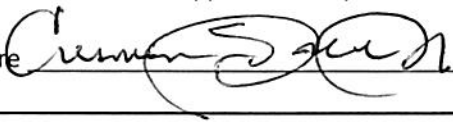




# BOARDS & COMMISSIONS APPLICATION

132 North Elmwood Avenue  
330-722-9038  
www.medinaoh.org

Application Number **Z25-27**

GENERAL	Date of Application <u>9/18/2025</u>
	Property Location <u>1201 N Court Street, Medina, OH 44256</u>
	Description of Project <u>Demolition of existing Dragon Buffet building and construction of new 3,654 SF</u> <u>Meijer mExpress building with associated access drives, parking and utilities.</u>
CONTACT INFORMATION	<b>Applicant</b> Name <u>Meijer Stores Limited Partnership (Crisman S. Jones)</u>
	Address _____ City _____ State _____ Zip _____
	Phone _____ Email _____
	<b>Property Owner</b> Name <u>Polatsek Brothers Co LLC</u>
	Address _____ City _____ State _____ Zip _____
	Phone _____ Email _____
APPLICATION TYPE	Planning Commission Site Plan <input checked="" type="checkbox"/> Conditional Zoning Certificate <input checked="" type="checkbox"/> Code or Map Amendment <input type="checkbox"/>
	Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Conditional Sign (EMC/Shopping Ctr) <input checked="" type="checkbox"/> TC-OV <input type="checkbox"/> Other <input type="checkbox"/>
	Historic Preservation Board Certificate of Appropriateness <input type="checkbox"/> Conditional Sign <input type="checkbox"/>
	Board of Zoning Appeals Variance <input checked="" type="checkbox"/> Appeal <input type="checkbox"/>
APPLICANT SIGNATURE	By signing this application, I hereby certify that: 1) The information contained in this application is true and accurate to the best of my knowledge; 2) I am authorized to make this application as the property owner of record or I have been authorized to make this application by the property owner of record; 3) I assume sole responsibility for correspondence regarding this application; and 4) I am aware that all application requirements must be submitted prior to the formal acceptance of my application.
	Signature <u></u> Date <u>9/17/25</u>
OFFICIAL USE	Zoning District <u>C-3</u>
	Meeting Date <u>10/9/25</u>
	Fee (See Fee Sheet) \$ <u>775</u>
	Check Box when Fee Paid <input checked="" type="checkbox"/>

## **Z25-27**

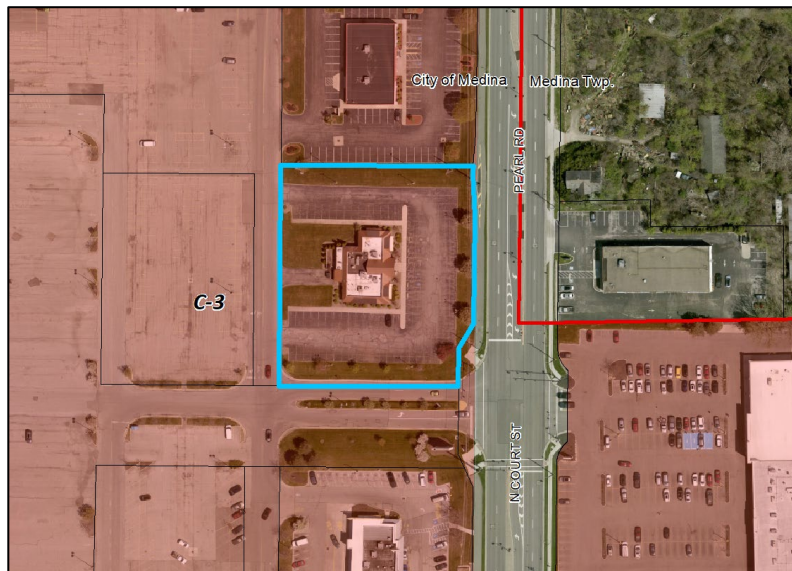
### **Meijer Convenience Store/Gas Station – Access Drives and Sign**

Property Owner: Polatsek Bothers Co. LLC  
Applicant: Crisman Jones  
Location: 1201 North Court Street  
Zoning: C-3 (General Commercial)  
Request: Area Variance to Sections 1145.10(e) and 1153.04(a)(15)(B.) to allow driveways wider than permitted and a Sign Variance to Section 1147.14(d) to allow a building sign on a non-building frontage

#### **LOCATION AND SURROUNDING USES**

The subject site comprises 1.45 acres, located on the west side of North Court Street. Adjacent properties contain the following uses and zoning:

- **North** – Automotive Retail (C-3)
- **East** – Automotive Retail (Unincorporated)
- **South** – Restaurant (C-3)
- **West** – Parking (C-3)



