



# BOARDS & COMMISSIONS APPLICATION

132 North Elmwood Avenue  
Phone: 330-722-9023  
Fax: 330-722-9045  
www.medinaoh.org

**Application Number** 222-10

<b>GENERAL</b>	Date of Application <u>4/21/2022</u> Property Location <u>North Huntington Street with parcel numbers 02819A16042 and 02819A17005</u> Description of Project <u>Site Plan and Conditional Zoning Certificate approval to allow dog park areas, a future activity area, and parking lot expansion</u>
<b>CONTACT INFORMATION</b>	<b>Applicant</b> Name <u>Jansen Wehrley</u> Address <u>855 Weymouth Rd.</u> City <u>Medina</u> State <u>OH</u> Zip <u>44256</u> Phone <u>(330) 721-6921</u> Email <u>jwehrley@medinaoh.org</u> <b>Property Owner</b> Name <u>City of Medina</u> Address <u>132 N. Elmwood Ave.</u> City <u>Medina</u> State <u>OH</u> Zip <u>44256</u> Phone <u>(330) 725-8861</u> Email _____
<b>APPLICATION TYPE</b>	<b>Planning Commission</b> Site Plan <input checked="" type="checkbox"/> Conditional Zoning Certificate <input checked="" type="checkbox"/> Code or Map Amendment <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Conditional Sign (EMC/Shopping Ctr) <input type="checkbox"/> Cert. of Appr. (TCOV) <input type="checkbox"/> Other <input type="checkbox"/> <b>Historic Preservation Board</b> Certificate of Appropriateness <input type="checkbox"/> Conditional Sign <input type="checkbox"/> <b>Board of Zoning Appeals</b> Variance <input checked="" type="checkbox"/> Appeal <input type="checkbox"/>
<b>APPLICANT SIGNATURE</b>	<p style="text-align: center;"><i>By signing this application, I hereby certify that: (1) The information contained in this application is true and accurate to the best of my knowledge, (2) I am authorized to make this application as the property owner of record or I have been authorized to make this application by the property owner of record, (3) I assume sole responsibility for correspondence regarding this application, and (4) I am aware that all application requirements must be submitted prior to the formal acceptance of my application.</i></p> Signature <u>Jansen Wehrley</u> Date <u>4/21/2022</u>
<b>OFFICIAL USE</b>	Meeting Date <u>5/12/22</u> Fee (See Fee Sheet) \$ _____ Meeting Outcome _____ Check Box when Fee Paid <input type="checkbox"/> Zoning District <u>O-C</u>

## Z22-10 Ray Mellert Park Setbacks

Property Owner: The City of Medina  
Applicant: Jansen Wehrley  
Location: North Huntington Street with parcel numbers 02819A16042 and 02819A17005  
Zoning: O-C (Open Space Conservation)  
Request: Area Variance to Section 1153.04(a)(1) to allow an activity area within a required setback

### **LOCATION AND SURROUNDING USES**

The subject site is composed of 15.5 acres located between North Huntington Street and Foundry Street. Adjacent properties contain the following uses and zoning:

- North – Nursing Home (R-2) and Multi-Family Residential (R-3)
- South – Single and Multi-Family Residential and Church (R-3)
- East – Single-Family Residential (R-3)
- West – Single-Family Residential (R-3) and Commercial Recreation and Vacant (I-1)



### **BACKGROUND & PROPOSED APPLICATION**

The site is home to Ray Mellert Park which contains two baseball diamonds, two basketball courts, walking paths, a playground, a splash pad, restrooms, a pavilion, and two parking lots.

The current proposal is to expand outdoor recreational options at the park by adding three separate dog park areas, one for small dogs and two for large dogs. The dog park areas will be separately fenced and accessed from an existing walking path. In addition, the existing parking lot off of North Huntington Street is proposed to be expanded to the north. The expansion would increase the parking lot from 15 spaces to 37 spaces.

Long-term plans for the park also include a possible future activity area to the west of the parking lot expansion.

### **ACTIVITY AREA SETBACK REQUIREMENTS**

Section 1153.04(a)(1) includes Conditional Zoning Certificate requirements applicable to public parks in the O-C zoning district. The section states that all structures and activity areas should be located at least 100 ft. from all property lines. The proposed plan includes three fenced dog park areas and a future activity area within the 100 ft. setback. The proposed small dog area is approximately 6 ft. from the north property line and an existing tree line will be maintained.

As the section states **should** rather than **shall**, therefore the Planning Commission has the discretion to apply or waive the requirement. If the Planning Commission elects to waive the requirement, the **Board of Zoning Appeals will not need to hear this variance request.**

### **STANDARDS FOR VARIANCES AND APPEALS (SECTION 1107.08(i))**

Factors applicable to area or size-type variances ("practical difficulty"). The applicant shall show by a preponderance of the evidence that the variance is justified, as determined by the Board. The Board shall weigh the following factors to determine whether a practical difficulty exists and an area or size-type variance should be granted:

- A. Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance;
- B. Whether the variance is substantial;
- C. Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer substantial detriment as a result of the variance;
- D. Whether the variance would adversely affect the delivery of governmental services (e.g., water, sewer, garbage);
- E. Whether the property owner purchased the property with knowledge of the zoning restrictions;
- F. Whether the property owner's predicament feasibly can be obviated through some method other than a variance; and/or
- G. Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting a variance.

*The site is a park without a financial return, however, the variance is necessary to reasonably use the property. The provided map indicates the restrictiveness of the regulation, which is exacerbated by the shape of the park.*

*Impacts from dog areas and activity areas will not have negative effects on the area. Activities at Ray Mellert Park have been a benefit to the area for decades without issues from the available park activities. To note, tennis courts were previously situated at the subject location approximately 20 years ago.*

*The subject park, and all parks in the City of Medina, have outdoor activity areas within 100 ft. of property lines. The application would therefore be consistent with the location of activity areas within City of Medina Parks.*

**FACTORS APPLICABLE TO AREA OR SIZE-TYPE VARIANCES ("PRACTICAL DIFFICULTY")**

The applicant shall show by a preponderance of the evidence that the variance is justified, as determined by the Board. The Board shall weigh the following factors to determine whether a practical difficulty exists and an area or size-type variance should be granted:

A. Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance;

The site's usability as a park would be severely limited if the applicable setback is applied. More than half of the land of the park located within the applied setback as shown on the attached map.

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B. Whether the variance is substantial;

The variance is substantial as the code section is extremely restrictive and would be a detriment to the park, if applied.

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C. Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer substantial detriment as a result of the variance;

The essential character of the neighborhood will not be altered and there will be no detriment to adjoining properties. The site is already used as a park with a number of outdoor uses. In addition, dog areas will be fenced and existing buffering will remain.

