



BOARDS & COMMISSIONS APPLICATION

132 North Elmwood Avenue
330-722-9038
www.medinaoh.org

Application Number _____

GENERAL	Date of Application _____ Property Location _____ Description of Project _____ _____ _____
CONTACT INFORMATION	Applicant Name _____ Address _____ City _____ State _____ Zip _____ Phone _____ Email _____ Property Owner Name _____ Address _____ City _____ State _____ Zip _____ Phone _____ Email _____
APPLICATION TYPE	Planning Commission Site Plan <input type="checkbox"/> Conditional Zoning Certificate <input type="checkbox"/> Code or Map Amendment <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Conditional Sign (EMC/Shopping Ctr) <input type="checkbox"/> Cert. of Appr. (TCOV) <input type="checkbox"/> Other <input type="checkbox"/> Historic Preservation Board Certificate of Appropriateness <input type="checkbox"/> Conditional Sign <input type="checkbox"/> Board of Zoning Appeals Variance <input type="checkbox"/> Appeal <input type="checkbox"/>
APPLICANT SIGNATURE	<i>By signing this application, I hereby certify that:</i> 1) <i>The information contained in this application is true and accurate to the best of my knowledge;</i> 2) <i>I am authorized to make this application as the property owner of record or I have been authorized to make this application by the property owner of record;</i> 3) <i>I assume sole responsibility for correspondence regarding this application; and</i> 4) <i>I am aware that all application requirements must be submitted prior to the formal acceptance of my application.</i> Signature _____ Date _____
OFFICIAL USE	Zoning District _____ Fee (See Fee Sheet) \$ _____ Meeting Date _____ Check Box when Fee Paid <input type="checkbox"/>

P24-27
Sandridge Exterior Alterations

Property Owner: Gourmet Properties 3 LLC
Applicant: Joel Copley
Location: 1055 West Smith Road
Zoning: I-1 (Industrial)
Request: Site Plan approval for exterior alterations

LOCATION AND SURROUNDING USES

The subject site consists of 5 acres located on the northwest corner of West Smith Road and Commerce Drive. Adjacent properties are zoned I-1 and contain the following uses:

- North – Industrial
- East – Vacant
- South – Industrial and Bus Service Garage
- West – Parking and Vacant



BACKGROUND/PROPOSED APPLICATION

The property includes an existing 58,615 sq. ft. industrial and office building, which was most recently occupied by Corpro Waterworks. The applicant is planning to occupying the space and upgrade the building and site.

BUILDING ELEVATIONS AND LIGHTING

The existing building has a dated industrial exterior with brick, block, and metal siding. Initial changes will be to the south side of the building, which contains office area. Changes included new larger windows, white EIFS sections, horizontal metal siding sections, an awning, and wall sconces. Seating areas are also proposed on the east and west sides of the office area.

In the future, northern sections of the building will incorporate the same design scheme.

LANDSCAPING, SCREENING, AND BUFFERING

The site currently has limited landscaping. Additional landscaping has been shown on the east and west sides of the building's office area and the south side of the building's industrial area.

PARKING, DRIVES, AND LIGHTING

Plans indicate a reconstruction of the existing parking lot and drives generally within the same footprint. New parking lot lighting is shown with a compliant light fixture, height (18 ft.), and photometric plan.

SITE PLAN REVIEW STANDARDS

The Planning Commission's review and action shall be based on the following Standards per Section 1109.02(c):

- (1) The site plan shows that a proper relationship does exist between thoroughfares, service roads, driveways and parking areas to encourage pedestrian and vehicular traffic safety.
- (2) All the development features including the principal buildings, open spaces, service roads, driveways and parking areas are so located and related as to minimize the possibility of any adverse effects upon adjacent development.
- (3) The site plan includes adequate provision for the screening of parking areas, service areas and active recreation areas from surrounding properties by landscaping and/or ornamental walls or fences. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (4) Grading and surface drainage provisions are reviewed and approved by the City Engineer.
- (5) The design and construction standards of all private streets, driveways and parking areas are to be built following approval of plans by the City Engineer according to construction standards specified in the Codified Ordinances.
- (6) Maximum possible privacy for multi-family dwellings and surrounding residential properties shall be provided through good design and use of proper building materials and landscaping. Visual privacy should be provided through structural screening and landscaping treatment. Auditory privacy in multi-family dwellings should be provided through soundproofing. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (7) The architectural design of buildings should be developed with consideration given to the relationship of adjacent development in terms of building height, mass, texture, materials, line and pattern and character.
- (8) Building location and placement should be developed with consideration given to minimizing removal of trees and change of topography. Any trees to be removed which are planted in a public right-of-way or on municipal property shall be reviewed by the Shade Tree Commission.
- (9) In multi-family developments, television and other antennas shall be centralized.
- (10) On-site circulation shall be designed to make possible adequate fire and police protection.
- (11) Off-street parking facilities shall be provided in accordance with Chapter 1145. In large parking areas, visual relief shall be provided through the use of tree planted and landscaped dividers, islands and walkways. In multi-family developments no parking or service areas shall be permitted between any

street and the main building. All trees planted shall be as found in specifications approved by the Shade Tree Commission.

- (12) Signs shall be provided in accordance with these Codified Ordinances.
- (13) Any trees planted on site shall be on approved list of Shade Tree Commission and planted in accordance with Commission standards.

COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION

Staff recommends **approval** of application P24-27 for Site Plan approval as submitted.



A BUILDING RENOVATION FOR:

Sandridge Crafted Foods Culinary & Marketing Center

1055 WEST SMITH ROAD, MEDINA, OH 44256



Janotta & Herner

309 MONROE STREET MONROEVILLE, OH 44847 (419) 465-4611

LOCATION MAP CODE NOTES DESIGN TEAM DRAWING INDEX



CIVIL ENGINEER: **JANOTTA & HERNER**
DAN COBB P.E.
309 MONROE STREET
MONROEVILLE, OHIO 44847
PH. (419) 465-4611 FAX. (419) 465-2866

ARCHITECT: **JANOTTA & HERNER**
JOSH WELFLE, AIA
309 MONROE STREET
MONROEVILLE, OHIO 44847
PH. (419) 465-4611 FAX. (419) 465-2866

STRUCTURAL ENGINEER: **JANOTTA & HERNER**
DAN COBB P.E.
309 MONROE STREET
MONROEVILLE, OHIO 44847
PH. (419) 465-4611 FAX. (419) 465-2866

MECHANICAL ENGINEER: **DENNIS L. TOMAZIC P.E.**
3516 EDGEWOOD DRIVE
LORAIN, OHIO 44053
PH. (440) 282-7777 FAX. (440) 282-7790

ELECTRICAL ENGINEER: **C.A. LEWIS & ASSOC.**
ELECTRICAL ENGINEERS
13700 STATE ROAD, SUITE 11
NORTH ROYALTON, OHIO 44133
PH. (440) 582-8200 FAX. (440) 230-9617