#### **BACKGROUND & PROPOSED APPLICATION**

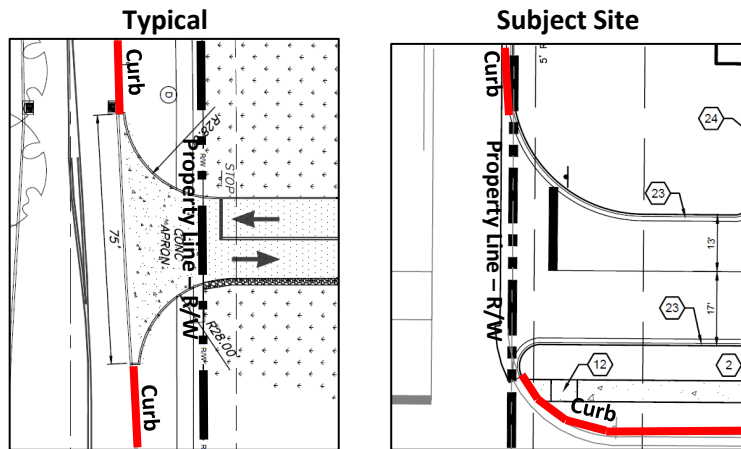
The property is currently home to the Dragon Buffet restaurant. The applicant is proposing to clear the existing site and construct a new 3,654 sq. ft. convenience store and motor vehicle fueling station. A motor vehicle fueling station is a conditionally permitted use in the C-3 zoning district.

The application also includes an electronic price display, which is considered an electronic message center sign.

**ACCESS DRIVE WIDTH (SECTIONS 1145.10(e) and 1153.04(d)(15)(B.))**

Section 1145.10(e) limits the width of an access drive at the curb line to 38 ft. In addition, Section 1153.04(d)(15)(B.), which is a conditional permitted use regulation, limits the width of an access drive width at the property line to 30 ft.

The site has two access drives off a private street to the rear and does not have direct access to North Court Street. A typical access drive configuration has a narrower width at the property line/right-of-way, which expands to a larger width at the curb line. The site's access drives are off a private street where the property line is equal to the curb line. As such, the access drives have the same widths at both the property line and curb line, with widths of 54 ft. at the south drive and 69 ft. at the north drive.



**STANDARDS FOR VARIANCES AND APPEALS (SECTION 1107.08(i)(1.))**

- (1) Factors applicable to area or size-type variances ("practical difficulty"). The applicant shall show by a preponderance of the evidence that the variance is justified, as determined by the Board. The Board shall weigh the following factors to determine whether a practical difficulty exists and an area or size-type variance should be granted:
  - A. Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance;
  - B. Whether the variance is substantial;
  - C. Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer substantial detriment as a result of the variance;
  - D. Whether the variance would adversely affect the delivery of governmental services (e.g., water, sewer, garbage);
  - E. Whether the property owner purchased the property with knowledge of the zoning restrictions;
  - F. Whether the property owner's predicament feasibly can be obviated through some method other than a variance; and/or
  - G. Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting a variance.

## **APPLICANT'S RESPONSES TO STANDARDS FOR VARIANCES AND APPEALS**

The applicant's responses to the Standards for Variances and Appeals include but are not limited to the following:

- In order to yield a reasonable return and allow a beneficial use, a wider driveway is necessary to allow safe ingress and egress for larger vehicles, such as fuel trucks, and ensure the business can operate efficiently and safely.
- The variance is not substantial as the increased width is driven by unique site conditions, operational needs of a fueling station, and is not excessive.
- The essential character of the neighborhood would not be substantially altered and the wider driveways will improve traffic flow with no detriment to adjoining properties.

### **BUILDING SIGN ON A NON-BUILDING FRONTAGE (SECTION 1147.14(d))**

Section 1147.14(d) allows building signs in the C-3 District, per the following:

*One permanent building sign (wall, awning, or canopy) on the primary building frontage side of the building unit, not exceeding one square foot in area for each one linear foot of primary building... and one permanent building sign on the secondary building frontage side of the building unit, not exceeding one square foot in area for each four (4) linear feet of secondary building frontage...*

Both the east and south facades of the canopy face streets and are considered building frontages. A 22.9 sq. ft. "Meijer" wall sign is located on each of the east and south facades, as permitted.

The north facade of the canopy is not considered a building frontage and cannot have a building sign. The applicant has proposed a 22.9 sq. ft. "Meijer" wall sign on the north facade of the canopy.

### **STANDARDS FOR VARIANCES AND APPEALS (SECTION 1107.08(i)(3.))**

- (3) Factors applicable to sign variances ("practical difficulty"). The applicant shall show by a preponderance of the evidence that the variance is justified, as determined by the Board. The Board shall weigh the following factors to determine whether a practical difficulty exists and a sign variance should be granted:
- A. Construction of a conforming sign would obstruct the vision of motorists or otherwise endanger public health or safety;
  - B. A conforming sign would be blocked from the sight of passing motorists due to existing buildings, trees or other obstructions;
  - C. Construction of a conforming sign would require removal or severe alteration to significant features on the site, such as removal of trees, alteration of the natural topography, obstruction of a natural drainage course, or alteration or demolition of significant historical features or site amenities;
  - D. A sign that exceeds the allowable height or area standards of this Ordinance would be more appropriate in scale because of the large size or frontage of the premises or building;
  - E. The exception shall not adversely impact the character or appearance of the building or lot or the neighborhood;
  - F. The variance sought is the minimum necessary to allow reasonable use, visibility, or readability of the sign; and/or
  - G. The variance will be consistent with the general spirit and intent of this Ordinance.

