

P24-22
West Park Boulevard New Home

Property Owner: Five Star Family Housing LLC
Applicant: Brandon Hershberger
Location: South side of West Park Boulevard with Parcel Number 028-19C-09-217
Zoning: R-1 (Low Density Residential)
Request: Approval for a new single-family home determined to be in conflict with Infill Development Standards

LOCATION AND SURROUNDING USES

The subject site is composed of 0.31 acres located on the south side of West Park Boulevard. Adjacent properties contain the following uses and zoning:

- North – Single-Family Residential (R-1)
- East – Single Family Residential (R-1)
- South – Single-Family Residential (R-1)
- West – Single-Family Residential (R-3)



BACKGROUND & PROPOSED APPLICATION

The applicant has submitted a proposal to construct a single-story 1,100 sq. ft. single-family slab home on the subject vacant property. The home includes:

- 2 bedrooms and one bathroom
- A front-loaded one-car garage
- Vertical metal siding
- A front sliding glass door
- Multiple pitched roof lines with the main roof not visible from the street

The site plan indicates a front setback of 52 ft., which is consistent with code requirements and structures in the area. The site plan also shows a 50 ft. rear setback and side setbacks of 10 ft. and 20 ft.

ADJACENT HOMES

There are three adjacent homes to the subject lot with the following characteristics in comparison to the proposed home.

Address	Finished Area	Stories	Basement	Garage	Beds/Baths	Roof	Siding
436 W. Park Blvd.	2,572 sq. ft.	2	Full	2 Car	4/3	Steep Pitched	Vinyl
451 W. Park Blvd.	1,527 sq. ft.	1	Full	2 Car	3/1	Pitched	Vinyl
452 W. Park Blvd.	2,139 sq. ft.	2	Full	2 Car	4/2	Pitched	Brick/Vinyl
Proposed	1,100 sq. ft.	1	No	1 Car	2/1	Pitched – Not Visible	Vertical Metal

INFILL DEVELOPMENT STANDARDS

Section 1113.07 requires new homes in an existing neighborhood to comply with the following standards:

- (a) Compatibility. All new single and two family residential development shall reflect, complement, and preserve the nature and character of existing adjacent residential development.
- (b) Building Placement and Mass. All new homes shall conform in street orientation and massing to adjacent homes.
- (c) Harmonious Aesthetics. The following is a list of objectives to achieve infill development that is characteristic of the existing structures:
 - (1) New infill development shall be compatible with the neighboring structures in terms of proportion, size, mass and height.
 - (2) Similar materials, colors, architectural details and roof pitch shall be used on all sides and on all structures on the site and shall be harmonious with adjacent properties.
 - (3) The creation of a vertical canyon effect between structures shall be minimized. For instance, when a one story structure is proposed next to a two story structure, the space between the two buildings shall increase as wall height increases.
- (d) Any improvement which is determined by the Planning Director to be in conflict with this section shall be forwarded to the Planning Commission for review.

The Planning Director has found that the application is in conflict with Section 1113.07 as the home:

- (a) Does not reflect, complement, and preserve the nature and character of existing adjacent residential development;
- (b) Does not have similar building massing to adjacent homes;
- (c)(1) Is not compatible with existing structures in terms of proportion, size, and height; and
- (c)(2) Does not incorporate similar materials, architectural details, or roof pitch, and is not compatible with adjacent properties.

Therefore, the application has been forwarded to the Planning Commission for review per Section 1113.07(d).

PLANNING COMMISSION ACTION

As noted above in Section 1113.07(d), as the Planning Director has determined that the proposal is in conflict with Infill Development Standards, the application is forwarded to the Planning Commission for review. The Planning and Zoning Code does not provide any additional information regarding the review process or additional criteria to evaluate the request. The Planning Commission will therefore need to review the application and make a decision on whether the proposed home is appropriate for the existing neighborhood.

To Whomever it may concern,

Five Star Family Housing, LLC. is requesting approval to build a new home at the property located on West Park Boulevard. Parcel aerial and information is attached. The submitted plans are within the required site lines.