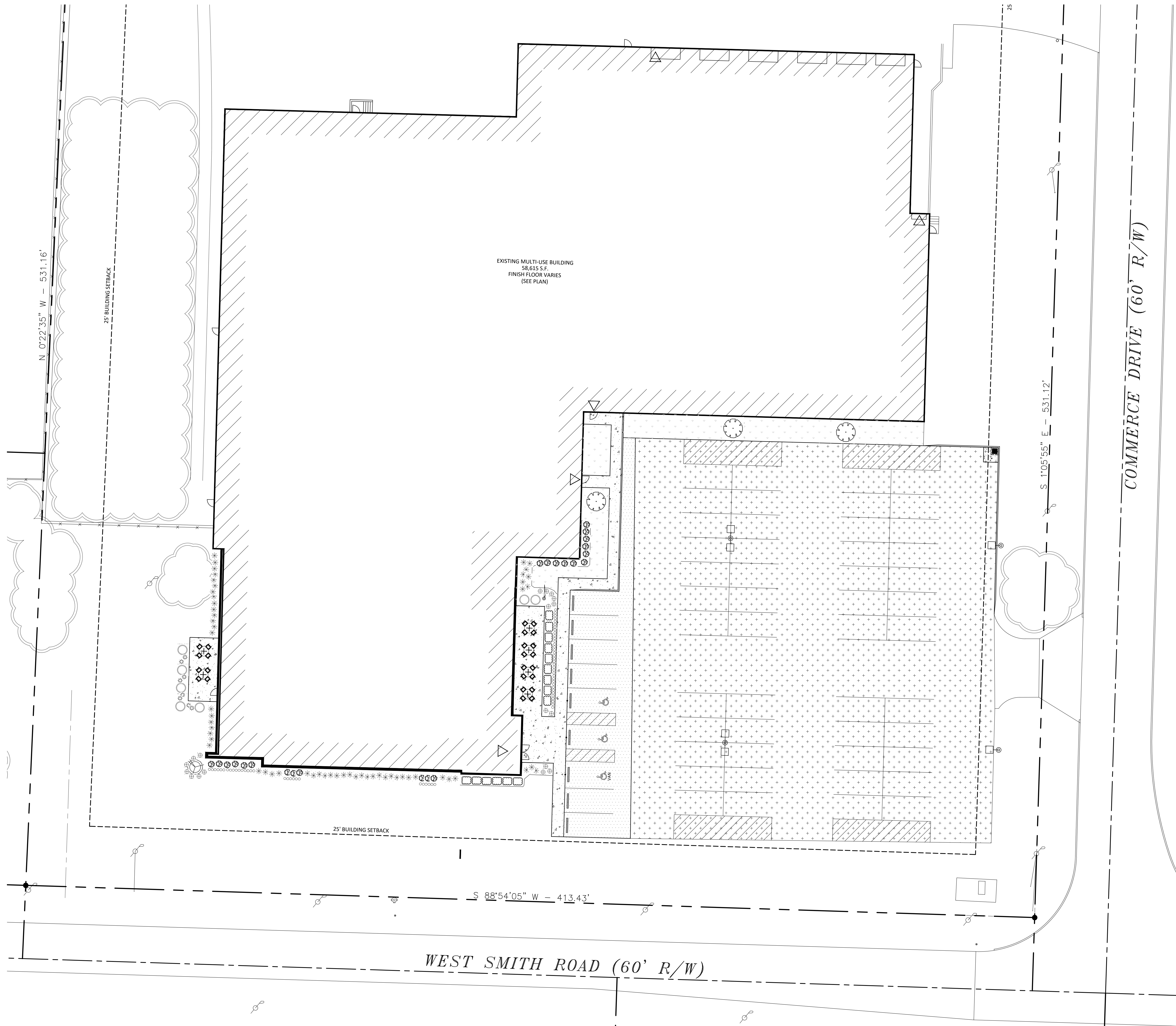
NO.	SHEET NAME	REV.
G1.1	TITLE SHEET	
C1.1	CIVIL SITE & UTILITY PLAN	
A0.1	OVERALL FLOOR PLAN	
A2.1	OFFICE ELEVATIONS	
SE-1	ELECTRICAL SITE PLAN	

**SANDRIDGE CRAFTED FOODS
CULINARY & MARKETING CENTER**
1055 WEST SMITH ROAD, MEDINA, OH 44256
TITLE SHEET

DRAWN BY: Designer
JOB NUMBER: 2024-131

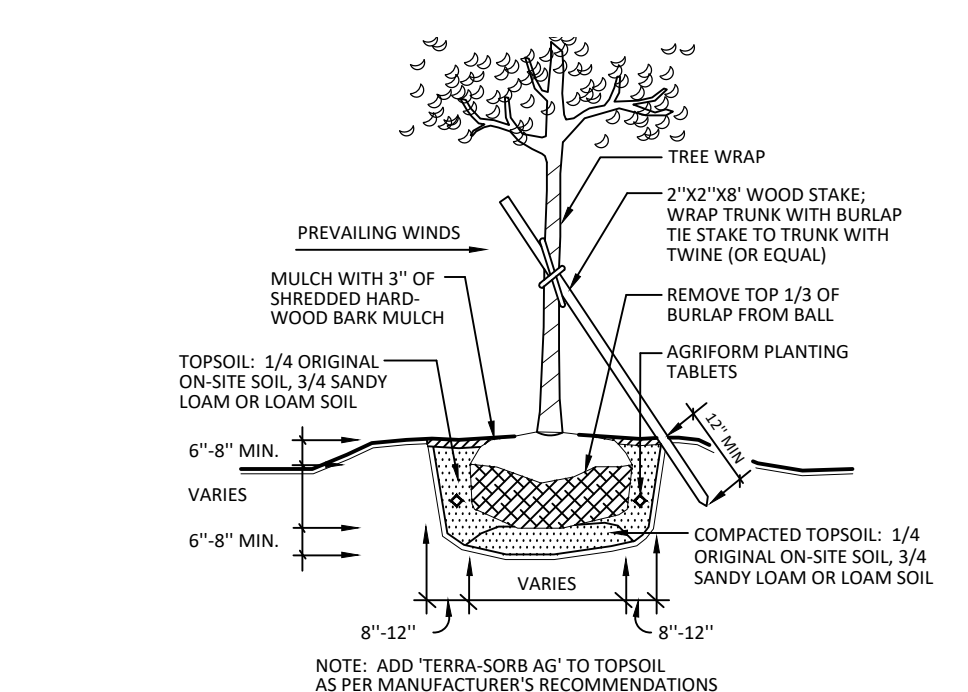
G1.1

ALL BIDDING AND CONTRACT DOCUMENTS PROVIDED OR FURNISHED BY JANOTTA & HENNER ARE AND SHALL REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF JANOTTA & HENNER, CONSTITUTE A VALUABLE TRADE SECRET OF JANOTTA & HENNER, AND ARE FURNISHED AS INSTRUMENTS IN SERVICE OF THE PROJECT. FURTHER USE, RE-USE, OR COPYING, IN WHOLE OR IN PART IS PROHIBITED AND COULD BE CONSIDERED AS A CRIMINAL OFFENSE.

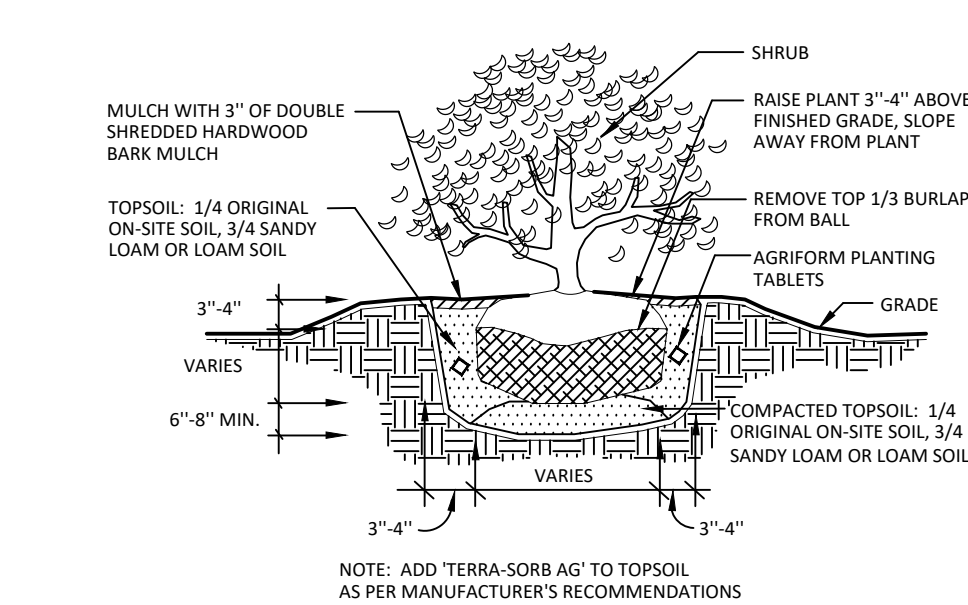


OVERALL PLANTING SCHEDULE			
SYMBOL	BOTANICAL NAME	COMMON NAME	REMARKS
WSB	BETULA POPULIFOLIA	WHITESPIRE BIRCH	ORNAMENTAL
BOX	BUXUS	BOX WOOD HEDGE	EVERGREEN
CSM	ACER PLATANOIDES	CRIMSON SENTRY MAPLE	DECIDUOUS
J	JUNIPERUS HORIZONTALIS	BLUE RUG JUNIPER	EVERGREEN
BB	EUONYMUS ALATUS	BURNING BUSH	ORNAMENTAL
GBS	PICEA PUNGENS 'GLOBE'	GLOBE BLUE SPRUCE	EVERGREEN
L	LIRIOPE	LILYTURFS	FLOWER
M	MISCANTHUS SINENSIS	MAIDEN GRASS	GRASS
R	ROSA 'KNOCK OUT'	KNOCK OUT ROSE	FLOWER

