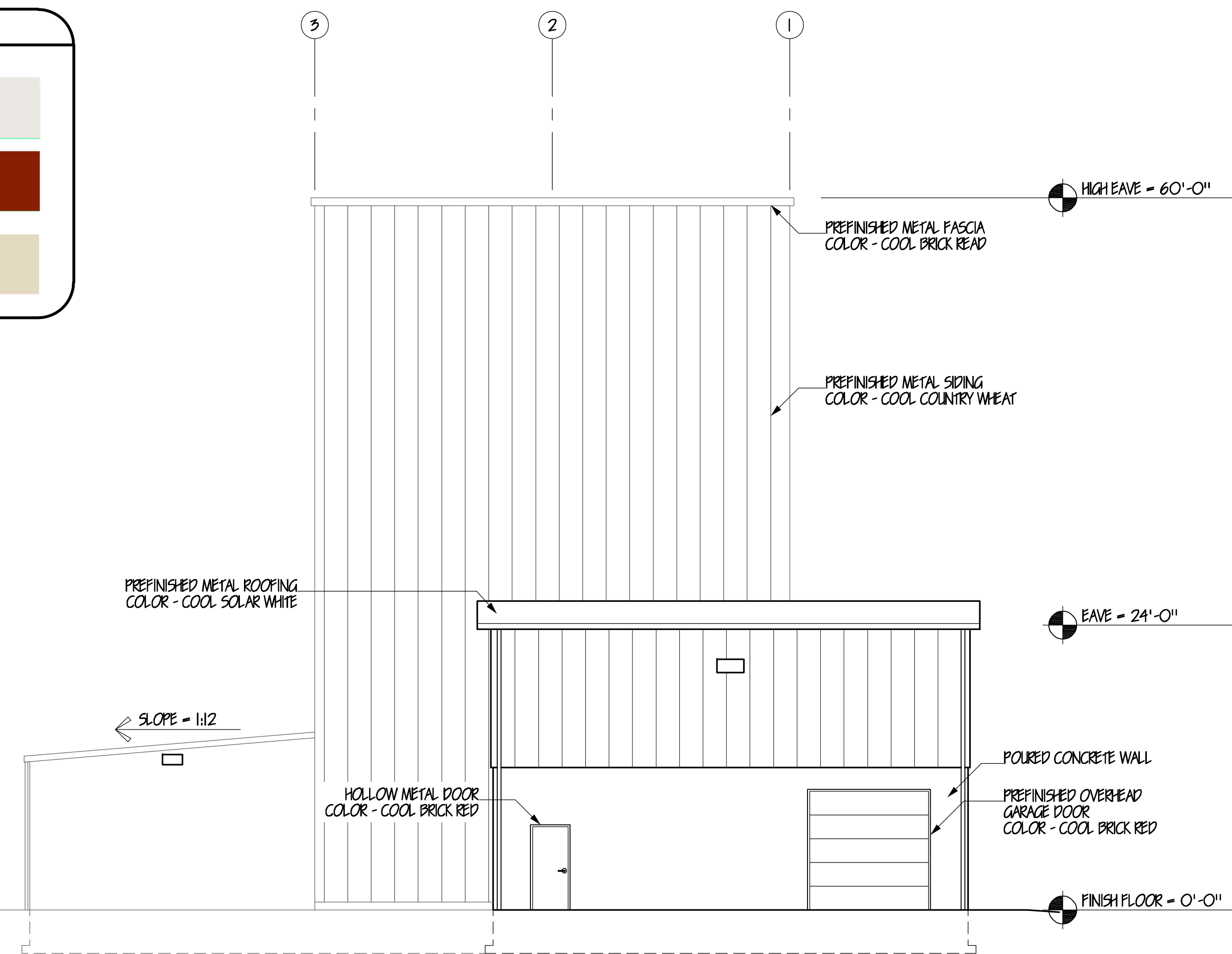


2 NORTH ELEVATION
1/8" = 1'-0"

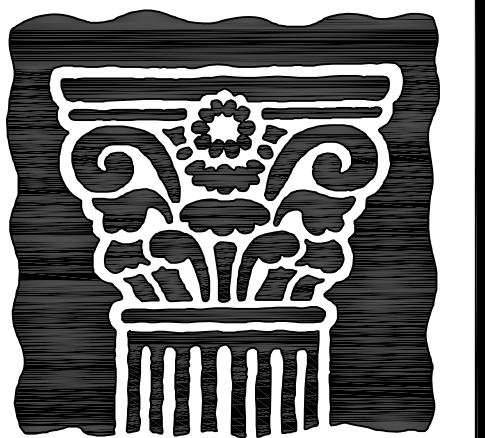
BUILDING COLORS	
ROOF COOL SOLAR WHITE	
FASCIA ROOF TRIM/ DOORS COOL BRICK RED	
SIDING/TRIM COOL COUNTRY WHEAT	



3 WEST ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"



**JOHN PATRICK
PICARD**
ARCHITECT, INC.
50 NORTH AVENUE NORTHEAST
SUITE 102
MASSILLON, OHIO 44646
PHONE (330) 471-9000
EMAIL: jpparchitect@yahoo.com