The projected plan is the home we want to build. It is eco friendly, a substantially lower cost to build with much less waste, and the materials far surpass the “traditional” building materials in sustainability. Not only do the materials outperform traditional construction, the manufacturing of these materials is less harmful to the environment and can be easily recycled when it needs to be replaced, unlike traditional materials.

Heating and cooling the home have also been considered. The home has a high efficiency, all electric, “mini split” system that is low maintenance and energy efficient. The large windows allow for natural sunlight and can be covered for optimal cooling in the summertime.

Landscaping is minimal but will include plants that attract pollinators.

Respectfully,

Carie Kurtz, Project Manager for Five Star Family Housing, LLC.

Cariekurtz@gmail.com

330-231-7198

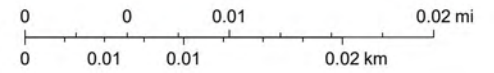
Medina County Auditor GIS



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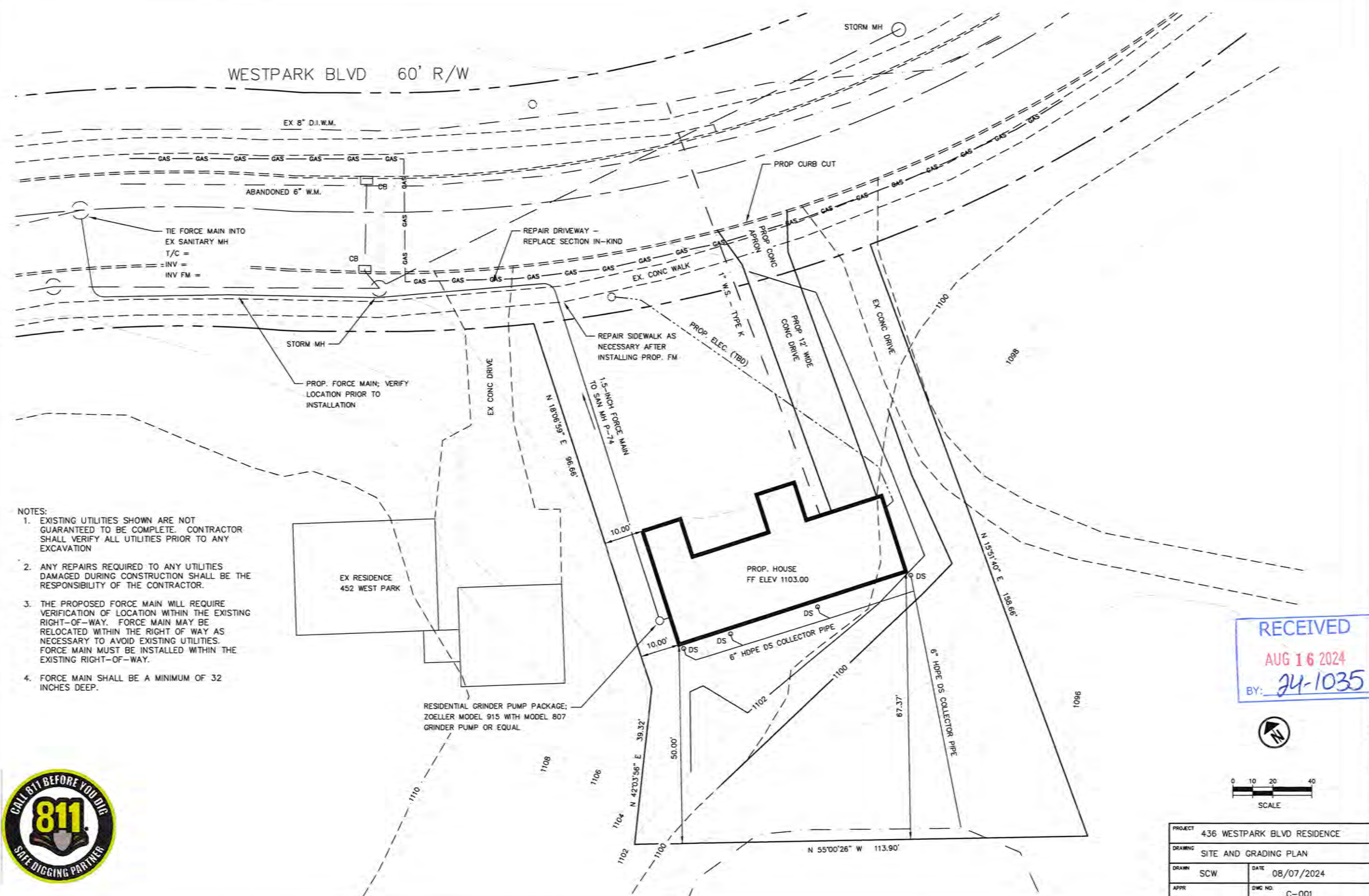
- Parcel Number (Label)
- Medina Parcel Dimensions (Label)
- Medina Parcels