### **APPLICANT'S RESPONSES TO STANDARDS FOR VARIANCES AND APPEALS**

The applicant's responses to the Standards for Variances and Appeals include but are not limited to the following:

- A conforming sign would potentially endanger public safety as motorists traveling southbound on North Court Street would not view a sign in a timely manner to turn into the intersection.
- The sign would not adversely impact the character or appearance of the building or commercial corridor as it aesthetically complements the building's architecture and is amongst various other commercial building signs.
- The variance is consistent with the general spirit and intent of the ordinance by balancing wayfinding with aesthetics and ensuring safety and orderly operation.



September 18, 2025

Andrew Dutton  
Community Development Director  
City of Medina  
132 North Elmwood Avenue  
Medina, OH 44256

RE: Meijer – Project Narrative, Medina, Ohio

Dear Mr. Dutton:

Please accept this project narrative for the proposed 3,654 square foot Meijer mExpress to be located at 1201 North Court Street.

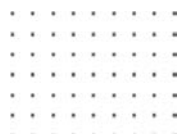
Meijer is a family-owned company headquartered in Grand Rapids, Michigan and founded in 1934. Meijer originated as a grocery store and expanded into its first supercenter format in 1962. Currently, Meijer owns over 500 grocery stores, supercenters, and convenience stores concentrated in the Midwest including, OH, IN, KY, MI, IL and WI.

The Meijer redevelopment is intended to replace the vacant Dragon Buffet. As part of this redevelopment Meijer intends to demolish the restaurant and reconstruct the current parking field. Also, as part of this project Meijer intends to construct a new shared monument sign located at the southeast corner of the property.

The proposed Meijer mExpress development will complement the existing Meijer store and provide convenient fueling and limited retail services to customers and the surrounding community. The facility will include multiple pump islands with a fueling canopy, a small-format convenience retail building, appropriate vehicular circulation, pedestrian accommodations, and required landscaping and stormwater management features. Site Lighting will be designed to provide safe and secure operations while minimizing light spillover to adjacent properties.

The proposed utility infrastructure for this site includes connections to the existing city water and county sewer systems. From these connection points new infrastructure will be constructed throughout the site to serve the various utility needs for the proposed gas station. All other utilities required such as electric, gas, data, etc. will be connected to existing infrastructure located on or adjacent to the property. An enhancement of the existing on-site underground storm water collection system will be performed as part of the construction process. This

Woolpert, Inc.  
4454 Idea Center Boulevard  
Dayton, OH 45430-1500  
937.461.5660





September 18, 2025

collection system will be routed to the existing storm sewer located along Pearl Road east of the site. Storm water quality improvements will also be constructed through underground pipe storage. This stormwater management system will be designed, constructed, and maintained in compliance with applicable City of Medina and State of Ohio requirements.

We believe that the proposed investment to redevelop Dragon Buffet conforms with the character of the existing commercial corridor and adheres to the buffering requirements for the surrounding residents. A new Meijer mExpress and the associated improvements will significantly improve the commercial corridor and be a valuable addition for the community. Thank you for reviewing our submittal package and we appreciate staff's support of our Proposed Development Plan.

Should you have any questions or need any additional information regarding this submittal, please contact me at 937-531-1691.

Sincerely,

**Woolpert, Inc.**

Brian L. Smallwood  
Project Manager  
c/o Meijer Stores Limited Partnership

Cc: Cris Jones, Meijer Real Estate  
Kayla Doshier, Meijer Real Estate

Woolpert, Inc. . . . .  
4454 Idea Center Boulevard . . . . .  
Dayton, OH 45430-1500 . . . . .  
937.461.5660 . . . . .



September 17, 2025

RE: Meijer MED2 – Anticipated Conditional Use and Variance List

Please see below for list of anticipated conditional uses and variances.

	Required/Allowed	Requesting
Gas Station	Conditional Use	N/A
Driveway Width	Maximum Width at Curb Line = 38 feet Min. Width at ROW = 12 feet Max. Width at ROW = 24 feet	69' at northern drive. 54' at southern drive.
Site Signage	(c) In the C-3 District only, one permanent pole sign, with two (2) or more supports, for the primary entrance to a shopping center that exceeds 50,000 square feet in floor area. Such sign shall not incorporate a changeable copy sign or an electronic message center sign. Such sign shall further be conditionally permitted and subject to the guidelines set forth in Section <a href="#">1147.16</a> .	Electronic Message Signage for Monument Sign with Gas Pricer.



**FACTORS APPLICABLE TO AREA OR SIZE-TYPE VARIANCES ("PRACTICAL DIFFICULTY")**

The applicant shall show by a preponderance of the evidence that the variance is justified, as determined by the Board. The Board shall weigh the following factors to determine whether a practical difficulty exists and an area or size-type variance should be granted:

A. Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance;

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B. Whether the variance is substantial;

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C. Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer substantial detriment as a result of the variance;

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D. Whether the variance would adversely affect the delivery of governmental services (e.g., water, sewer, garbage);

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E. Whether the property owner purchased the property with knowledge of the zoning restrictions;

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F. Whether the property owner's predicament feasibly can be obviated through some method other than a variance; and/or

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G. Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting a variance.