NEW READY MIX BUILDING FOR
**THE SHELLY
COMPANY**
820 WEST SMITH ROAD
MEDINA, OHIO 44256



STATE OF OHIO
JOHN PATRICK
PICARD
10621
REGISTERED ARCHITECT

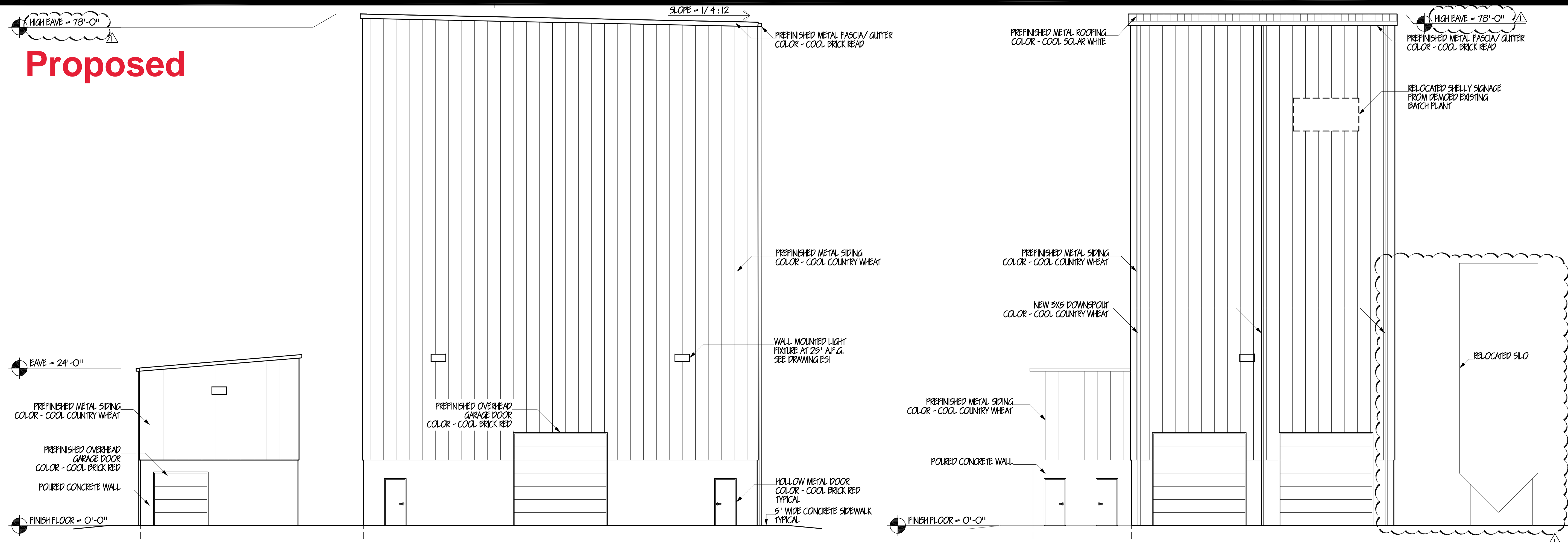
NAME:
JOHN PATRICK PICARD
LICENSE NO. 9410621
EXPIRATION DATE: 12/31/2025

Project Number 23043
Date 12/14/23

STOP
ALL REVISIONS MADE TO THIS
DRAWING AFTER ABOVE DATE SHALL
BE DATED AND DESCRIBED BELOW.
THIS DRAWING WAS LAST REVISED
ON 12/14/23