1:421



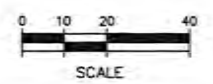
Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community, Esri Community Maps Contributors, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin,

WESTPARK BLVD 60' R/W

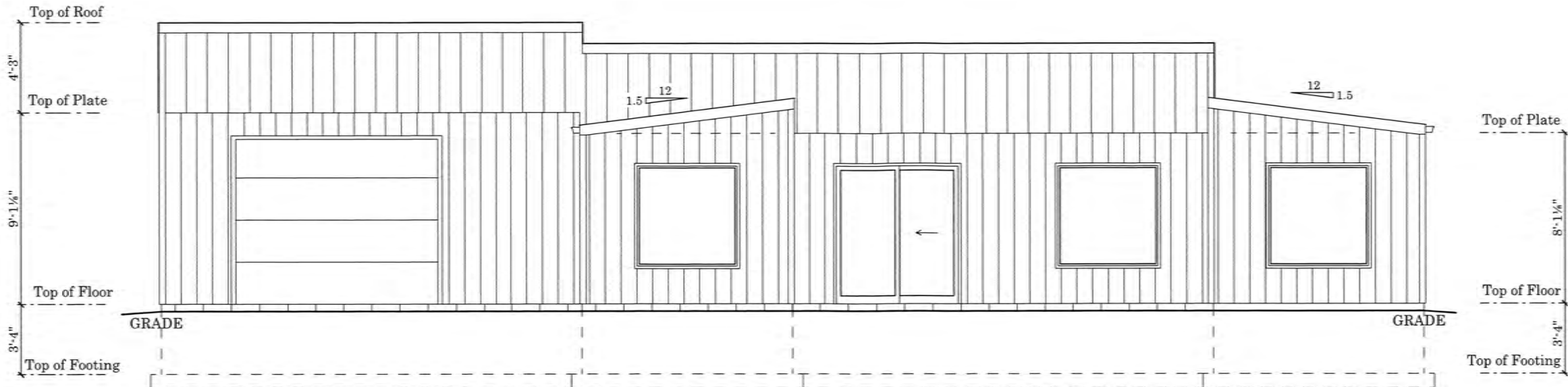


- NOTES:
- EXISTING UTILITIES SHOWN ARE NOT GUARANTEED TO BE COMPLETE. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO ANY EXCAVATION
 - ANY REPAIRS REQUIRED TO ANY UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE PROPOSED FORCE MAIN WILL REQUIRE VERIFICATION OF LOCATION WITHIN THE EXISTING RIGHT-OF-WAY. FORCE MAIN MAY BE RELOCATED WITHIN THE RIGHT OF WAY AS NECESSARY TO AVOID EXISTING UTILITIES. FORCE MAIN MUST BE INSTALLED WITHIN THE EXISTING RIGHT-OF-WAY.
 - FORCE MAIN SHALL BE A MINIMUM OF 32 INCHES DEEP.