BLACK BARK MULCH PLANTING BEDS, TYPICAL
 TURF TYPE TALL FESCUE SEED - 6-8 LB. PER 1,000 S.F.
 PLANTING SCHEDULE REPRESENTS PRELIMINARY PLANT SPECIES
 FINAL COUNTS TO BE DETERMINED



TREE PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE

- GENERAL PLANTING SPECIFICATIONS:
- THESE DOCUMENTS ARE MEANT TO SERVE AS A GUIDE FOR CONSTRUCTION; MODIFICATIONS TO THE DESIGNS MAY BE REQUIRED TO ACCOMMODATE VARYING FIELD CONDITIONS OR MODIFIED PLANT ARRANGEMENTS.
 - QUALITY AND SIZES OF PLANTS TO MEET AMERICAN ASSOCIATION OF NURSERMEN STANDARDS.
 - JHI TO BE AUTHORITY FOR INTERPRETATION OF PLAN AND QUALITY OF WORK.
 - ALL SUBSTITUTIONS OF SIZES OR VARIETIES SUBJECT TO APPROVAL OF JHI.
 - IF QUANTITIES LISTED IN PLANT MATERIAL LIST DO NOT CORRELATE WITH PLANTINGS INDICATED ON PLAN, THE QUANTITIES INDICATED ON THE PLAN SHALL GOVERN.
 - CONTRACTOR SHALL CONSULT WITH ARCHITECT FOR ANY SPECIAL PLANTING REQUIREMENTS.
 - ALL WALL ELEVATIONS, FINISHED GRADES, AND DRAIN LINE ELEVATIONS TO BE FINALIZED IN THE FIELD WHERE APPLICABLE.
 - THE LANDSCAPE CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES AND/OR SPRINKLER SYSTEMS BEFORE INSTALLATION.
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL CLEAN-UP ASSOCIATED WITH HIS CONSTRUCTION PROCEDURE.
 - ALL NEW LAWN AREAS TO RECEIVE A MINIMUM 3" TOPSOIL; ALL NEW PLANTING AREAS TO RECEIVE A MINIMUM 6" TOPSOIL.
 - NEW PLANTING BED PREPARATION: LOOSEN EXISTING SOIL; ADD TOPSOIL IN SUFFICIENT QUANTITY TO RAISE BED 4-5" ABOVE FINISHED LAWN GRADE. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND AROUND OR AWAY FROM PLANTING BEDS TO PREVENT PONDING OF WATER. DO NOT RAISE BED GRADES, FINISHED GRADES, OR MULCH ABOVE FINISHED FLOOR ELEVATIONS.
 - USE SOIL MIXTURE IN ALL NEW PLANTING PITS. SOIL MIXTURE TO BE 1/4 ORIGINAL ON-SITE SOIL AND 3/4 SANDY LOAM OR LOAM SOIL AS DEFINED BY USDA SOIL CONSERVATION SERVICE. SOIL CLASSIFICATION SYSTEM - FREE FROM ADMIXTURE OF SUBSOIL, HEAVY CLAY, COARSE SAND, STONES, PLANTS, ROOTS, STICKS, AND ANY OTHER FOREIGN MATERIALS. 95% OF TOPSOIL SHALL PASS A 2.0 MIL SIEVE. ORGANIC CONTENT SHALL BE 4% TO 12% OF TOTAL DRY WEIGHT. ADD GRANULAR SOIL ADJUST TO TOPSOIL MIX. APPLIED PER MANUFACTURER'S RECOMMENDED RATES FOR THE SIZE AND TYPE OF PLANT MATERIAL SPECIFIED. IF NO IRRIGATION IS APPLIED.
 - IF THE QUALITY OR QUANTITY OF ON-SITE TOPSOIL STOCKPILED IS INSUFFICIENT TO COMPLETE WORK, PROVIDE IMPORTED TOPSOIL. OBTAIN RIGHTS AND PAY ALL COSTS FOR IMPORTED TOPSOIL MATERIAL.
 - PROCESSED TOPSOIL SHALL BE ACCEPTABLE TO ARCHITECT AND SOILS TESTING FIRM.
 - ALL NYLON ROPEING, TWINE, SHALL BE REMOVED, PRIOR TO PLANTING. ALL NON-TREATED BURLAP AND/OR NON-ROT PROOF BURLAP TO BE REMOVED FROM TOP HALF OF ROOTBALL. ALL TREATED BURLAP OR POLYPROPYLENE BURLAP TO BE COMPLETELY REMOVED FROM PLANTING PIT.
 - APPROPRIATE QUANTITIES OF 20-10-5 AGRIFORM SOLID FERTILIZER TABLETS (OR EQUAL) TO BE APPLIED TO ALL PLANTINGS.
 - LAWNING MIXTURE: LAWN SHALL BE 5 WAY BLEND PERENNIAL RYE GRASS, COMPOSED OF 20% MANHATTAN 3 PERENNIAL RYE, 20% AFFINITY PERENNIAL RYE, 20% MONTEREY PERENNIAL RYE, 20% CATALINA PERENNIAL RYE, 20% PENNANT 2 PERENNIAL RYE.
 - ALL AREAS TO BE LAWNED OR SODDED ARE TO BE FREE FROM WEEDS AND ROCKS 3/4" Ø OR LARGER. ALL LAWNED AREAS ARE TO BE COVERED WITH A 1.1/2" THICK NON-COMPACTED LAYER OF STRAW.
 - GRADING: THE OWNER WILL PROVIDE A FINISHED GRADE WITHIN 3" OF FINAL GRADE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL FINE GRADING RELATING TO HIS WORK (WHEN APPLICABLE).
 - ALL BEDS SHALL BE EDGED TO FORM A DEFINED, CUT EDGE.
 - RELAWN ALL DISTURBED AREAS WITH APPROPRIATE LAWN MIX.
 - MAINTAIN LAWNS THROUGH TWO CUTTINGS AND ASSUME FULL RESPONSIBILITY FOR A FULL AND HEALTHY GROWTH. RELAWN ALL BARE SPOTS.
 - ALL PLANT MATERIALS AND GROUNDCOVERS TO BE INSPECTED AND APPROVED BY JHI BEFORE FINAL ACCEPTANCE OF WORK.
 - CONTRACTORS SHALL WARRANTY ALL PLANT MATERIAL INSTALLED FOR A PERIOD OF ONE YEAR FROM TIME OF INSTALLATION. ANY PLANTS THAT ARE UNHEALTHY OR DEAD SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

LANDSCAPE PLAN
1/16" = 1'-0"