A2

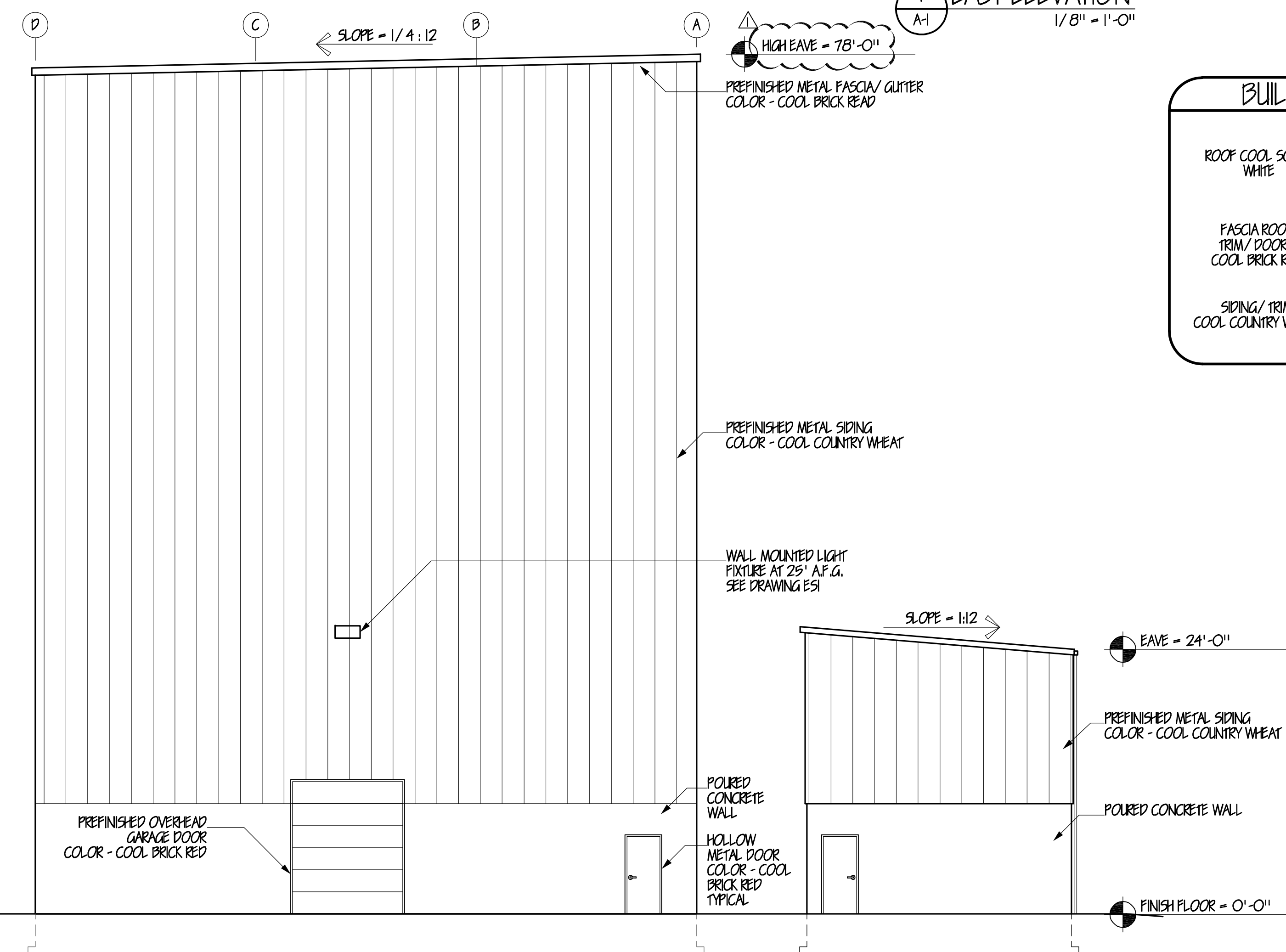
Proposed