RECEIVED
 AUG 16 2024
 BY: 24-1035



PROJECT	436 WESTPARK BLVD RESIDENCE		
DRAWING	SITE AND GRADING PLAN		
DRAWN	SCW	DATE	08/07/2024
APPR		DWG NO.	C-001



Front Elevation
SCALE: 3/8" = 1'-0"

DRAFTING SERVICES BY
BERLIN DRAFTING LLC
5989 C.R. 77 MILLERSBURG, OHIO 44654
bryan.berlindrafting@outlook.com 330-231-8678

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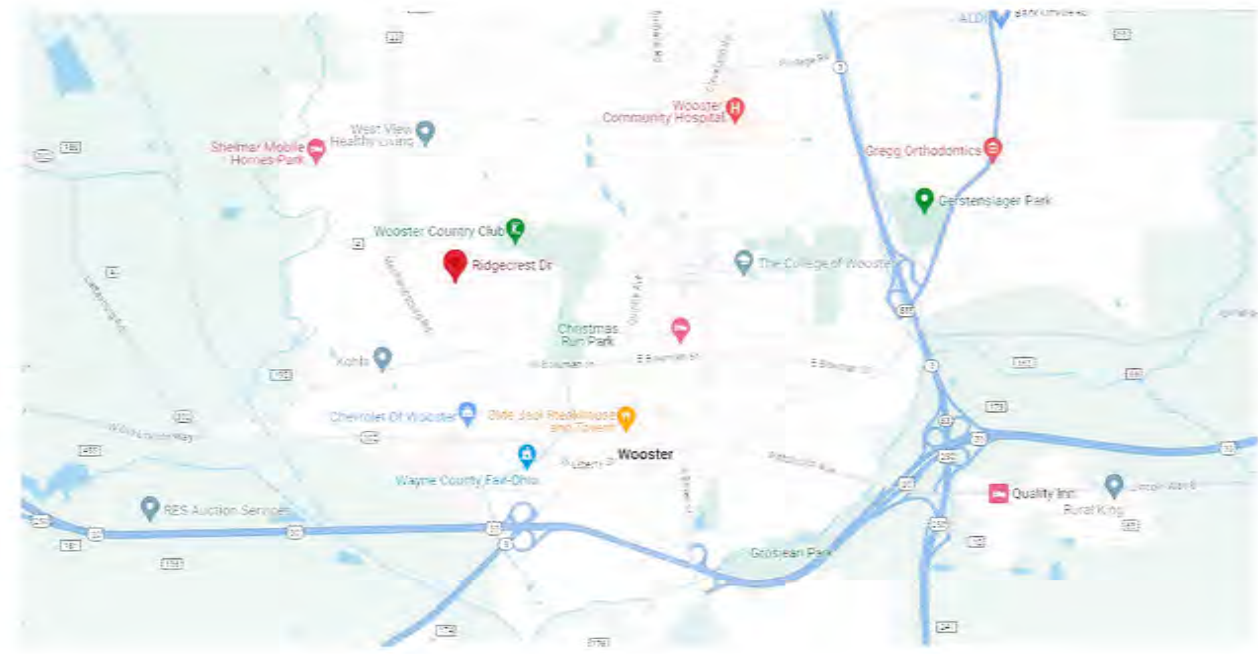
**DRAFT ONLY
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DRAWING SCHEDULE	
COVER SHEET	1
SITE PLAN	2
ELEVATIONS	3
FOUNDATION PLAN	4
FLOOR PLAN	5
SECTIONS ROOF PLAN	6

SQUARE FOOT NOTES:	
MAIN FLOOR1,100 SQ. FT.
GARAGE400 SQ. FT.

BRANDON HERSHBERGER
WILLIS MILLER
WESTPARK BOULEVARD
MEDINA, OHIO 44256
MEDINA COUNTY

LOCATION MAP



General Notes:

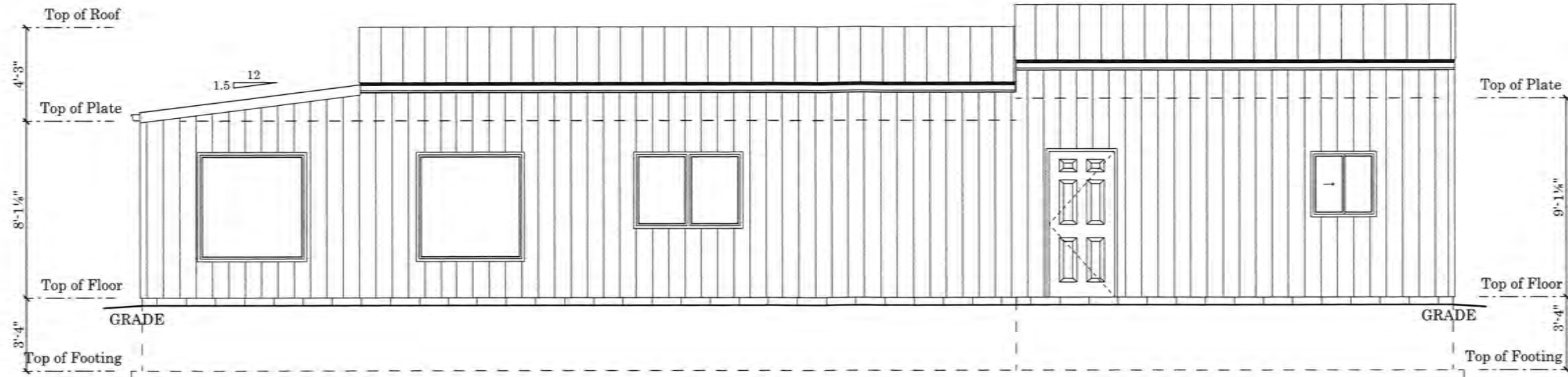
- All reference in this section are according to the International Building Code. All areas of the building are to meet or exceed the standards required therein.
- Soil bearing design based on 2,000 psf at footing depth. Contractor and owner are responsible for verifying that the above soil conditions exists at the foundation locations. Soil testing is recommended for any areas that have been mined or disturbed previously.
- Concrete strength for footers shall be a minimum of 3,000 psf at 28 days. Concrete for exterior slabs shall be a minimum of 4,000 psf at 28 days , with 6% air entrainment.
- The structure is designed to be self-supporting and stable after completion. It is the contractors responsibility to determine erection procedures and sequence , and to ensure the safety of the building and it's components
- An approved set of construction documents shall be kept at the site of the work. And shall be available for reference by the building official at all times during working hours while such work is in progress.