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D. Whether the variance would adversely affect the delivery of governmental services (e.g., water, sewer, garbage);

The variance will not adversely affect the delivery of governmental services, however, it will improve government services by providing additional outdoor activity opportunities.

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E. Whether the property owner purchased the property with knowledge of the zoning restrictions;

The property has been utilized as a public park for decades under public ownership. At the time of the park's establishment, the current regulation was likely not in effect.

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F. Whether the property owner's predicament feasibly can be obviated through some method other than a variance; and/or

The subject variance is necessary to reasonably use the park.

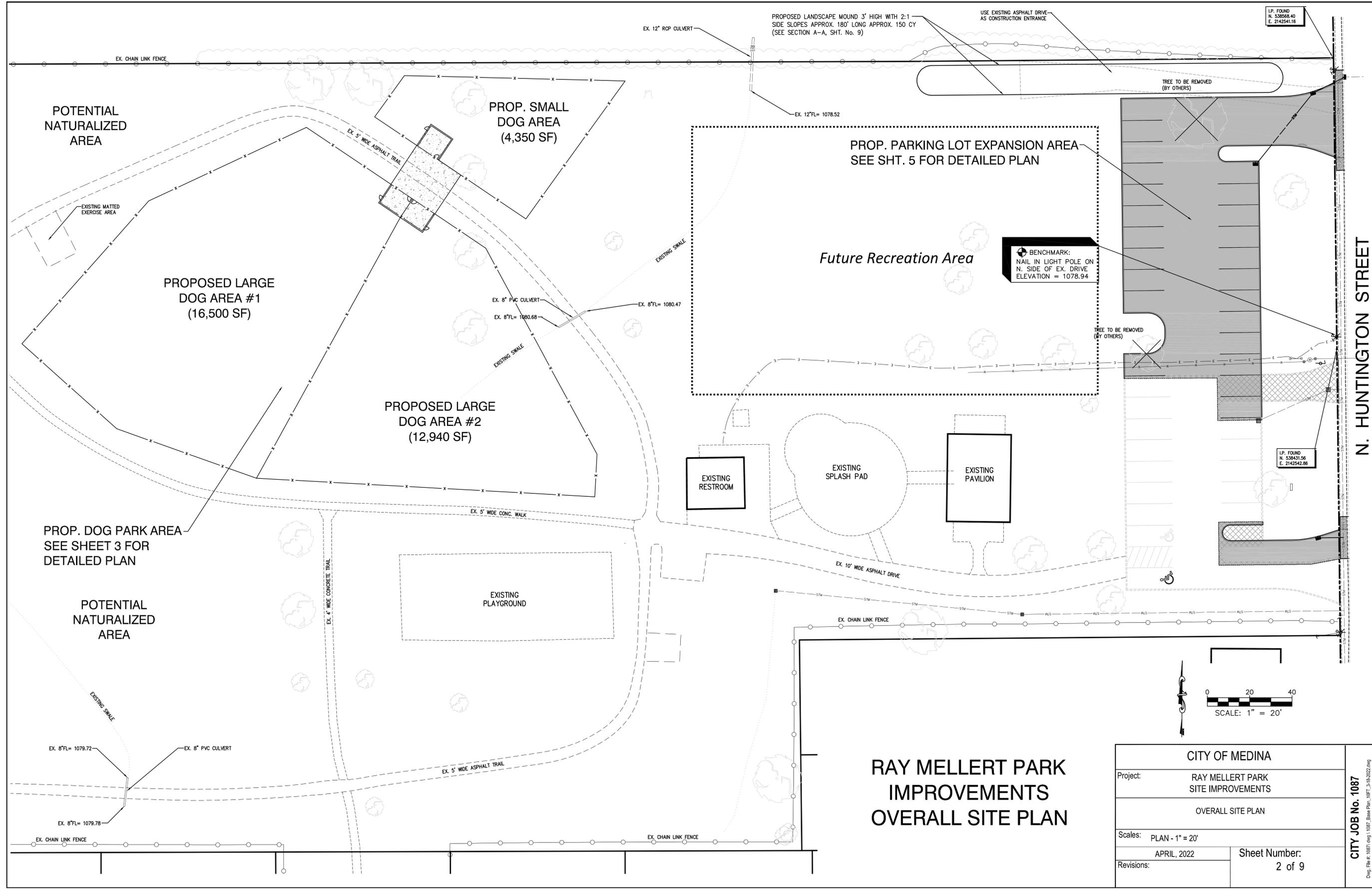
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G. Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting a variance.

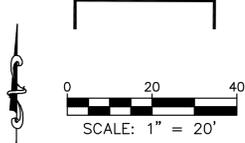
The spirit and intent of the requirement will be observed as the proposed dog areas and future activity area will not have adverse effects on the area.

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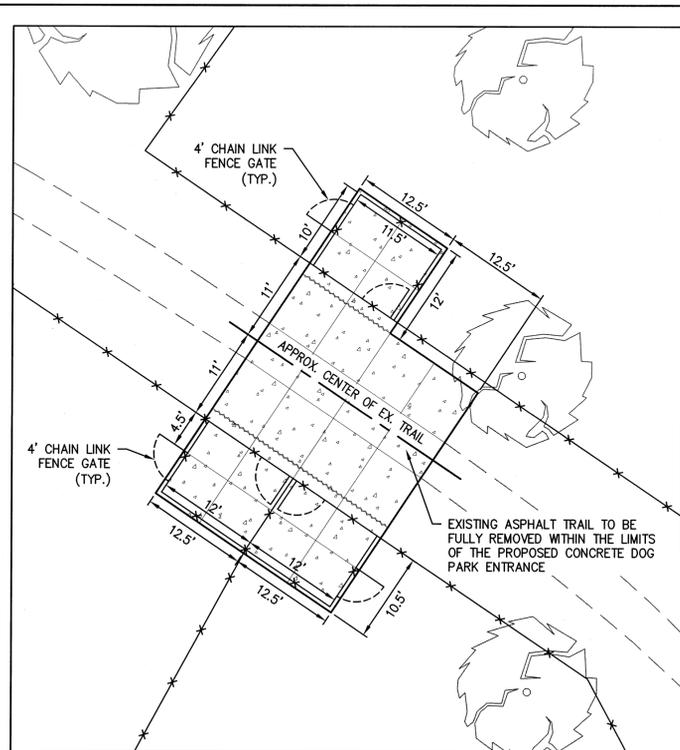
# RAY MELLERT PARK IMPROVEMENTS OVERALL SITE PLAN