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**FACTORS APPLICABLE TO SIGN VARIANCES ("PRACTICAL DIFFICULTY")**

The applicant shall show by a preponderance of the evidence that the variance is justified, as determined by the Board. The Board shall weigh the following factors to determine whether a practical difficulty exists and a sign variance should be granted:

A. Construction of a conforming sign would obstruct the vision of motorists or otherwise endanger public health or safety;

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B. A conforming sign would be blocked from the sight of passing motorists due to existing buildings, trees or other obstructions;

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C. Construction of a conforming sign would require removal or severe alteration to significant features on the site, such as removal of trees, alteration of the natural topography, obstruction of a natural drainage course, or alteration or demolition of significant historical features or site amenities;

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D. A sign that exceeds the allowable height or area standards of this Ordinance would be more appropriate in scale because of the large size or frontage of the premises or building;

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E. The exception shall not adversely impact the character or appearance of the building or lot or the neighborhood;

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F. The variance sought is the minimum necessary to allow reasonable use, visibility, or readability of the sign; and/or

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G. The variance will be consistent with the general spirit and intent of this Ordinance.

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## **Meijer MED2 – Conditional Sign (Photographs of Existing Conditions)**



US-42 looking west to existing Dragon Buffet and entrance drive.



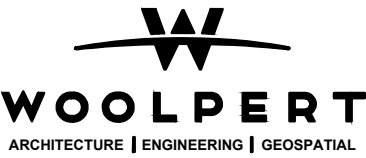
US-42 looking west to joint entrance drive.



Images: Xrefs: 10025357-TBLK.dwg; 10025357-x.dwg; 10017405-p.dwg; 10025357-p.dwg  
Last Saved By: User: C-001  
W:\Srvr\DE\Dayton\Clients\Meijer\10025357 Meijer MED2, Medina OH\4.0 Disciplines\Civil\Cadd\Prelim\10025357-COV.dwg Plotted By:Stechschulte, Matthew Plotted:September 17, 2025, 10:59:40 AM



MEIJER STORE MED2  
1201 NORTH COURT STREET  
MEDINA, MEDINA COUNTY, OHIO 44256  
±1.45 ACRES BEING THE WHOLE OF CITY LOT 5990 AND ALSO BEING WITHIN TOWNSHIP  
3 NORTH, RANGE 14 WEST OF THE CONNECTICUT WESTERN RESERVE



4454 Idea Center Boulevard  
Dayton, OH 45430  
937.461.5660



2929 WALKER AVENUE  
GRAND RAPIDS, MICHIGAN 49544  
(616) 453-6711

CIVIL DRAWING INDEX

FILLED CIRCLE INDICATES INCLUDED IN ISSUANCE	LATEST ISSUANCE NUMBER	LATEST ISSUANCE DATE	SHEET NUMBER	SHEET TITLE
•		09/17/25	C-001	COVER SHEET
•		09/17/25	C-100	EXISTING CONDITIONS – DEMOLITION PLAN
•		09/17/25	C-200	SITE LAYOUT – PAVEMENT PLAN
•		09/17/25	C-300	SITE GRADING – DRAINAGE PLAN
•		09/17/25	C-400	UTILITY PLAN
•		09/17/25	C-500	TRAFFIC CONTROL SIGNAGE – STRIPING PLAN
•		09/17/25	C-501	EXTERIOR SIGNAGE DETAILS
•		09/17/25	C-600	LANDSCAPE PLAN
•		09/17/25	C-801	SITE PHOTOMETRIC PLAN