REVISIONS

Janotta & Henner
309 MONROE STREET MONROEVILLE, OHIO 44847 (419) 465-4611

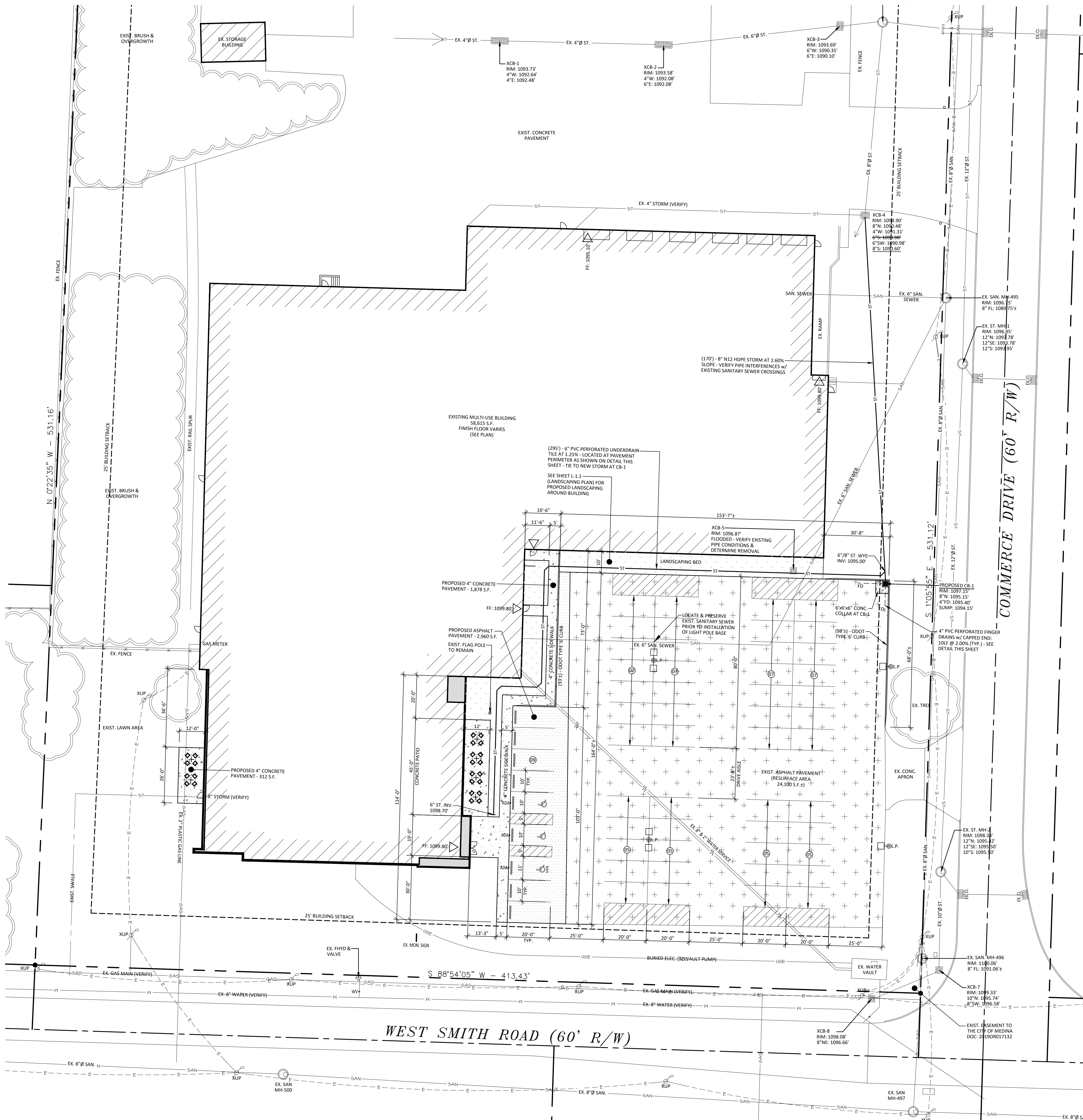
**SANDRIDGE CRAFTED FOODS
CULINARY & MARKETING CENTER**
1055 WEST SMITH ROAD, MEDINA, OH 44256
LANDSCAPE PLAN

DRAWN BY: PJW
JOB NUMBER: 2024-131

Ohio Utilities Protection Service
Call 811
before you dig

L1.1

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SITE & UTILITY PLAN
1" = 20'

SITE LEGEND

- SAN - SANITARY SEWER LINE
- ST - STORM SEWER LINE
- GS - GAS LINE
- W - WATER LINE
- UG - UNDERGROUND ELECTRICAL LINE
- OE - OVERHEAD ELECTRICAL LINE
- TO BE REMOVED
- CENTERLINE OF ROAD / STREET
- PROPERTY / RIGHT-OF-WAY LINE
- EXISTING BUILDING OUTLINE
- NEW BUILDING OUTLINE
- BUILDING SETBACK LINE
- NUMBER OF PARKING SPACES
- ACCESSIBLE EXIT
- CONCRETE PAVEMENT
- ASPHALT PAVEMENT RESURFACE AREA
- ASPHALT PAVEMENT
- LANDSCAPING AREA

ZONING DATA:

DISTRICT: I-1 (INDUSTRIAL DISTRICT) USE: OFFICE BUILDING
 TOTAL LOT AREA: 5.90 AC.
 DEVELOPED LOT AREA: 3.75 AC.
 PARKING/DRIVE AREA: 87,120 S.F.
 MIN. LOT SIZE: 21,780 S.F.
 MIN. FRONT YARD SETBACK: 25'
 MIN. SIDE YARD SETBACK: 25'
 MIN. REAR YARD SETBACK: 25'
 MAX. BUILDING HEIGHT: 40 SPACES
 PARKING REQ'D: 3 SPACES
 H.C. PARKING REQ'D: 3 SPACES
 PARKING PROVIDED: 57 SPACES

PAVING SPECIFICATIONS:

STANDARD DUTY ASPHALT PAVEMENT
 8" COMPACTED #304 STONE BASE
 1.5" 448, TYPE 2, ASPHALT BASE COURSE
 1.5" 448, TYPE 1, ASPHALT SURFACE COURSE

ASPHALT PAVEMENT RESURFACING
 GRIND, REMOVE, AND REPLACE TOP 1.5" OF EXISTING ASPHALT PAVEMENT
 APPLY BINDER & RE-STRIPE PER PLAN.

ALL ASPHALT PAVEMENTS SHALL USE A TACK COAT LAYER TO BE APPLIED AT A RATE OF 0.04-0.06 GAL/SY FOR NEW ASPHALT. FOR ASPHALT OVERLAYS APPLY A TACK COAT LAYER AT A RATE OF 0.06-0.09 GAL/SY. IF A DILUTED TACK COAT IS USED, THE APPLICATION RATE SHALL BE TWICE THE PREVIOUS RATES. TACK COAT SHALL CONFORM TO ODOT 407.

CONCRETE SIDEWALK
 4" CONCRETE W/ 6#6-W1.4-W1.4 W.W.M.
 CONTROL JOINTS @ 5'-0" C/C

ALL EXTERIOR CONCRETE SHALL BE ODOT CLASS C, 4000 PSI MIN. COMPRESSIVE STRENGTH, MIN. 600 LB/CY CEMENT CONTENT, MAX. .50 W/C, 6% AIR ENTRAINMENT, AND MAX. 4 1/2" SLUMP.

CITY OF MEDINA - GENERAL NOTES FOR CONSTRUCTION

- ALL CONTRACTORS COMPLETING WORK WITHIN THE CITY OF MEDINA MUST BE REGISTERED WITH THE CITY. PLEASE CONTACT THE CITY OF MEDINA BUILDING DEPARTMENT AT (530) 722-9030 FOR DETAILS ON THE REGISTRATION PROCESS.
- THE CONTRACTOR MUST PROVIDE THE CITY ENGINEER WITH A MINIMUM OF FORTY EIGHT (48) HOUR NOTICE OF ANY CONFLICTS. CONSTRUCTION OF THIS PROJECT MAY HAVE WITH THE TRAFFIC FLOW ON LAFAYETTE ROAD OR RYAN ROAD.
- ALL WORK WITHIN THE RIGHT-OF-WAY AND EASEMENT AREAS MUST BE INSPECTED BY THE CITY OF MEDINA ENGINEERING DEPARTMENT. CONTACT THE CITY ENGINEER AT (530) 723-3846 TO SCHEDULE INSPECTIONS.