RECEIVED
AUG 16 2024
BY: 24-1035 A-1

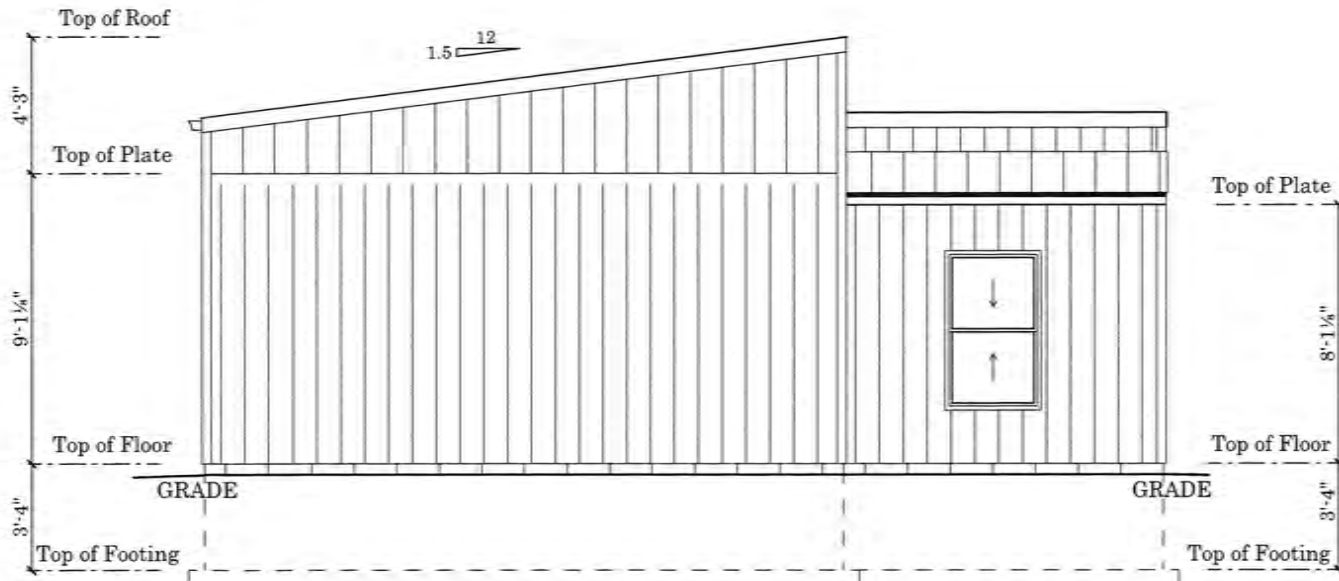
REVISIONS		
Mark	Revisions	Date

Date: 7/26/2024
Scale: AS NOTED
Drawn by: JT
Checked by: BK
Job: 24-1088
Sheet Title

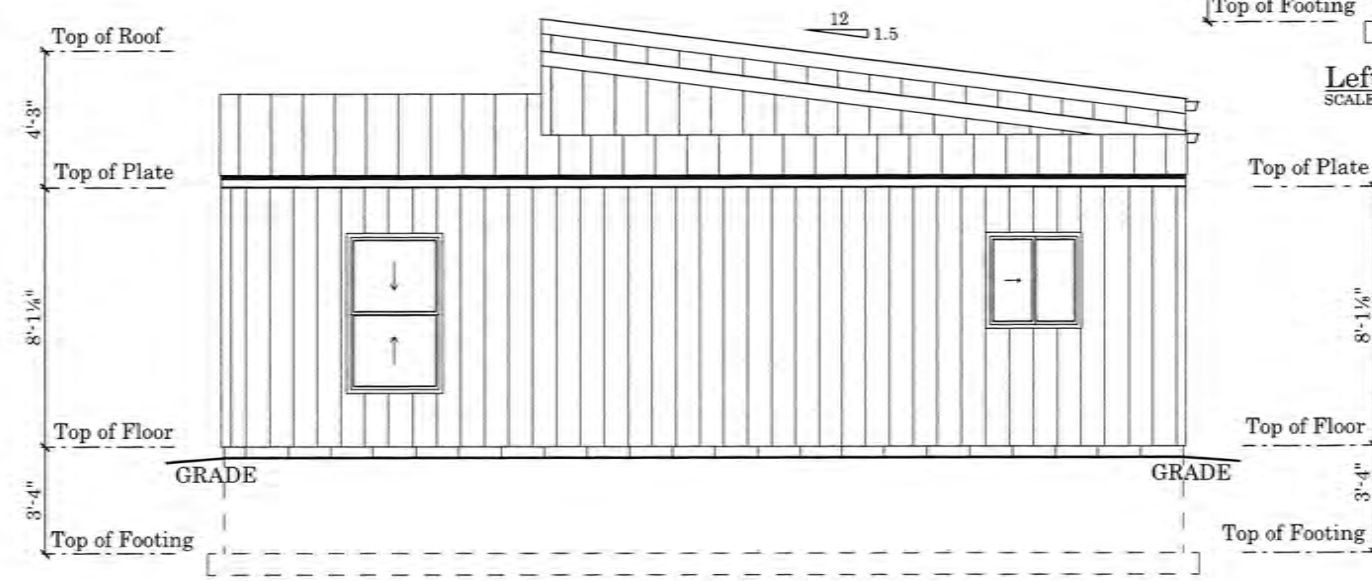
COVER SHEET



Rear Elevation
SCALE: 3/8" = 1'-0"



Left Elevation
SCALE: 3/8" = 1'-0"



Right Elevation
SCALE: 3/8" = 1'-0"

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BRANDON HERSHBERGER
WILLIS MILLER
WESTPARK BOULEVARD
MEDINA, OHIO 44256
MEDINA COUNTY

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED AFFECTING ALL LABELED SCALES.