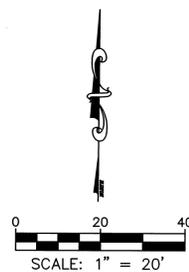
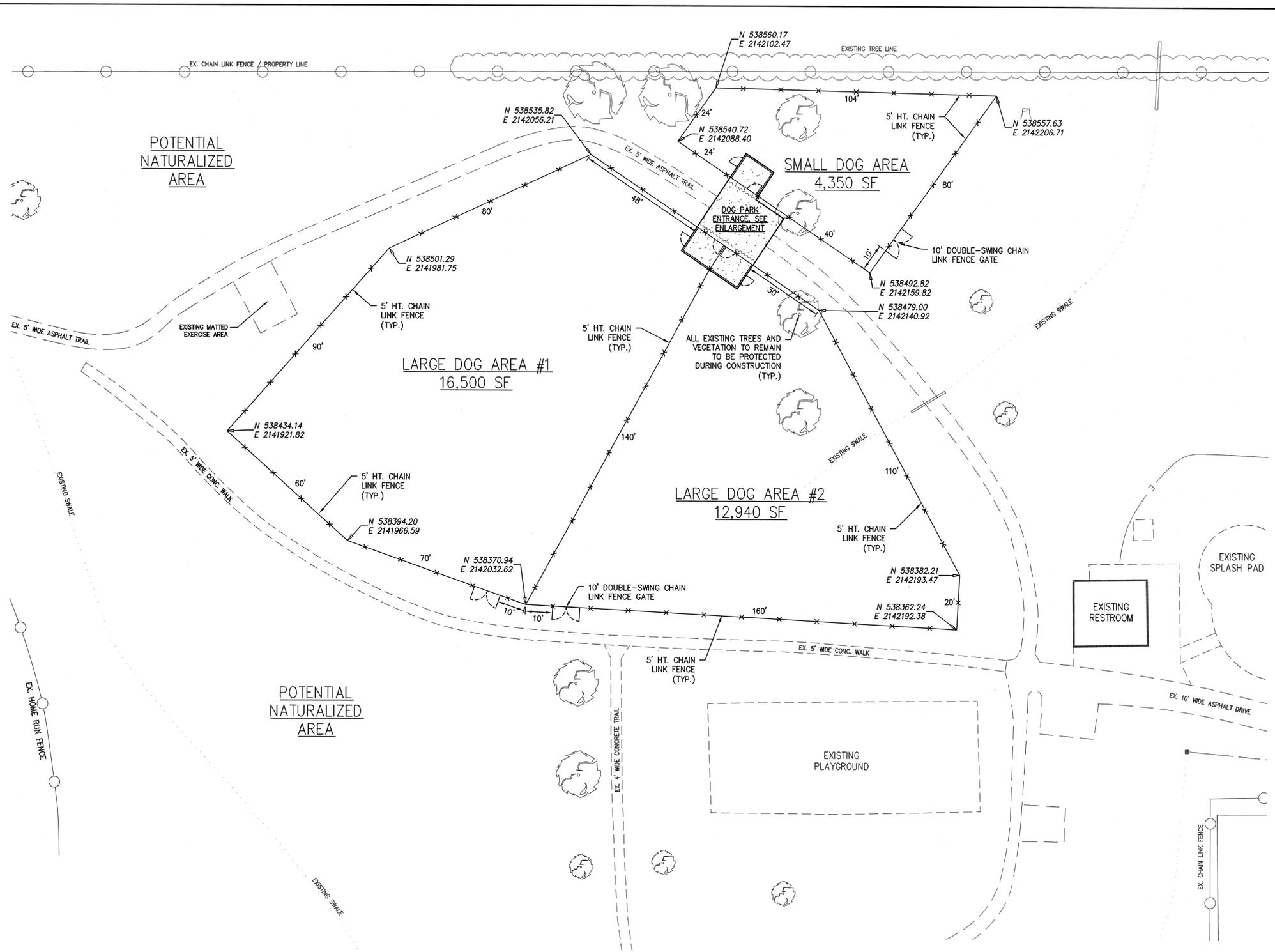
CITY OF MEDINA	
Project:	RAY MELLERT PARK SITE IMPROVEMENTS
OVERALL SITE PLAN	
Scales:	PLAN - 1" = 20'
Revisions:	APRIL, 2022
Sheet Number: 2 of 9	

CITY JOB NO. 1087  
 Dwg. File #: 1087.dwg | 1087\_Site Plan\_1087\_3-15-2022.dwg

N. HUNTINGTON STREET



**DOG PARK ENTRANCE ENLARGEMENT**  
SCALE: 1" = 5'



# RAY MELLERT PARK IMPROVEMENTS DOG PARK SITE PLAN

## LEGEND

- STANDARD DUTY CONCRETE
- CONTROL JOINT EXPANSION JOINT
- CHAIN LINK FENCE

## DOG PARK LAYOUT PLAN NOTES

1. UNLESS OTHERWISE SHOWN, ALL COORDINATE POINTS ARE GIVEN FROM THE CENTER POINT OF SITE ELEMENTS AND STRUCTURES.
2. DO NOT SCALE FROM THE DRAWING. ALL WRITTEN DIMENSIONS SHALL GOVERN. ALL ANGLES ARE 90 DEGREES UNLESS NOTED OTHERWISE.
3. CONTRACTOR IS RESPONSIBLE TO MAINTAIN EXISTING SITE CONTROLS AND SET NEW AS NEEDED.
4. PRECISE LAYOUT SHALL BE DETERMINED BY A REGISTERED PROFESSIONAL SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
5. CONSTRUCTION NOTES AND TYPICALS MAY APPEAR ONLY ONCE ON THE DRAWING BUT APPLY TO ALL SIMILAR CONDITIONS.
6. CONTRACTOR SHALL REPAIR OR REPLACE ALL PAVEMENT, UTILITIES AND LAWN/LANDSCAPE AREAS THAT ARE TO REMAIN THAT ARE DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER.

<b>CITY OF MEDINA</b>	
Project:	RAY MELLERT PARK SITE IMPROVEMENTS
DOG PARK SITE PLAN	
Scales:	PLAN - 1" = 20'
Revisions:	APRIL, 2022
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CITY JOB NO. 1087