SITE UTILITY SPECS:

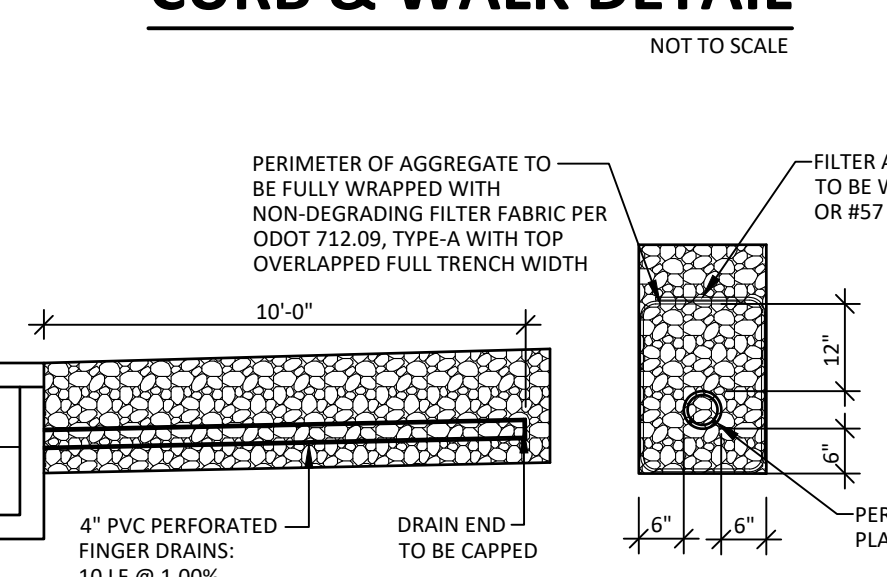
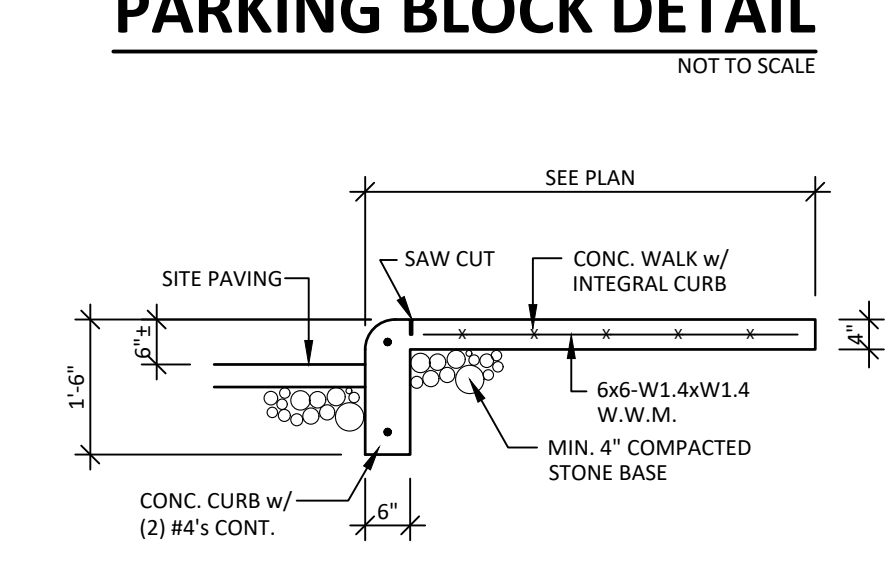
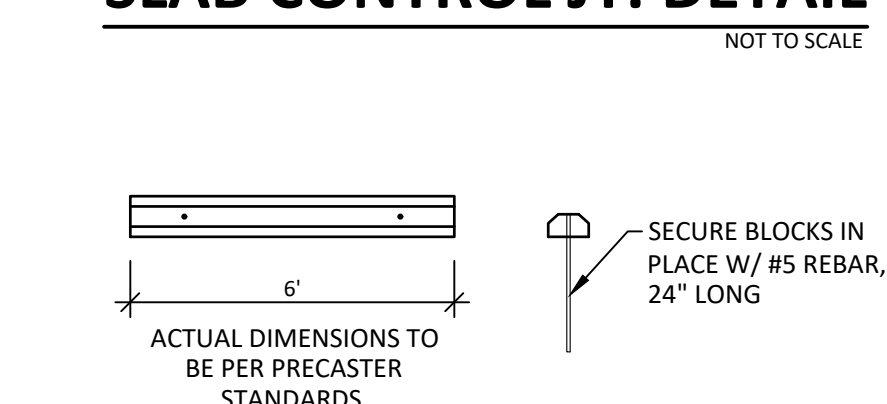
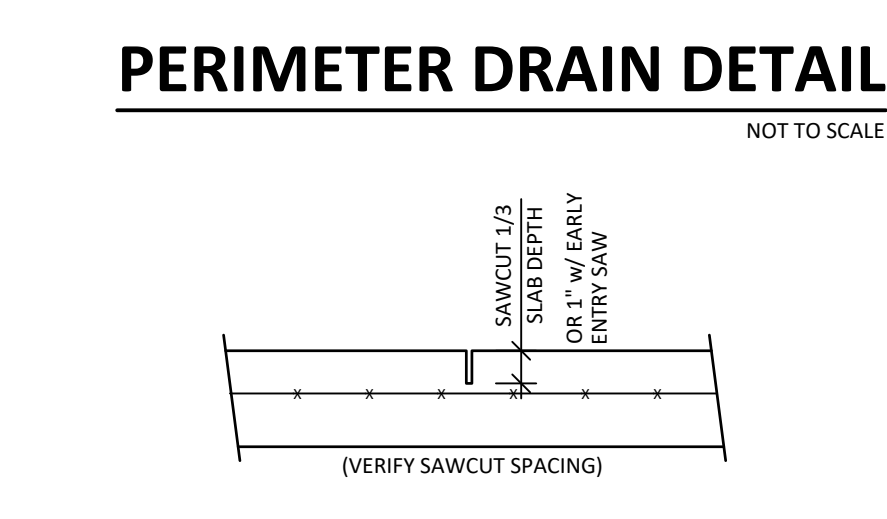
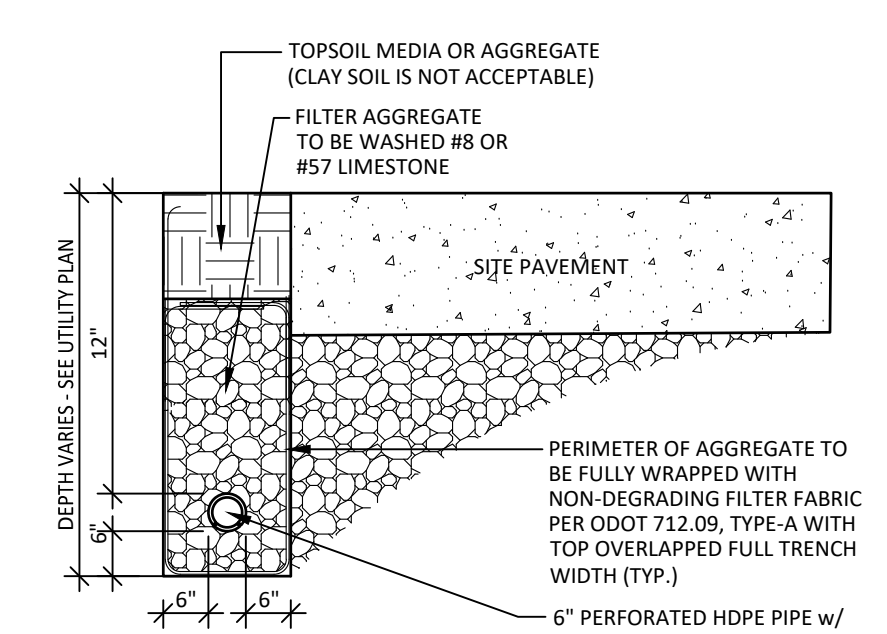
STORM SEWERS

A. MATERIALS

- STORM SEWER LINES OUTSIDE THE BUILDING LIMITS SHALL BE GASKETED SDR 35 PVC CONFORMING TO ASTM 3034 AND D3212 OR CORRUGATED HIGH DENSITY POLYETHYLENE CONFORMING TO ASTM 2368 WITH SMOOTH INTERIOR AND STANDARD FITTINGS. HOPE PIPE SHALL BE ADS N-12 OR APPROVED EQUAL. PIPE MATERIAL SHALL BE AS NOTED ON THE DRAWINGS.
- REINFORCED CONCRETE PIPE IF REQUIRED BY THE LOCAL JURISDICTION FOR CULVERTS OR OUTLETS SHALL COMPLY WITH ODOT 700.02.
- MANHOLES AND CATCH BASINS SHALL CONFORM TO ASTM C478 WITH MASTIC JOINTS CONFORMING TO ASTM C990.
- CASTINGS, COVERS AND GRATES SHALL BE GRAY IRON CONFORMING TO ASTM-A-48 CLASS 35B, HEAVY DUTY, TRAFFIC RATED.