GENERAL NOTES

- CONDUCT SITE CLEARING OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. STREETS AND ROADWAYS SHALL BE THOROUGHLY CLEANED AND/OR SWEEP ON A DAILY BASIS OR MORE FREQUENTLY AS REQUIRED BY THE GOVERNING AUTHORITY. RESTORE DAMAGED IMPROVEMENTS TO ORIGINAL CONDITION AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
- PROVIDE DUST CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES.
- ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH SPECIFICATIONS.
- UNLESS SPECIFIED OTHERWISE, ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH MEJER STANDARD SPECIFICATIONS, THE STATE DEPARTMENT OF ENVIRONMENTAL QUALITY STANDARDS, DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND/OR THE APPROPRIATE LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES, AND LICENSE FEES, UNLESS NOTED OTHERWISE.
- RELOCATION OF ANY UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY. OBTAIN WRITTEN APPROVAL FROM THE ENGINEER BEFORE ANY UTILITY RELOCATION.
- ELECTRONIC FILES IN DWG FORMAT WILL BE SUPPLIED TO THE CONSTRUCTION MANAGER FOR LAYOUT AND GRADING.
- ELECTRONIC FILE USE TERMS AND CONDITIONS:  
B.A. RECIPIENT ACKNOWLEDGES THAT ANY USE OF THE TRANSFERRED DATA IS FOR INFORMATION ONLY AND NOT GUARANTEED OR WARRANTED BY MEJER OR ITS CONSULTANTS. USE OF TRANSFERRED DATA BY THE RECIPIENT SHALL BE AT RECIPIENT'S SOLE RISK. RECIPIENT ACKNOWLEDGES THAT THE AUTOMATED CONVERSION OF INFORMATION AND DATA FROM THE ORIGINAL FORMAT AND SYSTEM TO AN ALTERNATE FORMAT OR SYSTEM CAN NOT BE ACCOMPLISHED WITHOUT THE INTRODUCTION OF INEXACTITUDES, ANOMALIES, AND ERRORS. RECIPIENT FURTHER ACKNOWLEDGES THAT THE ELECTRONIC DATA MAY NOT BE FULLY COMPATIBLE WITH RECIPIENT'S COMPUTER SYSTEM AND NEITHER MEJER NOR ITS CONSULTANTS MAKE NO REPRESENTATIONS REGARDING SUCH COMPATIBILITY.  
B.B. ACCORDINGLY, WITH RESPECT TO THE CONVERSION AND USE OF SUCH ELECTRONIC DATA, RECIPIENT AGREES TO ASSUME ALL RISKS ASSOCIATED THEREWITH, AND TO THE FULLEST EXTENT PERMITTED BY LAW, TO HOLD HARMLESS AND INDEMNIFY MEJER AND THEIR CONSULTANTS FROM AND AGAINST ALL CLAIMS, LIABILITIES, LOSSES, DAMAGES, AND COSTS, INCLUDING BUT NOT LIMITED TO ATTORNEY'S FEES AND COSTS, WHETHER OR NOT SUIT HAS BEEN FILED, ARISING OUT OF, OR IN ANY WAY CONNECTED WITH THE USE, MODIFICATION, MISINTERPRETATION, MISUSE, OR REUSE BY RECIPIENT OR OTHERS OF THE ELECTRONIC DATA WHICH IS PROVIDED BY MEJER OR ITS CONSULTANTS UNDER THESE TERMS AND CONDITIONS.  
B.C. THESE TERMS AND CONDITIONS SHALL BE BINDING UPON THE SUCCESSORS AND ASSIGNS OF THE PARTIES. UPON ACCEPTANCE OF THE ELECTRONIC DATA TRANSMISSION, RECIPIENT HEREBY AGREES TO THE FOREGOING TERMS AND CONDITIONS. IF RECIPIENT DOES NOT AGREE TO THE FOREGOING TERMS AND CONDITIONS, MEJER AND ITS CONSULTANTS DO NOT AUTHORIZE THE USE OF THE TRANSMITTED DATA, AND RECIPIENT SHALL DESTROY THE TRANSMITTED DATA AND NOTIFY MEJER OR ITS CONSULTANTS OF THE SAME BY PROVIDING WRITTEN NOTICE WITHIN ONE DAY OF TRANSMISSION. FAILURE TO PROVIDE SUCH NOTICE SHALL ACT AS WAIVER AND RECIPIENT SHALL BE BOUND TO THE FOREGOING TERMS AND CONDITIONS.

LOCAL UTILITY LOCATING AGENCY

ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS, AND HOLIDAYS) AND CALL LOCAL UTILITY LOCATING AGENCY AT 811.  
EXISTING UTILITY LOCATIONS SHOWN SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPUTATIONS.