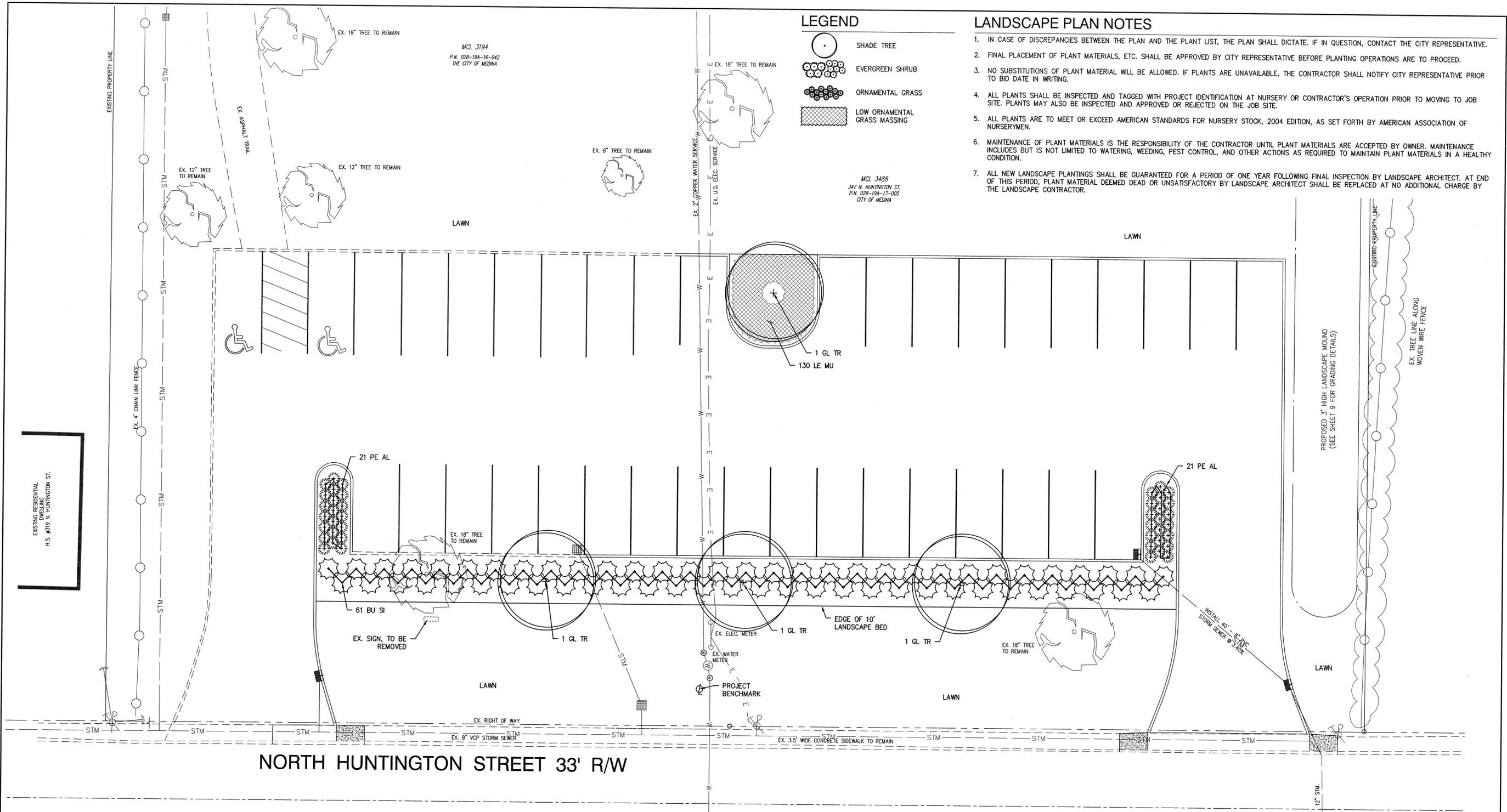


**LEGEND**

-  SHADE TREE
-  EVERGREEN SHRUB
-  ORNAMENTAL GRASS
-  LOW ORNAMENTAL GRASS MASSING

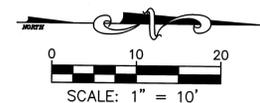
**LANDSCAPE PLAN NOTES**

1. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE. IF IN QUESTION, CONTACT THE CITY REPRESENTATIVE.
2. FINAL PLACEMENT OF PLANT MATERIALS, ETC. SHALL BE APPROVED BY CITY REPRESENTATIVE BEFORE PLANTING OPERATIONS ARE TO PROCEED.
3. NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE ALLOWED. IF PLANTS ARE UNAVAILABLE, THE CONTRACTOR SHALL NOTIFY CITY REPRESENTATIVE PRIOR TO BID DATE IN WRITING.
4. ALL PLANTS SHALL BE INSPECTED AND TAGGED WITH PROJECT IDENTIFICATION AT NURSERY OR CONTRACTOR'S OPERATION PRIOR TO MOVING TO JOB SITE. PLANTS MAY ALSO BE INSPECTED AND APPROVED OR REJECTED ON THE JOB SITE.
5. ALL PLANTS ARE TO MEET OR EXCEED AMERICAN STANDARDS FOR NURSERY STOCK, 2004 EDITION, AS SET FORTH BY AMERICAN ASSOCIATION OF NURSERYMEN.
6. MAINTENANCE OF PLANT MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL PLANT MATERIALS ARE ACCEPTED BY OWNER. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO WATERING, WEEDING, PEST CONTROL, AND OTHER ACTIONS AS REQUIRED TO MAINTAIN PLANT MATERIALS IN A HEALTHY CONDITION.
7. ALL NEW LANDSCAPE PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. AT END OF THIS PERIOD, PLANT MATERIAL DEEMED DEAD OR UNSATISFACTORY BY LANDSCAPE ARCHITECT SHALL BE REPLACED AT NO ADDITIONAL CHARGE BY THE LANDSCAPE CONTRACTOR.



**NORTH HUNTINGTON STREET 33' R/W**

**RAY MELLERT PARK IMPROVEMENTS  
PROPOSED SITE LANDSCAPE PLAN**

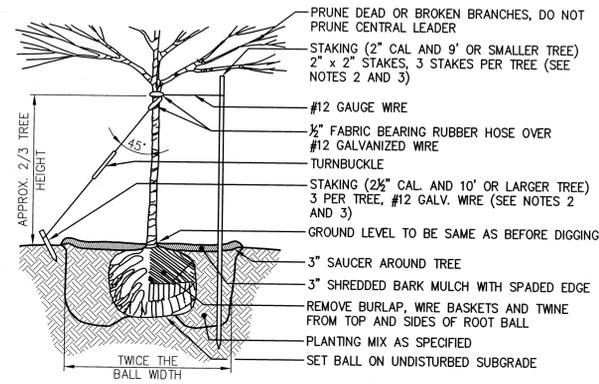


**PLANT LIST**

ABBR.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION	QUANTITY	REMARKS
SHADE TREES							
GL TR	GLEDITSIA TRIACANTHOS F. INERMIS	SKYLINE HONEYLOCUST	2.5" CAL.	AS SHOWN	B&B	4	SPECIMEN
EVERGREEN SHRUBS							
BU SI	BUXUS SINICA VAR. INSULARIS 'WINTERGREEN'	WINTERGREEN BOXWOOD	24"	AS SHOWN	B&B	61	HEDGE
PERENNIALS, BULBS, AND GRASSES							
LE BO	LEYMUS ARENARIUS 'BLUE DUNE'	BLUE LYME GRASS	CLUMP	18" O.C.	#1 CONT.	130	
PE AL	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	CLUMP	2' O.C.	#2 CONT.	42	