B. INSTALLATION

- FURNISH ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED FOR A COMPLETE, TESTED AND APPROVED STORM SEWER AS SHOWN AND NOTED ON THE DRAWINGS.
- ACCURATELY LOCATE ALL EXISTING UNDERGROUND UTILITIES IN THE WORK AREA, CONFIRM ROUTING, AND ACCURATELY LAYOUT THE WORK PRIOR TO CONSTRUCTION START.
- ALL UTILITY TRENCHES SHALL BE BACKFILLED AND COMPACTED IN MAXIMUM 10" LIFTS. PREMIUM BACKFILL, ODOT 304, IS REQUIRED UNDER PAVEMENT AREAS AND WITHIN THE ZONE OF INFLUENCE OF ADJACENT TRAFFIC AREAS. OTHER AREAS MAY BE BACKFILLED WITH PROPERLY COMPACTED, APPROVED SOIL MATERIAL. ALL PIPE SHALL BE BEDDED WITH NO. 8 LIMESTONE OR SAND BACKFILL, PROPERLY COMPACTED, 6" BELOW AND 12" ABOVE THE PIPE IN ACCORDANCE WITH THE STANDARD DETAILS.
- STORM LINES SHALL BE BURIED 24" MINIMUM FROM TOP OF PIPE TO FINISH GRADE AND A MINIMUM OF 12" FROM TOP OF PIPE TO BOTTOM OF PAVEMENT SUB-BASE.
- MAINTAIN AT LEAST A 10' HORIZONTAL AND 18" VERTICAL SEPARATION FROM ANY WATER LINE.
- STORM SEWERS SHALL BE INSPECTED AND TESTED IN ACCORDANCE WITH LOCAL REQUIREMENTS.



STORM STRUCTURE TABLE

ID #	NEW/EXIST.	T/CASTING (RIM)	INV.	PIPE	REMARKS
CB-1	NEW	1097.15'	1095.15' (N) 1095.40' (S,W)	8" 4"FD	ODOT 2-2B CATCH BASIN w/ E/W 5250 FRAME & GRATE (NO KNOCKOUTS)

*ALL PROPOSED CATCH BASINS SHALL HAVE A (1'-0") MINIMUM DEEP SLUMP CAST BELOW THE LOWEST PIPE INVERT (TYP.)
 **SHOP DRAWINGS FOR ALL STRUCTURES SHALL BE SUBMITTED TO JH FOR REVIEW AND APPROVAL PRIOR TO PRODUCTION.

REVISIONS

09/12/24	CONCEPT
10/15/24	REVISION

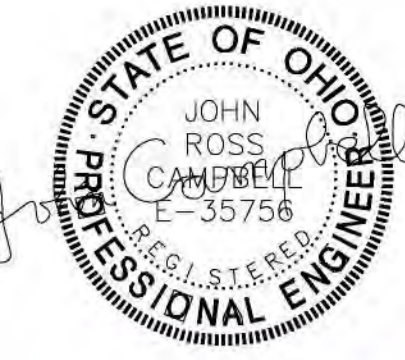
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SANDRIDGE FOODS
1055 WEST SMITH ROAD, MEDINA, OH 44256

SITE & UTILITY PLAN

DRAWN BY: JDB
JOB NUMBER: 2024-131

Ohio Utilities Protection Service
Call 811 before you dig
C1.1
ARCH full bleed E1 (30.00 x 42.00 Inches)



REVISIONS

10-15-24 PRELIMINARY

Janotta & Herner

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**SANDRIDGE CRAFTED FOODS
CULINARY & MARKETING CENTER**

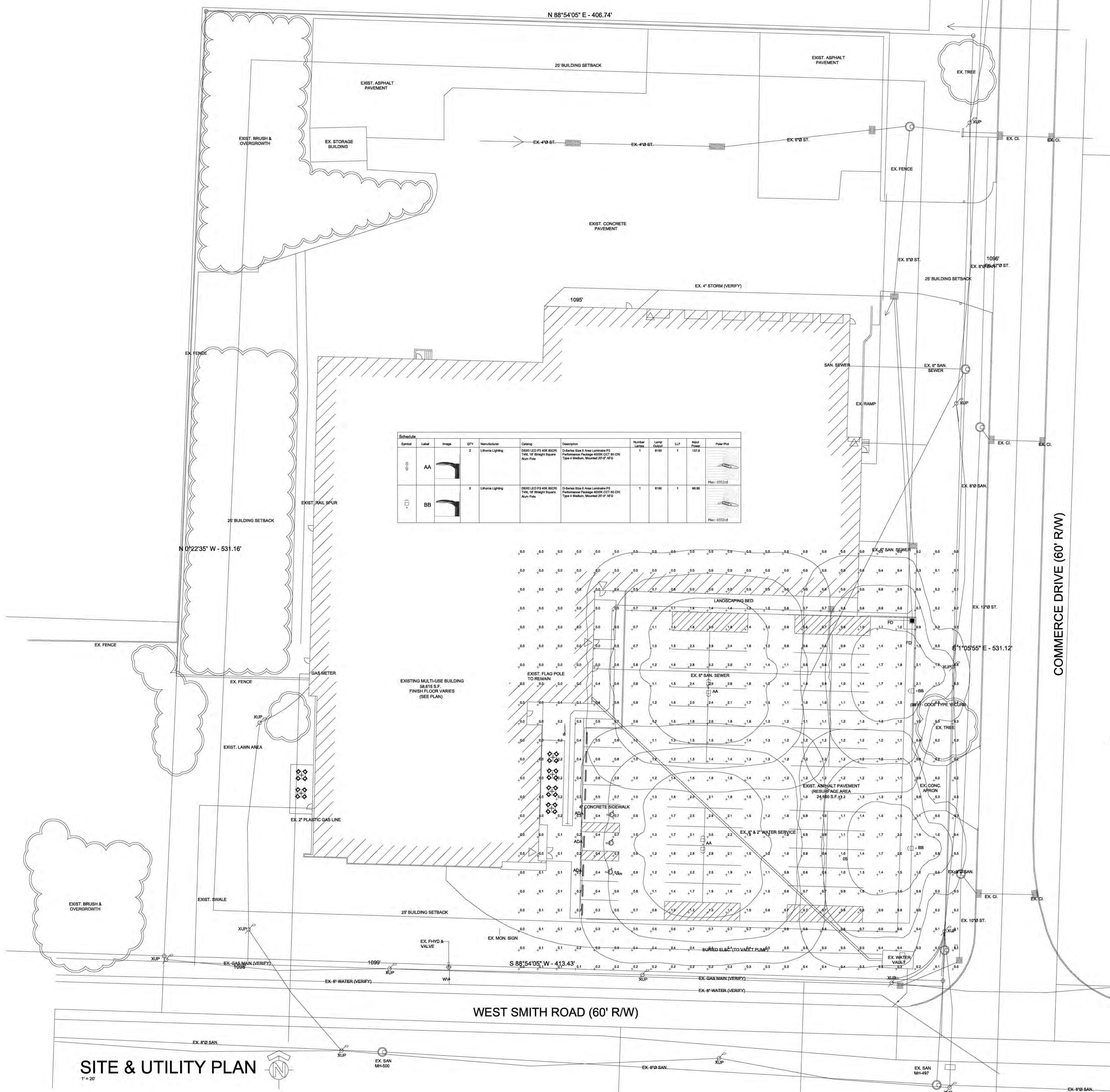
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ELECTRICAL SITE PLAN