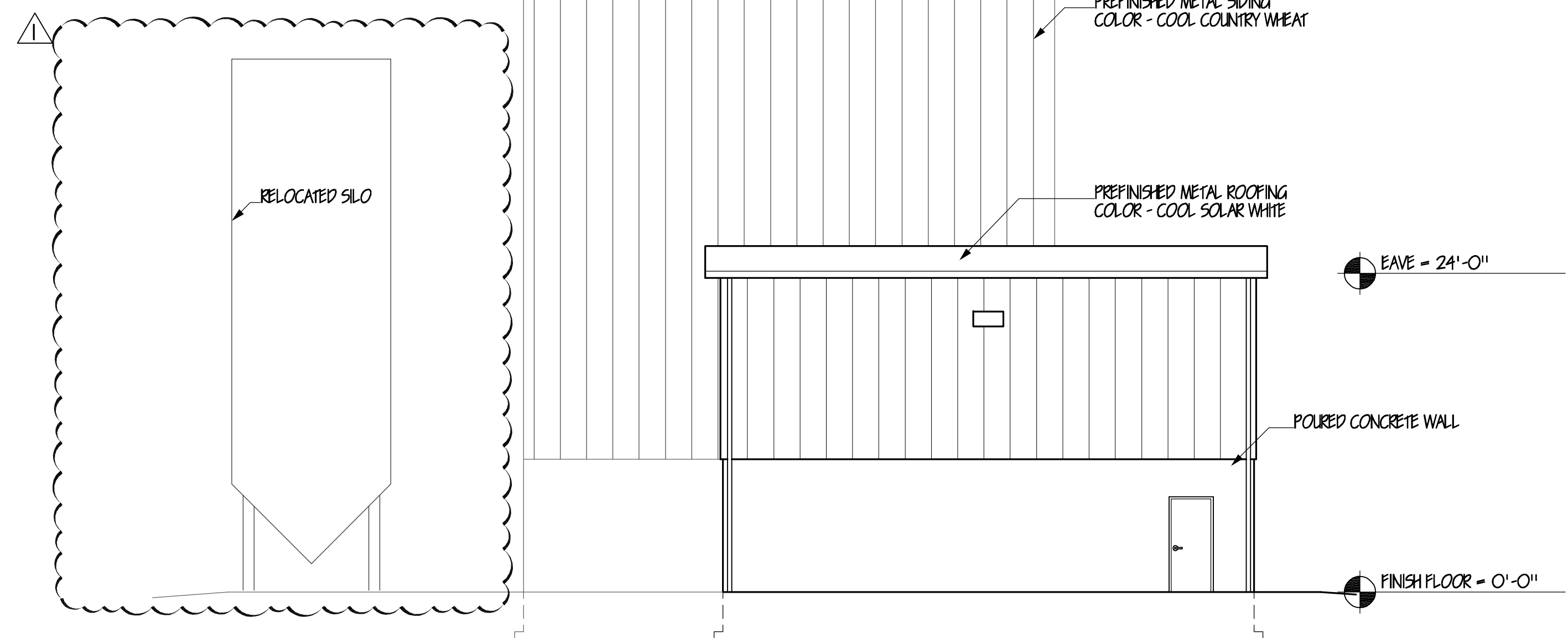
1 EAST ELEVATION
1/8" = 1'-0"