Mark	Revisions	Date

Date: 7/26/2024
Scale: AS NOTED
Drawn by: JT
Checked by: BK
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Sheet Title

A-3

ELEVATIONS

Similar Building

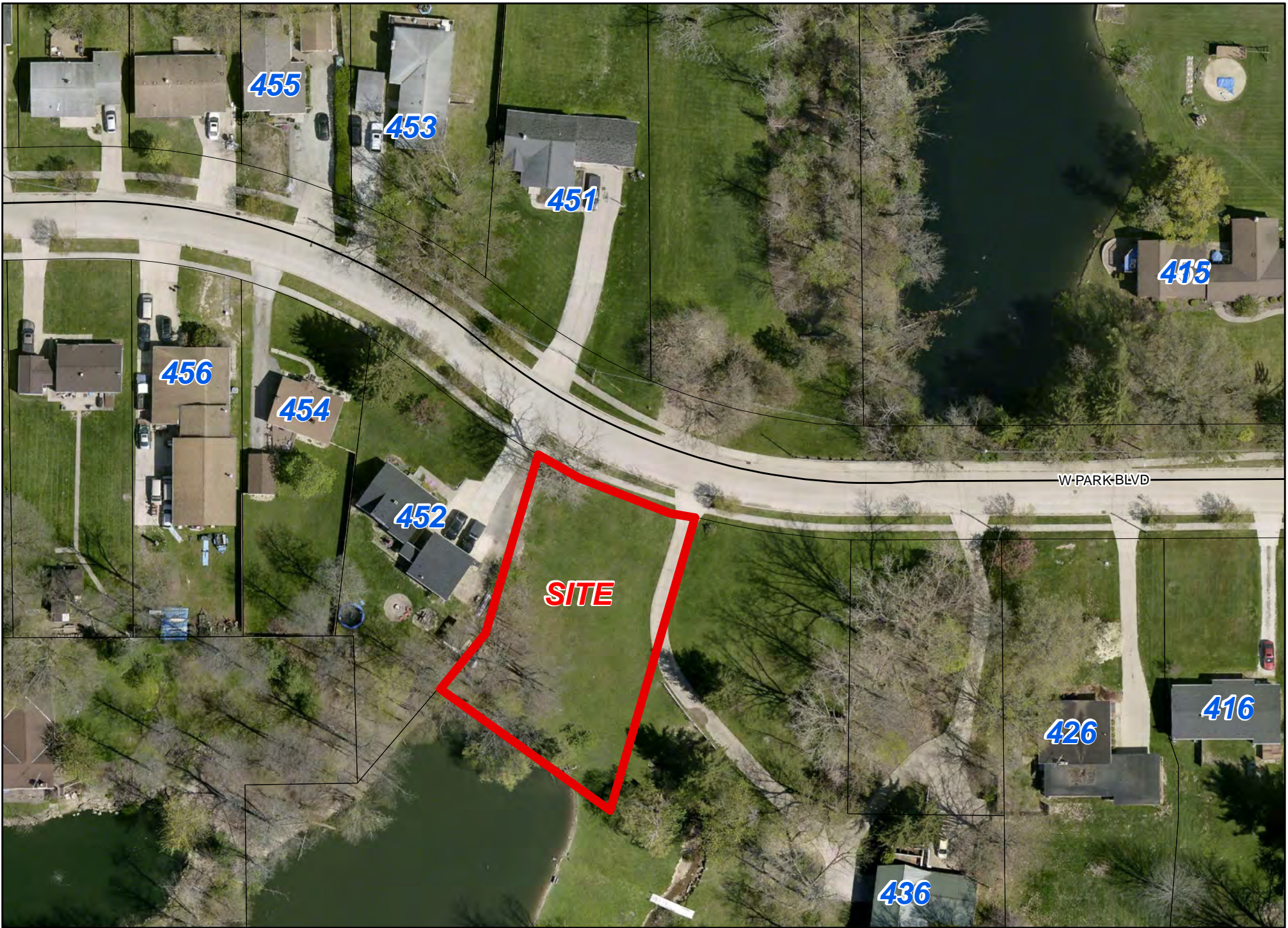


Rendering of a Similar Building w/Garage on the Site



SAUGE
KYNAR®, TEXTURED
Details
AND SIDING
Middlefield
40-632-8999





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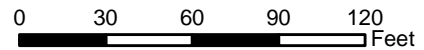
W PARK BLVD

SITE

426

416

436



455



453



451



415



456



454



452



436



426



416