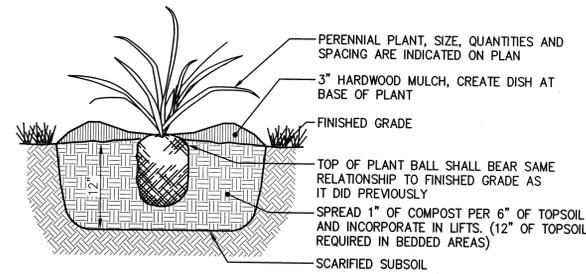
CITY OF MEDINA	
Project:	RAY MELLERT PARK SITE IMPROVEMENTS
PARKING LOT LANDSCAPE PLAN	
Scales:	PLAN - 1" = 10'
Revisions:	APRIL, 2022
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CITY JOB No. 1087  
Dwg. File #: 1087.dwg | 1087\_Base Plan.dwg



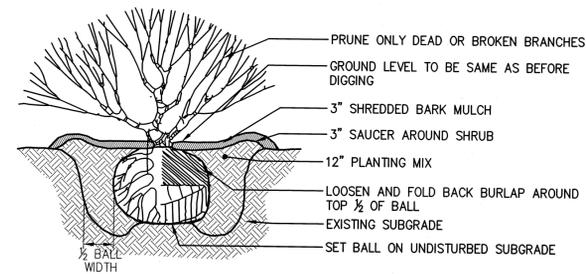
- NOTES:**
1. REMOVE BURLAP, WIRE BASKETS AND TWINE FROM TOP AND SIDES OF ROOT BALL. CENTER TREE IN HOLE SET TOP OF BALL 1" ABOVE FINISH GRADE.
  2. STAKING AND GUYING TREES IS OPTIONAL, HOWEVER THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLED TREES STAYING PLUMB AND STABLE. IF A NON-STAKED TREE MOVES OUT OF PLUMB DURING THE WARRANTY PERIOD THE CONTRACTOR SHALL STRAIGHTEN AND STAKE THE TREE AT NO ADDITIONAL COST TO THE OWNER.
  3. THE CONTRACTOR SHALL RETURN TO REMOVE ALL STAKES, GUYS & ASSOCIATED HARDWARE ON THE TREES ONE YEAR AFTER STAKING OR PER THE DIRECTION OF THE OWNER OR LANDSCAPE ARCHITECT.

1 DECIDUOUS TREE PLANTING  
5 NOT TO SCALE



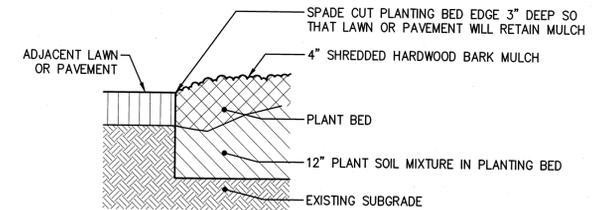
**NOTE:**  
COMPOST SHALL CONSIST OF STERILIZED, COMPOSTED MATERIAL (SWEET PEAT OR OTHER APPROVED EQUAL). CONTRACTOR SHALL SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF PLANTS.

2 PERENNIAL PLANTING  
5 NOT TO SCALE



- NOTES:**
1. PLANTING MIX TO CONSIST OF 1" COMPOST PER 6" OF TOPSOIL.
  2. COMPOST SHALL CONSIST OF STERILIZED, COMPOSTED MATERIAL (SWEET PEAT OR OTHER APPROVED EQUAL). CONTRACTOR SHALL SUBMIT SAMPLE TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION OF PLANTS.
  3. MULCH TO FORM CONTINUOUS SHRUB BEDS.

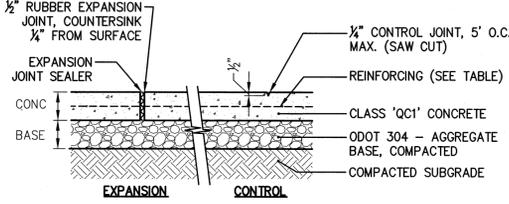
3 SHRUB PLANTING  
5 NOT TO SCALE



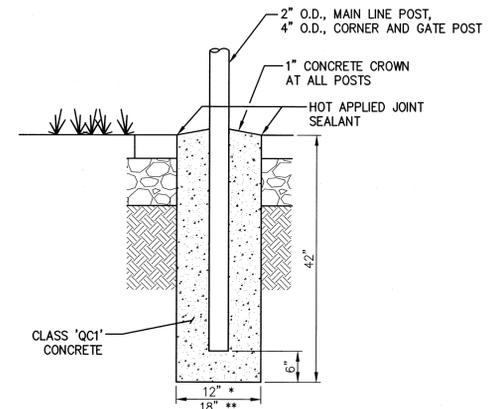
4 PLANTING BED SPADE CUT EDGING  
5 NOT TO SCALE

CITY OF MEDINA		CITY JOB No. 1087
Project:	RAY MELLERT PARK SITE IMPROVEMENTS	
PARKING LOT LANDSCAPE DETAILS		
Scales:	N/A	
Revisions:	APRIL, 2022	
Sheet Number: 7 of 9		

- NOTES:**
1. EXPANSION JOINT - 20' O.C. MAX. OR AS SHOWN ON DRAWINGS
  2. EXPANSION JOINTS SHALL BE AT ALL CURBS, WALKS, WALLS AND OTHER FIXED OBJECTS.
  3. CONTROL JOINT - AS SHOWN ON DRAWINGS.
  4. CROSS SLOPE - 2% MAX. GRADE TO DRAIN.
  5. MEDIUM BROOM FINISH PERPENDICULAR TO THE DIRECTION OF TRAVEL.
  6. USE EDGING TOOL AT PERIMETER.



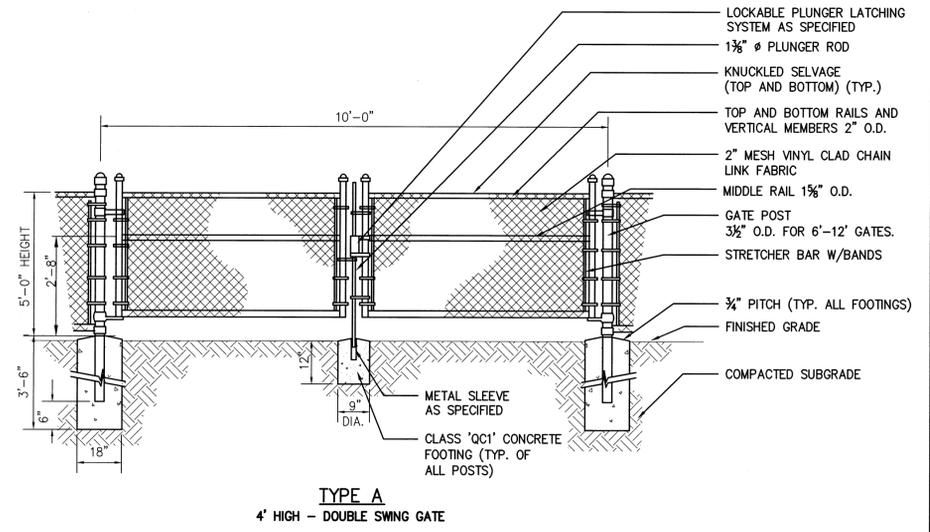
CONCRETE PAVEMENT	CONC	BASE	REINFORCING TYPE
STANDARD DUTY	4"	4"	6X6 - W1.4 x W1.4