2 NORTH ELEVATION
1/8" = 1'-0"

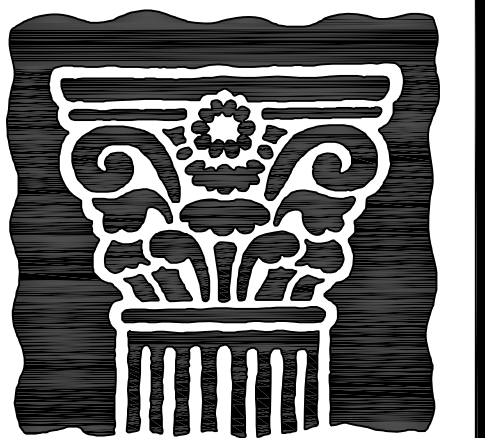
BUILDING COLORS	
ROOF COOL SOLAR WHITE	
FASCIA ROOF TRIM/DOORS COOL BRICK RED	
SIDING/TRIM COOL COUNTRY WHEAT	



3 WEST ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"



**JOHN PATRICK
PICARD**
ARCHITECT, INC.
50 NORTH AVENUE NORTHEAST
SUITE 102
MASSILLON, OHIO 44646
PHONE (330) 471-9000
EMAIL: jpparchitect@yahoo.com

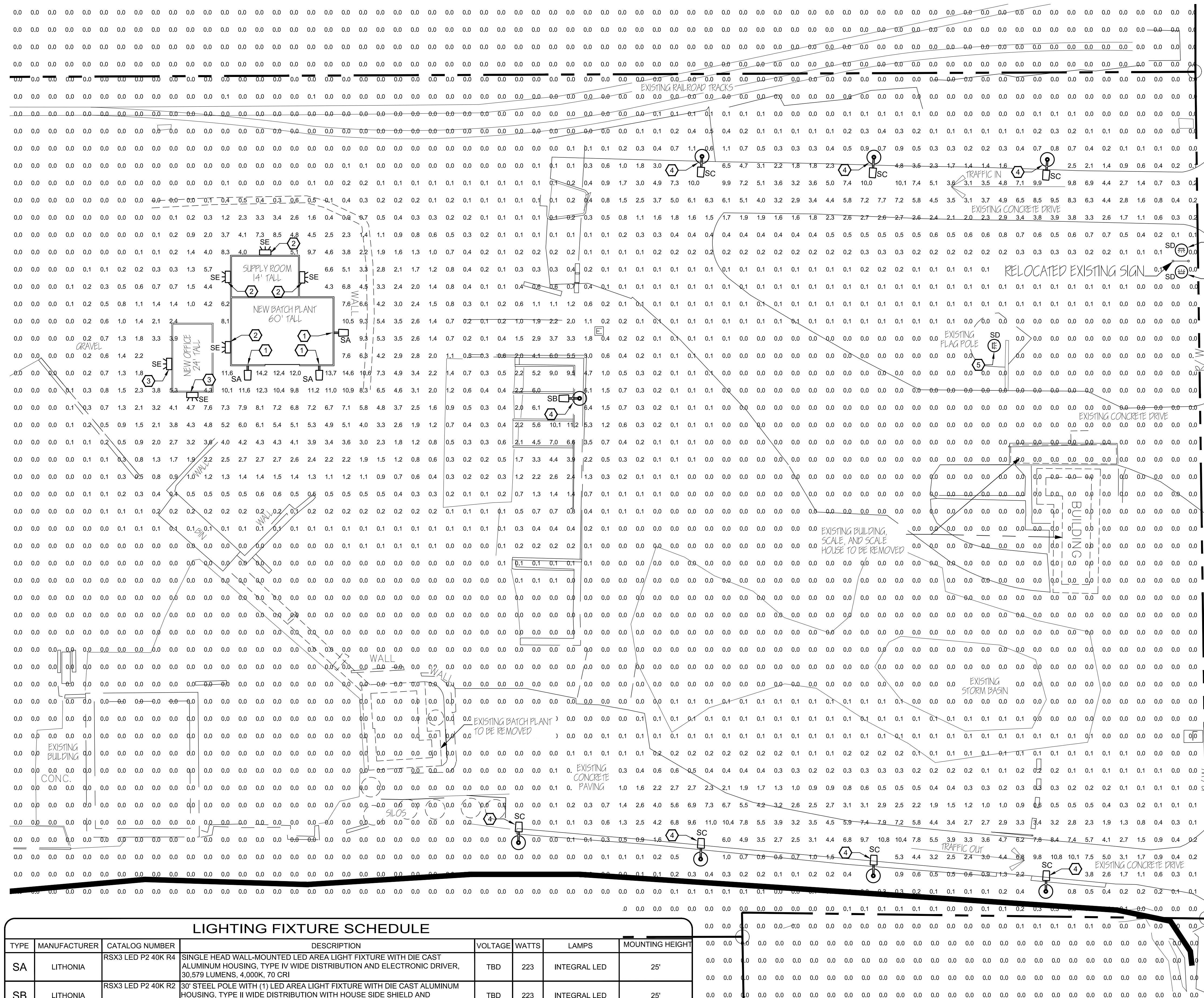
NEW READY MIX BUILDING FOR
**THE SHELLY
COMPANY**
820 WEST SMITH ROAD
MEDINA, OHIO 44256