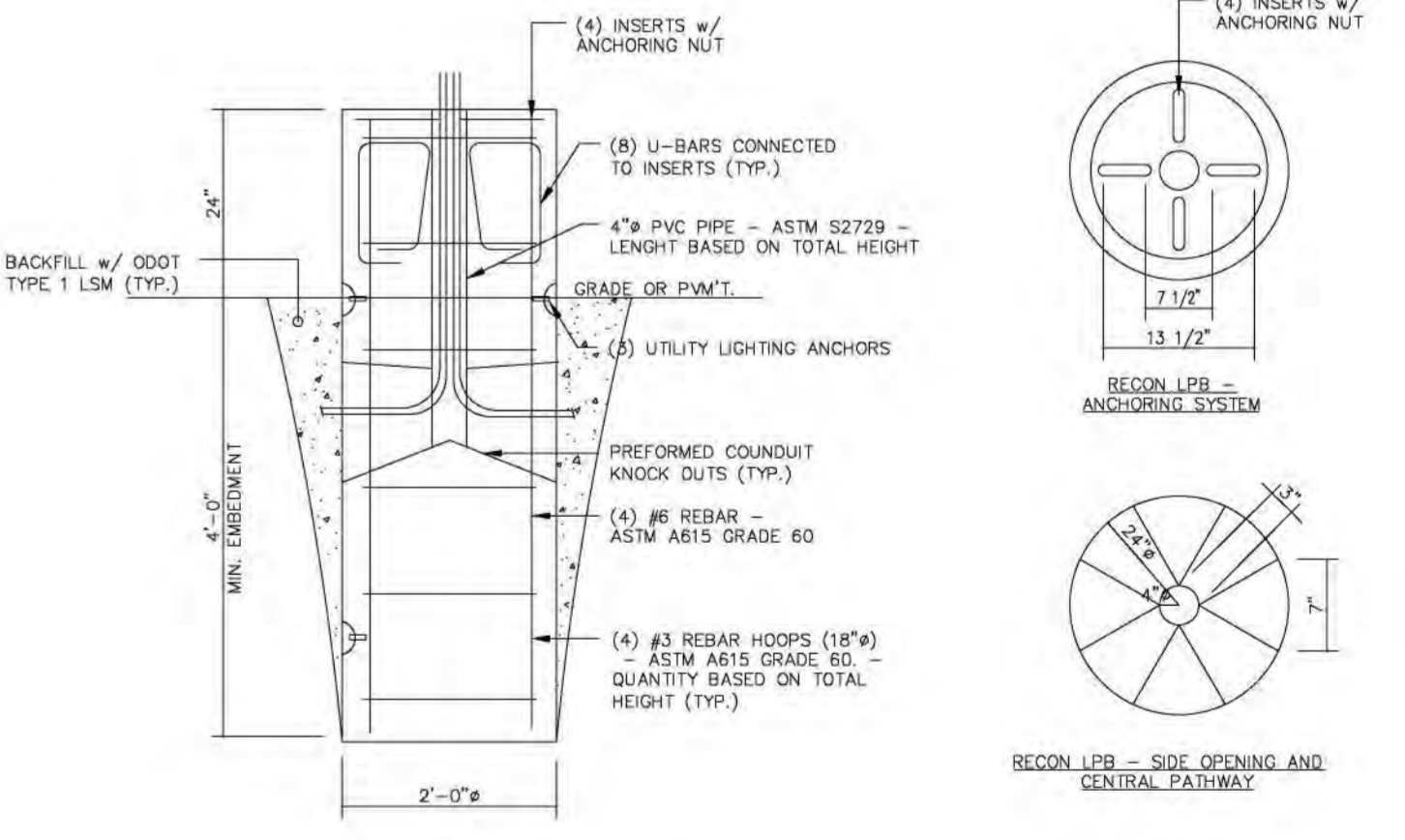
DRAWN BY: JOB
JOB NUMBER: 2024-131

SE-1

ARCH E (30.00 x 42.00 Inches)



Schedule	Symbol	Label	Image	QTY	Manufacturer	Coloring	Description	Number	Lotus	ULP	Notes
69-D	AA			2	Lithonia Lighting	02001 LED P3 40K 80CRI TALL, 18 Straight Square Alum Pole	D-Series Street Area Luminaire P3 Performance Package 4000K CCT 80 CRI Type 4 Medium, Mounted 20'-0" AFD	1	8190	1	66.85 Max: 6552nd
7-D	BB			2	Lithonia Lighting	02001 LED P3 40K 80CRI TALL, 18 Straight Square Alum Pole	D-Series Street Area Luminaire P3 Performance Package 4000K CCT 80 CRI Type 4 Medium, Mounted 20'-0" AFD	1	8190	1	66.85 Max: 6552nd

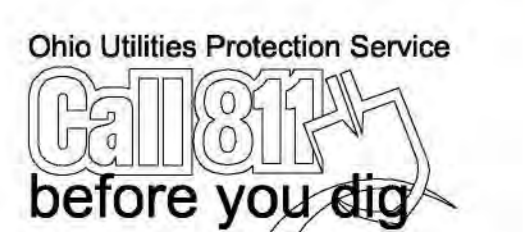


RECON PRECAST LIGHT POLE BASE DETAIL
NOT TO SCALE

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	0.8 fc	3.5 fc	0.0 fc	N/A	N/A

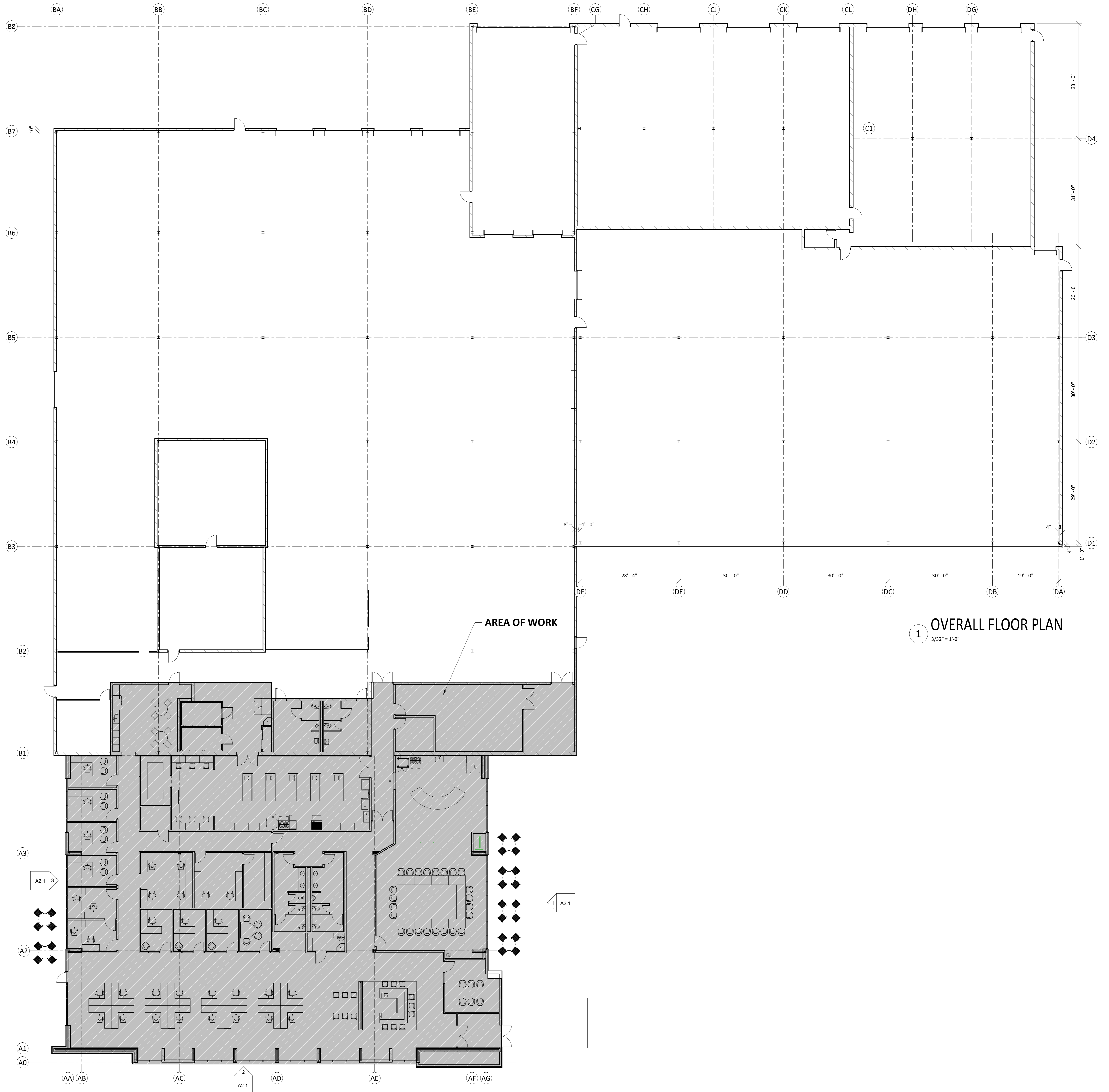
SITE & UTILITY PLAN

1" = 20'