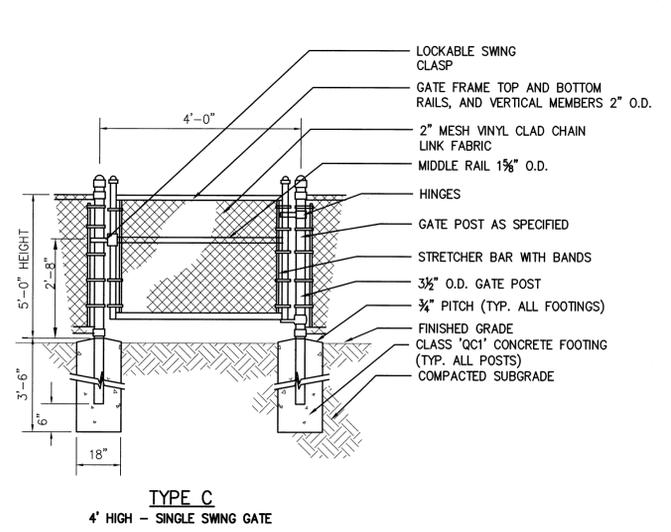
**1 CONCRETE PAVEMENT**  
5 NOT TO SCALE

**2 FENCE POST PLACEMENT**  
5 NOT TO SCALE

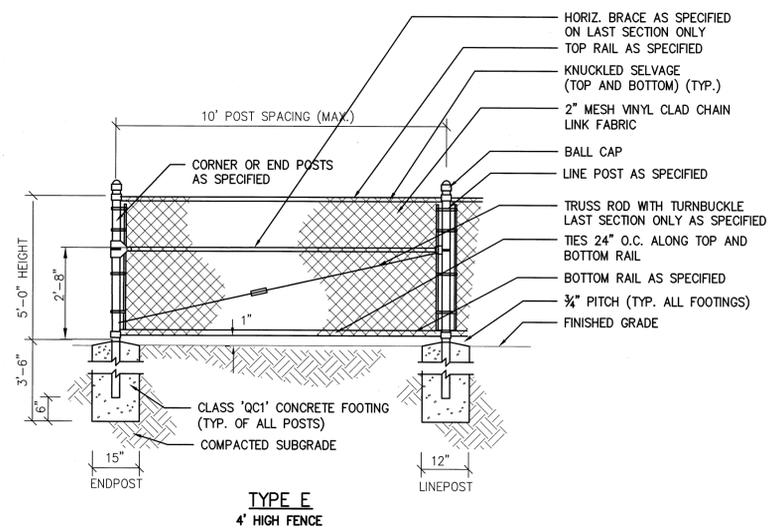
- NOTES:**
1. ALL PIPE FRAMEWORK AND OTHER FERROUS MATERIALS SHALL BE HOT DIP GALVANIZED, UNLESS OTHERWISE NOTED.
  2. DIMENSIONS: ALL DIMENSIONS, SIZES, GAUGES, WEIGHTS OR THICKNESSES SHOWN ARE THE MINIMUM ACCEPTABLE, UNLESS OTHERWISE INDICATED.
  3. FABRIC INSTALLATION: WIRE OR FABRIC ON BOUNDARY FENCES AND GATES SHALL BE ON THE SIDE OF POSTS TOWARD THE PROPERTY LINE.
  4. CONCRETE: FOOTING TOPS SHALL BE 1-INCH MINIMUM ABOVE GROUND AT THE POST, AND TROWEL FINISHED TO SLOPE AWAY FROM THE POST.
  5. FENCE LINE AND ALIGNMENT: FENCE LINES SHALL BE CLEARED OF ALL OBSTRUCTIONS AND SMOOTH GRADED TO THE GENERAL CONTOUR OF THE ADJACENT GROUND. GRADE SO THAT THERE IS A 2" MAXIMUM CLEARANCE FROM THE BOTTOM RAIL OR TENSION WIRE TO THE GROUND SURFACE. THE FENCE SHALL BE CONSTRUCTED VERTICAL, STRAIGHT AND TRUE TO LINE. THE LONGITUDINAL GRADIENT SHALL BE PARALLEL TO THE GENERAL SLOPE OF THE GROUND. CONTRACTOR SHALL LAY OUT THE FENCE ALIGNMENT AS SHOWN ON THE PLANS. THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL APPROVE THE ALIGNMENT OF THE FENCE AND THE GATE LOCATION(S) PRIOR TO CONSTRUCTION.
  6. GATE WIDTHS VARY, SEE LAYOUT PLANS. GATE POSTS, HINGES AND FOUNDATIONS ARE BASED ON GATE OPENING WIDTH. SEE MANUFACTURER'S RECOMMENDED SPECIFICATIONS.



**TYPE A**  
4' HIGH - DOUBLE SWING GATE



**TYPE C**  
4' HIGH - SINGLE SWING GATE

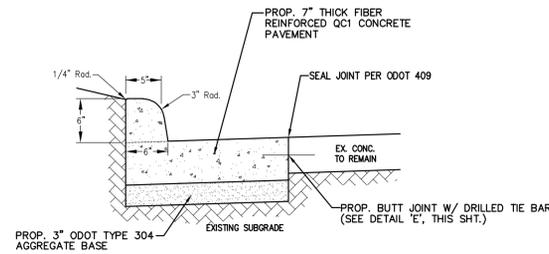


**TYPE E**  
4' HIGH FENCE

**3 VINYL CHAIN LINK FENCE**  
5 NOT TO SCALE

<b>CITY OF MEDINA</b>	
Project:	RAY MELLERT PARK SITE IMPROVEMENTS
DOG PARK CONSTRUCTION DETAILS	
Scales:	N/A
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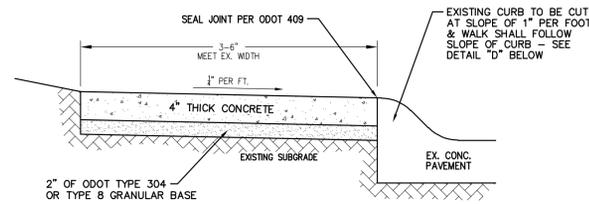
CITY JOB No. 1087



NOTE:  
1. ALL COSTS FOR THE 3-INCH TYPE 304 AGGREGATE BASE AND THE BUTT JOINTS SHALL BE INCLUDED IN THE UNIT PRICE BID ITEM FOR "CITY OF MEDINA PAVEMENT".