STATE OF OHIO
JOHN PATRICK
PICARD
10621
REGISTERED ARCHITECT
NAME:
JOHN PATRICK PICARD
LICENSE NO. 9410621
EXPIRATION DATE: 12/31/2025

Project Number 23043
Date 12/14/23
ALL REVISIONS MADE TO THIS DRAWING AFTER ABOVE DATE SHALL BE DATED AND DESCRIBED BELOW. THIS DRAWING WAS LAST REVISED ON 12/19/24
11/19/24
SITE PLAN REVISION REVIEW
RESUBMISSION

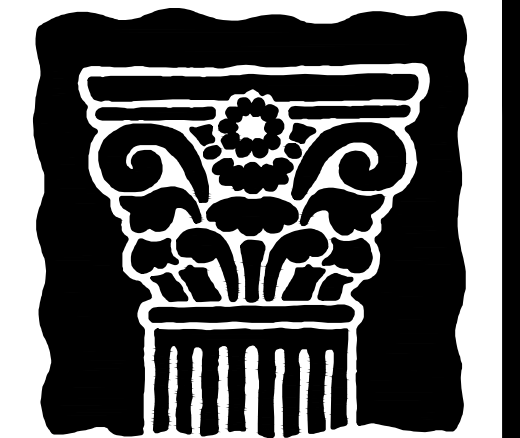
A2



SITE PHOTOMETRIC PLAN KEY NOTES

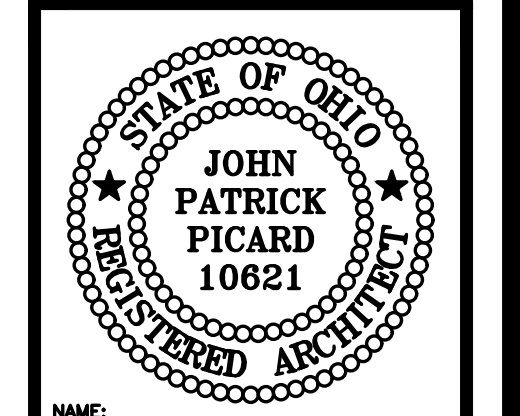
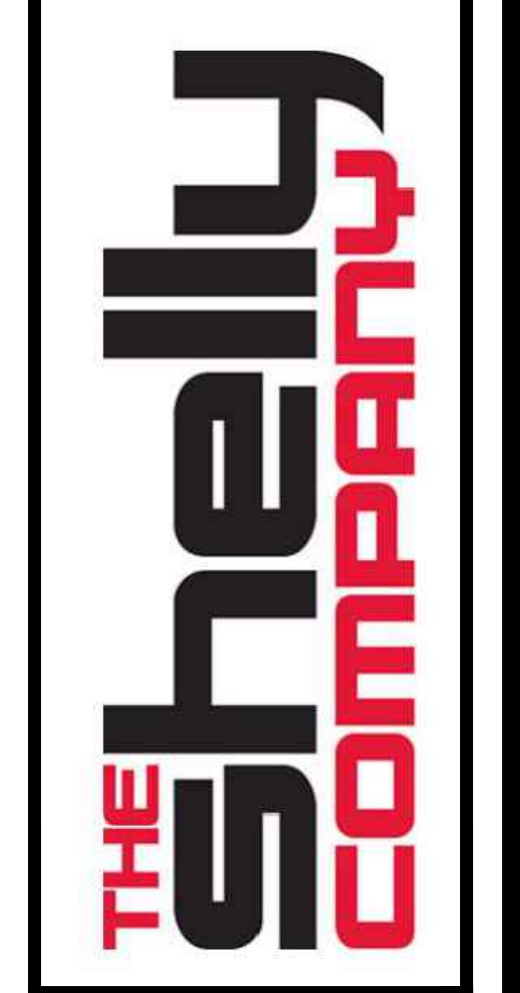
- ① WALL-MOUNTED FIXTURE SHALL BE MOUNTED AT 25' ABOVE FINISHED GRADE.
- ② WALLPACK FIXTURE SHALL BE MOUNTED AT 12' ABOVE FINISHED GRADE.
- ③ WALLPACK FIXTURE SHALL BE MOUNTED AT 20' ABOVE FINISHED GRADE.
- ④ FIXTURE SHALL BE MOUNTED ON SQUARE STRAIGHT STEEL POLE AT 25' ABOVE FINISHED GRADE.
- ⑤ FIXTURE SHALL BE MOUNTED AT GROUND LEVEL IN MULCH BED.