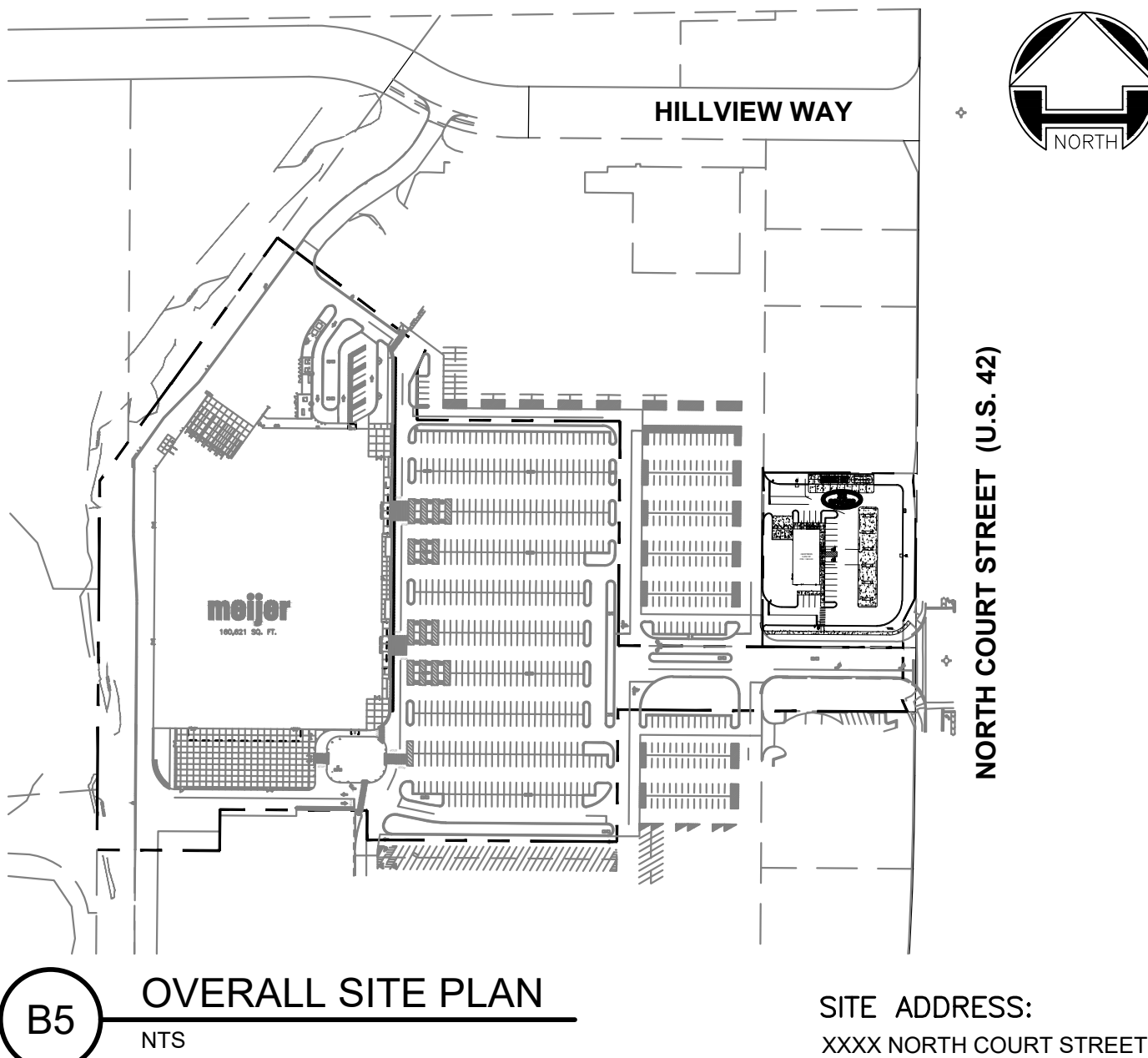
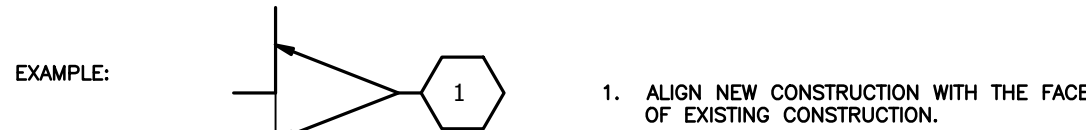
SURVEY

EXISTING TOPOGRAPHY IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY WOOLPERT, IN MEDINA, OHIO, COMPLETED ON AUGUST 20, 2025.