**DETAIL 'A'**  
**PROPOSED PAVEMENT W/ INTEGRAL TYPE 2A CURB**

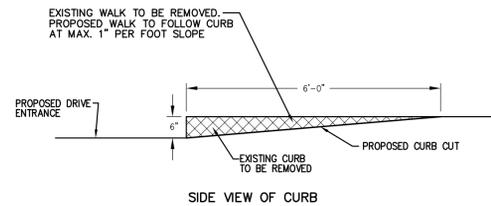
SCALE: 1"=1'



NOTE:  
1. ALL COSTS FOR THE 2-INCH TYPE 57 OR TYPE 8 AGGREGATE BASE, GRADING AND SEALING FOR THE WALK INSTALLATION SHALL BE INCLUDED IN THE UNIT PRICE BID FOR "CONCRETE SIDEWALK".  
2. MAXIMUM SLOPE ON SIDEWALK SHALL BE 1 INCH PER FOOT AND 1/4" PER FOOT CROSS SLOPE FOR ADA COMPLIANCE.

**DETAIL 'B'**  
**PROPOSED SIDEWALK DETAIL**

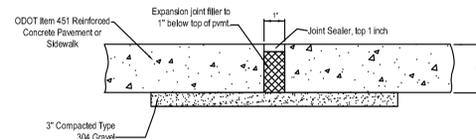
SCALE: 1"=1'



NOTE:  
1. ALL COSTS TO SAWCUT THE EXISTING CURB AS SHOWN SHALL BE INCLUDED WITHIN THE UNIT PRICE BID FOR ITEM "ODOT 255 FULL DEPTH PAVEMENT SAWING".

**DETAIL 'C'**  
**PROPOSED CURB CUT TAPER**

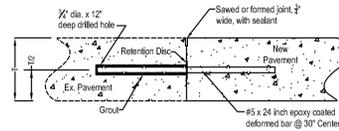
SCALE: 1"=2'



NOTE:  
1. THE EXPANSION CONTROL JOINT SHALL BE LOCATED AT THE BACK EDGE OF THE PROPOSED SIDEWALK ADJACENT TO THE PROPOSED PARKING LOT ENTRY DRIVE.  
2. COSTS FOR THE INSTALLATION OF THE EXPANSION CONTROL JOINT SHALL BE INCLUDED WITHIN THE UNIT PRICE PROVIDED FOR THE PROPOSED PARKING PAVEMENT.

**DETAIL 'D'**  
**PROPOSED EXPANSION CONTROL JOINT**

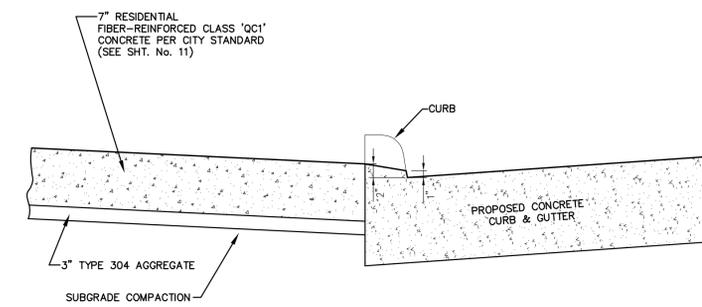
SCALE: 1"=1'



NOTE:  
1. ALL COSTS FOR THE 3-INCH TYPE 304 AGGREGATE BASE AND THE BUTT JOINTS SHALL BE INCLUDED IN THE UNIT PRICE BID ITEM FOR THE PROPOSED CONCRETE PARKING LOT PAVEMENT.  
2. THE CITY ENGINEER SHALL INSPECT THE EXISTING PAVEMENT CONDITION AND THICKNESS PRIOR TO THE INSTALLATION OF THE DEFORMED BAR.  
3. HOOK BOLTS W/ ANCHORS MAY BE USED IN LIEU OF THE DEFORMED BAR.

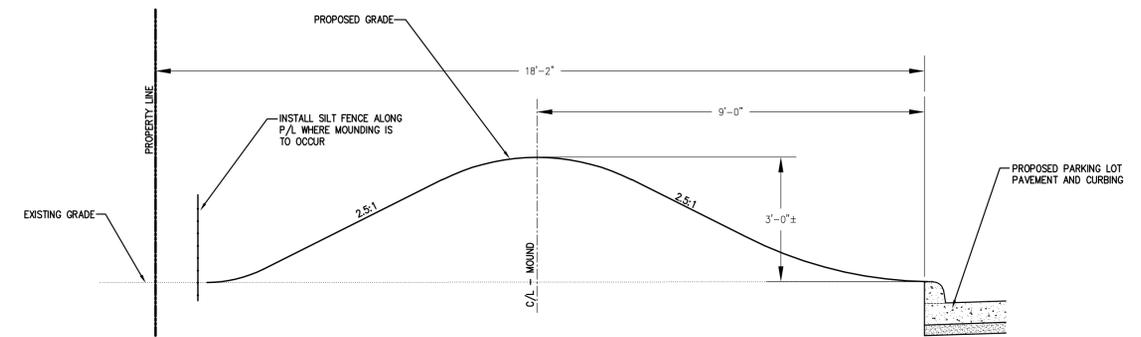
**DETAIL 'E'**  
**PROPOSED BUTT JOINT W/ DRILLED TIE BAR**

SCALE: 1"=1'



**STANDARD CURB DROP & DRIVE APRON DETAIL 'F'**

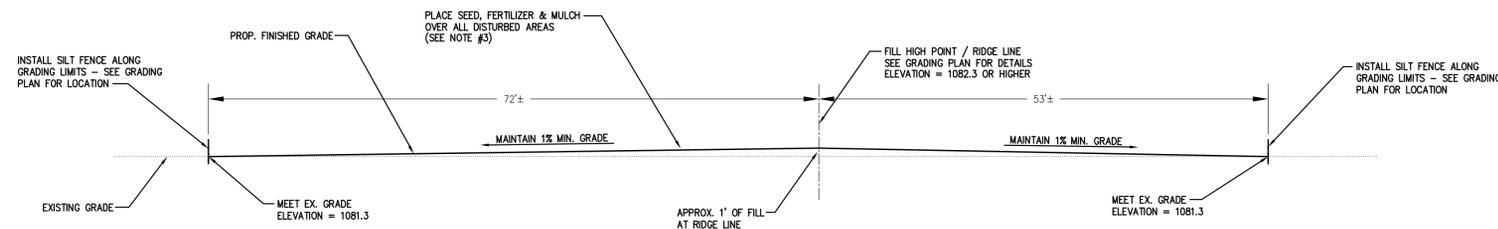
N.T.S.