Lighting -
No Change



**JOHN PATRICK
PICARD
ARCHITECT, INC.**
50 NORTH AVENUE NORTHEAST
SUITE 102
MASSILLON, OHIO 44646
PHONE (330) 471-9900
EMAIL: jpparchitect@yahoo.com

NEW READY MIX BUILDING FOR
THE SHELLY COMPANY
 820 WEST SMITH ROAD
 MEDINA, OHIO 44256



NAME: JOHN PATRICK PICARD
LICENSE NO. 9410621
EXPIRATION DATE: 12/31/2025

Project Number 23043
Date 12/15/23

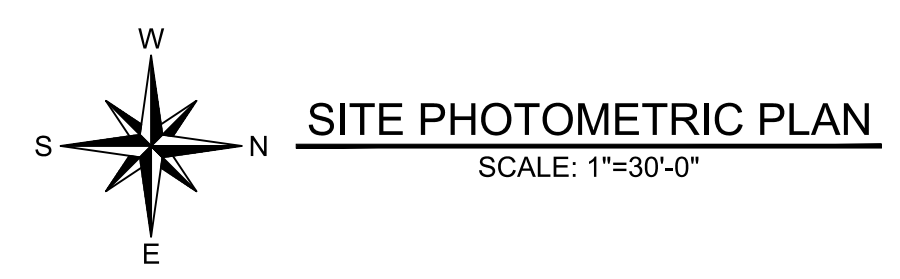


LIGHTING FIXTURE SCHEDULE						
TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	VOLTAGE	WATTS	MOUNTING HEIGHT
SA	LITHONIA	RSX3 LED P2 40K R4	SINGLE HEAD WALL-MOUNTED LED AREA LIGHT FIXTURE WITH DIE CAST ALUMINUM HOUSING, TYPE IV WIDE DISTRIBUTION AND ELECTRONIC DRIVER, 30,579 LUMENS, 4,000K, 70 CRI	TBD	223	25'
SB	LITHONIA	RSX3 LED P2 40K R2	30" STEEL POLE WITH (1) LED AREA LIGHT FIXTURE WITH DIE CAST ALUMINUM HOUSING, TYPE II WIDE DISTRIBUTION WITH HOUSE SIDE SHIELD AND ELECTRONIC DRIVER, 30,291 LUMENS, 4,000K, 70 CRI	TBD	223	25'
SC	LITHONIA	RSX3 LED P1 40K AFR HS	30" STEEL POLE WITH (1) LED AREA LIGHT FIXTURE WITH DIE CAST ALUMINUM HOUSING, ROADWAY DISTRIBUTION WITH HOUSE SIDE SHIELD AND ELECTRONIC DRIVER, 27,342 LUMENS, 4,000K, 70 CRI	TBD	195	25'
SD	LITHONIA	TFX1 LED 40K MVOLT	LED FLOODLIGHT FIXTURE WITH DIE CAST ALUMINUM HOUSING AND AN ELECTRONIC DRIVER, 7,300 LUMENS, 5,000K	TBD	54	GROUND MOUNTED
SE	LITHONIA	WDGE3 LED P2 70CR R4 40K	LED WALLPACK LIGHT FIXTURE WITH DIE CAST ALUMINUM HOUSING, TYPE 4 DISTRIBUTION, AND ELECTRONIC DRIVER, 8,500 LUMENS, 4,000K, 70 CRI	TBD	59	12' / 20' SEE KEY NOTES