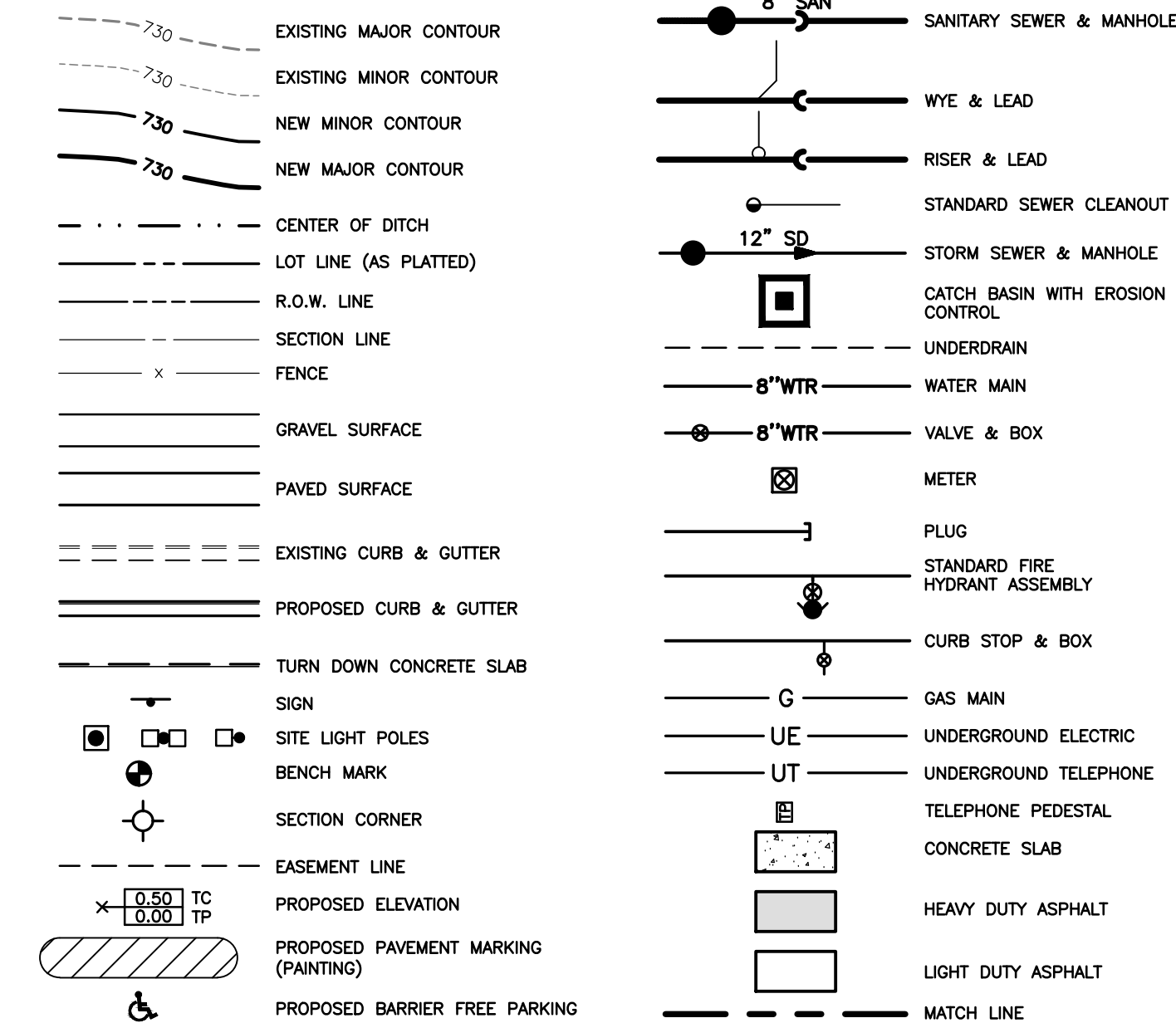
GEOTECHNICAL

SHEET KEYNOTE INSTRUCTIONS

SHEET KEYNOTES ARE NOTED WITHIN THE GRAPHIC AREA OF THE DRAWING. THESE ARE REPRESENTED BY A NUMBER SURROUNDED BY A HEXAGON, WITH OR WITHOUT A LEADER. A LEGEND ON THE RIGHT SIDE OF THE PAGE LISTS THE NOTES IN NUMERICAL ORDER.