NOTE:  
1. CONTRACTOR TO SEPARATE SOILS TO PROVIDE CLAY MATERIAL WITHIN THE CORE OF THE MOUNDING AND A MINIMUM OF 3" OF TOPSOIL ON ALL EXPOSED SURFACES OF THE MOUND. WHERE APPLICABLE THE ENTIRE MOUND MAY BE CONSTRUCTED OF TOPSOIL.  
2. THE MOUND SHALL BE SHAPED AND COMPACTED IN PLACE EXCEPT FOR THE MINIMUM 3" SURFACE LAYER OF TOPSOIL TO BE USED AS A PLANTING BED.  
3. THE CITY ENGINEER SHALL INSPECT AND APPROVE THE FINAL GRADE PRIOR TO PLACEMENT OF ANY SEED, FERTILIZER OR MULCH.

**SECTION A-A**  
**LANDSCAPE MOUND**

SCALE: 1"=2'



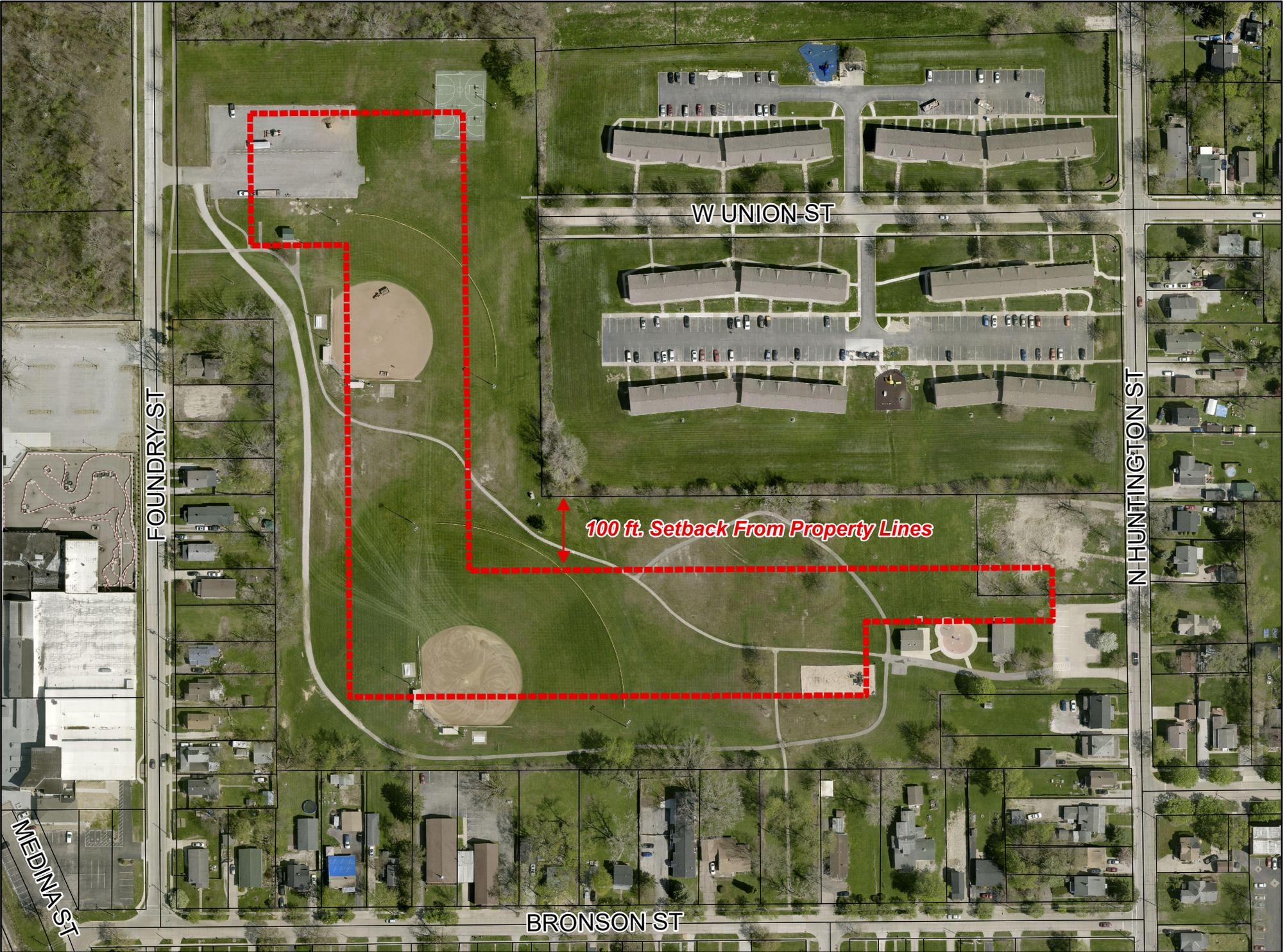
NOTE:  
1. CONTRACTOR TO SEPARATE SOILS TO PROVIDE CLAY MATERIAL WITHIN THE CORE OF THE FILL AND A MINIMUM OF 3" OF TOPSOIL ON ALL EXPOSED SURFACES OF THE FILL AREA. WHERE APPLICABLE THE ENTIRE FILL AREA MAY BE CONSTRUCTED OF TOPSOIL.  
2. THE SPOILS SHALL BE SHAPED AND COMPACTED IN PLACE EXCEPT FOR THE MINIMUM 3" SURFACE LAYER OF TOPSOIL TO BE USED AS A PLANTING BED.  
3. THE OVERALL PURPOSE OF PLACING THE FILL IN THE DESIGNATED AREA IS TO CREATE POSITIVE DRAINAGE IN ALL DIRECTIONS. THE CONTRACTOR SHALL TAKE SPECIAL CARE TO ENSURE THE FINAL GRADE IS SMOOTH AND FREE DRAINING. THE CITY ENGINEER SHALL INSPECT AND APPROVE THE FINAL GRADING PRIOR TO THE PLACEMENT OF ANY SEED, FERTILIZER OR MULCH.

**SECTION B-B**  
**SPOIL AREA GRADING**

SCALE: 1"=10'

<b>CITY OF MEDINA</b>	
Project:	RAY MELLERT PARK SITE IMPROVEMENTS
PLAN DETAILS	
Scales:	AS NOTED
Revisions:	APRIL, 2022
	Sheet Number: 9 of 9

CITY JOB NO. 1087  
Date: File # 1087.dwg 1/08/22 D:\dwg\1087.dwg



W UNION ST

FOUNDRY ST

N HUNTINGTON ST

BRONSON ST

MEDINA ST

*100 ft. Setback From Property Lines*

0 50 100 200 300 400 Feet



# Aerial from 2000