NOTES:
1. LIGHTING FIXTURES SHOWN ON SCHEDULE ARE BASIS OF DESIGN. E.C. IS PERMITTED TO USE ALTERNATE MANUFACTURER PRODUCTS THAT MEET OR EXCEED THE SPECIFIED PRODUCTS. FINAL APPROVAL OF ALTERNATE PRODUCTS WILL BE SUBJECT TO OWNERS APPROVAL.

NOTE:
POLE MOUNTED AND WALL MOUNTED FIXTURES SHALL BE CAPABLE OF DIMMING DURING PERIODS OF INACTIVITY.

STATISTICS					
Description	Avg	Max	Min	Max/Min	Avg/Min
EAST NEIGHBOR	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
SITE	0.4 fc	14.6 fc	0.0 fc	N/A	N/A
SOUTH NEIGHBOR	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
NORTH NEIGHBOR	0.0 fc	0.0 fc	0.0 fc	N/A	N/A



LIGHTING TYPE SC

RSX3 LED Area Luminaire. Specifications: EPA 0.70 ft (0.07 m²), Height: 33.8" (85.9 cm), Weight: 48.0 lbs (21.8 kg). Ordering information table includes series, performance, color, and options.

Ordering Information. Accessories: RSX3 LED P1 40K AFR HS. External Shields: House Side Shield, External Glare Shield, External 360 Full Visor. Pole/Mounting Information: Round Tenon Mount - Pole Top Slipfitters, Drill/Side Location by Configuration Type.

Photometric Diagrams. Performance Data: Lumen Ambient Temperature (LAT) Multiplier, Electrical Load, Projected LED Lumen Maintenance. Includes tables for different temperature ranges and lumen outputs.

LIGHTING TYPE SE

WDGE3 LED Architectural Wall Sconce. Specifications: Depth (D1): 8", Height: 9", Width: 18", Weight: 19.5 lbs. Ordering information table includes series, performance, color, and options.

Performance Data. Lumen Output table for various configurations. Electrical Load table. Lumen Output in Emergency Mode (4000K, 70 CR). Lumen Ambient Temperature (LAT) Multiplier table.

Photometric Diagrams. Emergency Egress Options. Includes diagrams showing beam spread and foot-candle output for different configurations.

LIGHTING TYPE SD

TFX1 LED Floodlights. Introduction: The TFX1 LED flood luminaire is a cost-effective, energy-efficient solution. Ordering Information table includes color temp, lumen output, efficacy, and mounting options.

Photometric Diagrams. Performance Data. Electrical and Lumen Maintenance Data. Projected Lumen Maintenance. Includes tables for efficacy, lumen output, and maintenance factor.

Lighting - No Change ES.3. Large graphic text at the bottom of the page.

JOHN PATRICK PICARD ARCHITECT, INC. 50 NORTH AVENUE NORTHEAST SUITE 102 MASSILLON, OHIO 44646 PHONE (330) 471-9000 EMAIL:jpparchitect@yahoo.com

NEW READY MIX BUILDING FOR THE SHELLY COMPANY 820 WEST SMITH ROAD MEDINA, OHIO 44256

THE SHELLY COMPANY logo and address information.

JOHN PATRICK PICARD REGISTERED ARCHITECT STATE OF OHIO 10621

Project Number 23043 Date 12/14/23. License No. 9410621. Expiration Date: 12/31/2025.