NOT FOR CONSTRUCTION

REVISIONS



1 OVERALL FLOOR PLAN
3/32" = 1'-0"

Janotta & Herner

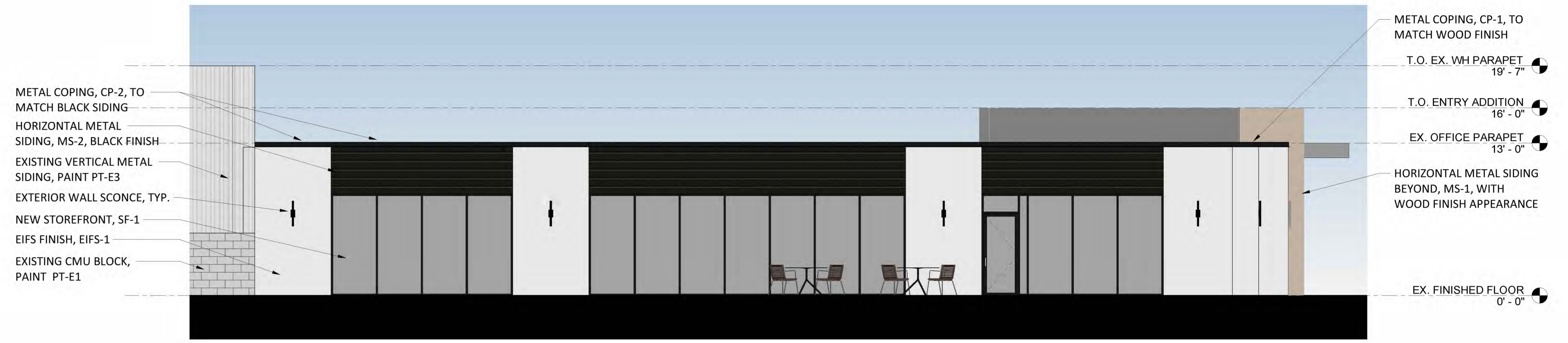
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**SANDRIDGE CRAFTED FOODS
CULINARY & MARKETING CENTER**
1055 WEST SMITH ROAD, MEDINA, OH 44256
OVERALL FLOOR PLAN

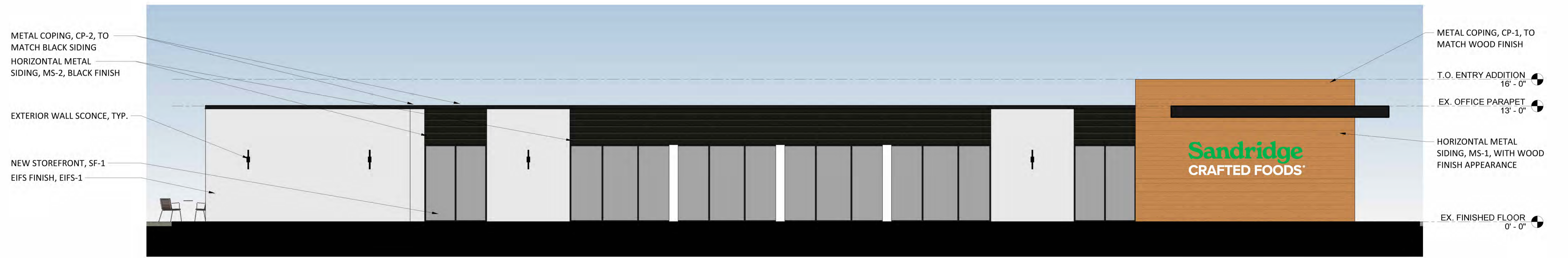
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JOB NUMBER: 2024-131

A0.1

ARCH E (30.00 x 42.00 Inches)

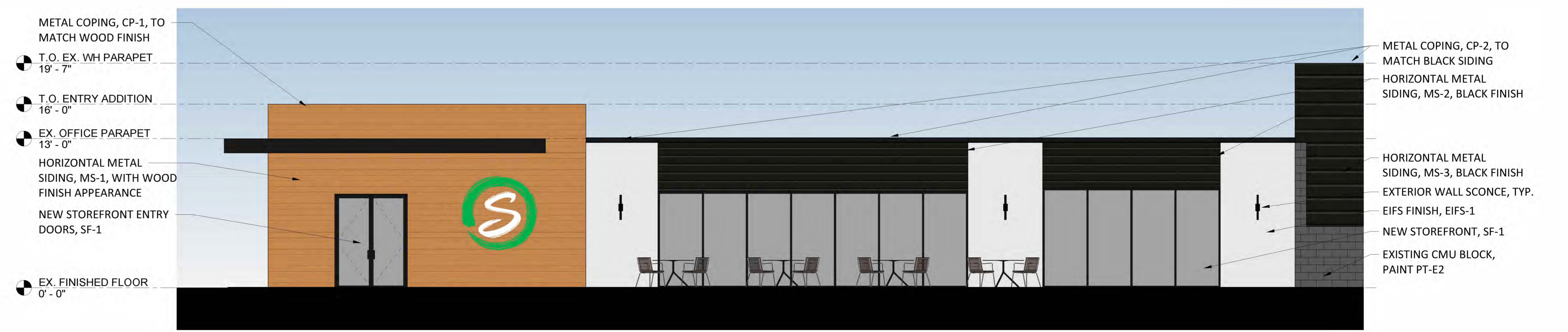


3 WEST ELEVATION
3/16" = 1'-0"



2 SOUTH ELEVATION
3/16" = 1'-0"

EXTERIOR MATERIAL SCHEDULE				
Abbr.	Material	Manufacturer	Line	Color
CP-1	Metal Coping	TBD	Drip Edge only	Match MS-1 Siding
CP-2	Metal Coping	TBD	4" Height	Match MS-2&3 Siding
EIFS-1	Ext. Insul. Finish System	Dryvit	Sandblast Finish	628 White Haze
MS-1	Metal Siding	MAC Metal Architecture	Norwood	Torrified
MS-2	Metal Siding	TitanTek	VariPanel HVP-2	Matte Black
MS-3	Metal Siding	TitanTek	VariPanel HVP-1	Matte Black
PT-E1	Paint	Sherwin-Williams	Emerald Exterior Acrylic Latex Paint	SW7632 Modern Gray
PT-E2	Paint	Sherwin-Williams	Emerald Exterior Acrylic Latex Paint	SW 7068 Grizzle Gray
PT-E3	Paint	Sherwin-Williams	Emerald Exterior Acrylic Latex Paint	SW7632 Modern Gray
SF-1	Metal Storefront	TBD	TBD	Black



1 EAST ELEVATION
3/16" = 1'-0"

Janotta & Herner

309 MONROE STREET MONROEVILLE, OH 44847 (419) 465-4611

**SANDRIDGE CRAFTED FOODS
CULINARY & MARKETING CENTER**
1055 WEST SMITH ROAD, MEDINA, OH 44256
OFFICE ELEVATIONS

DRAWN BY: Designer
JOB NUMBER: 2024-131

A2.1



Sandridge
CRAFTED FOODS



Sandridge
CRAFTED FOODS