SYMBOL LEGEND



ABBREVIATIONS

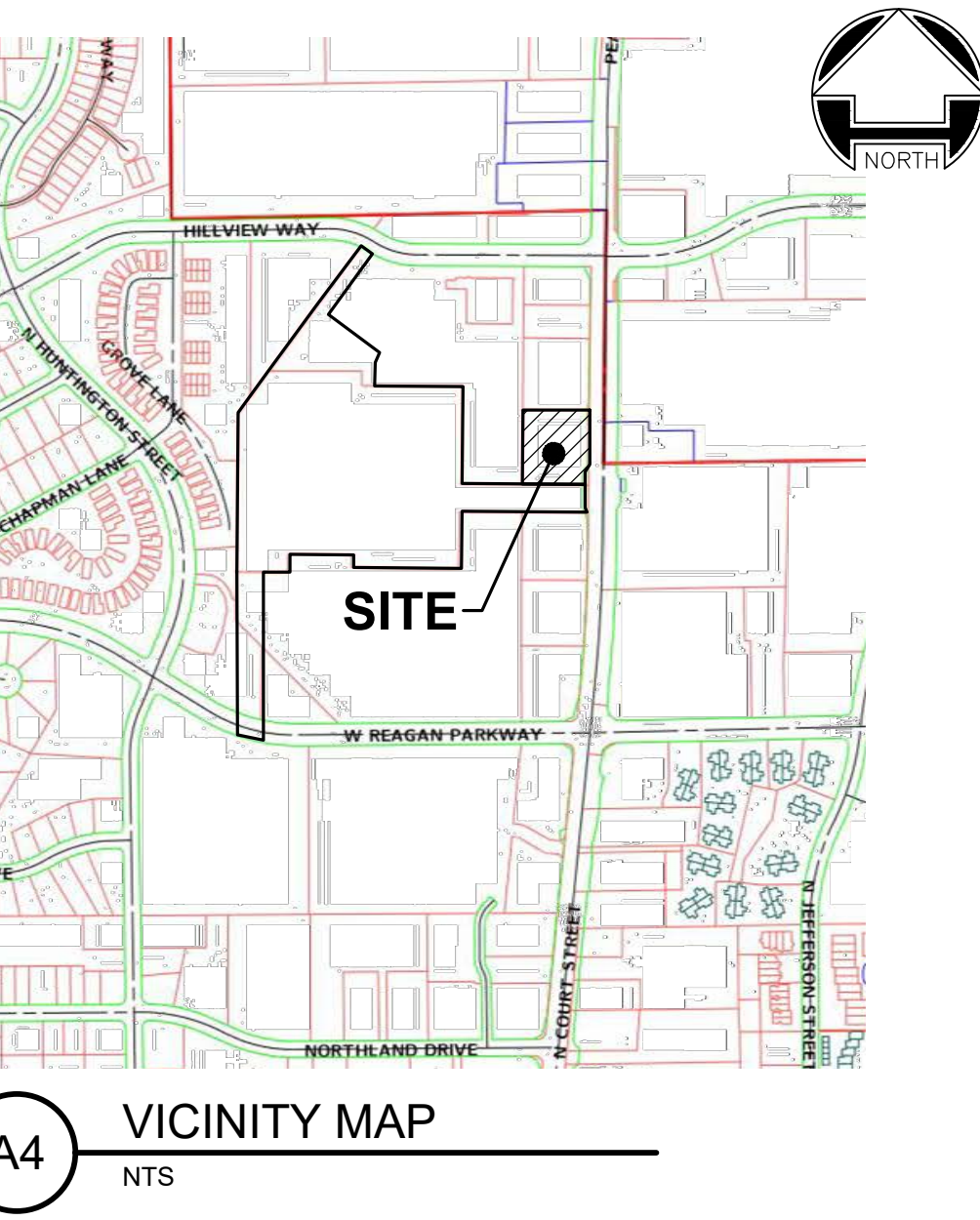
A	ALT	AREA	MAT'L	MATERIAL
AMP	AMP	ALTERNATE	MAX	MAXIMUM
ARCH	ARCH	ARCHITECTURAL	MECH	MECHANICAL
ASTM	ASTM	AMERICAN SOCIETY FOR TESTING & MATERIALS	MH	MANHOLE
B/C	B/C	BACK OF CURB	(N)	NORTH
BIT	BIT	BITUMINOUS PAVEMENT	OC	ON CENTER
BM	BM	BENCH MARK	OSHA	OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION
C	C	CONDUIT	PC	POINT OF CURVATURE
CAL	CAL	CALIPER	PE	POLYETHYLENE
CB	CB	CATCH BASIN	PH	PHASE
CFH	CFH	CUBIC FEET PER HOUR	PSI	POUNDS PER SQUARE INCH
C.I.	C.I.	CURB ISLAND	PT	POINT OF TANGENCY
CIR	CIR	CIRCUIT	PVC	POLYVINYL CHLORIDE
CONC	CONC	CONCRETE	PVMT	PAVEMENT
DIA	DIA	DIAMETER	R	RADIUS
EAST	EAST	EAST	RCP	REINFORCED CONCRETE PIPE
E.I.F.S.	E.I.F.S.	EXTERIOR INSULATION FINISHING SYSTEM	RE	REFERENCE
EL. ELEV	EL. ELEV	ELEVATION	REQ'D	REQUIRED
EQ	EQ	EQUIVALENT	ROW	RIGHT-OF-WAY
ES	ES	END SECTION	RW	RETAINING WALL
ETC	ETC	ETCETERA	(N)	NORTH
ETCETERA	ETCETERA	ETCETERA	SAN	SANITARY SEWER
FB	FB	FIRE HYDRANT	SB	SOIL BORING
FINISHED FLOOR	FINISHED FLOOR	FINISHED FLOOR	SP	SQUARE FEET
FT²	FT²	FOOT SQUARE	SQ	SQUARE
GND, GRD	GND, GRD	GROUND	STM	STORM SEWER
GP	GP	GUTTER PAN	STRUC	STRUCTURE
GPD	GPD	GALLONS PER DAY	TC	TOP OF CURB
GPM	GPM	GALLONS PER MINUTE	TEL	TELEPHONE
GV&BOX	GV&BOX	GATE VALVE AND BOX	TRF	TRANSFORMER
HC	HC	HEAVY DUTY	TRNF	TRANSFORMER
HD	HD	HEAVY DUTY	TS	TOP OF SLAB
HEX	HEX	HEIGHT	TW	TOP OF WALL
HT	HT	INVERT ELEVATION	TY	TYPICAL
IE	IE	INVERT ELEVATION	UC	UTILITY CROSSING
KVA	KVA	KILOVOLT AMPERE	UD	UNDER DRAIN
LBS	LBS	POUNDS	W	WEST
LD	LD	LIGHT DUTY	(W)	WEST
LED	LED	LIGHT EMITTING DIODE	W	WITH
LF	LF	LINEAR FEET	WC	WATER COLUMN
LARGE	LARGE	LARGE	WTR	WATER
MANUF	MANUF	MANUFACTURE	WWF	WELDED WIRE FABRIC

AGENCIES

- ZONING**  
CITY OF MEDINA  
COMMUNITY DEVELOPMENT DEPARTMENT  
132 N. ELMWOOD AVE.  
MEDINA, OH 44256  
ADUTTON@MEDINAOH.ORG  
(330) 722-9023
- SANITARY**  
MEDINA COUNTY SANITARY ENGINEERS  
791 W. SMITH ROAD, 44256  
MEDINA, OH 44256  
NINO PICCOLI, SERVICE DIRECTOR  
NPICCOLI@MEDINAOH.ORG  
(330) 722-9082
- WATER**  
CITY OF MEDINA WATER DEPARTMENT  
132 N. ELMWOOD AVE.  
MEDINA, OH 44256  
NINO PICCOLI, SERVICE DIRECTOR  
NPICCOLI@MEDINAOH.ORG  
(330) 722-9082
- STORMWATER/SWPPP**  
CITY OF MEDINA ENGINEERING DEPARTMENT  
132 N. ELMWOOD AVE.  
MEDINA, OH 44256  
PATRICK PATTON, CITY ENGINEER  
PPATTON@MEDINAOH.ORG  
(330) 721-4721
- BUILDING PERMITS**  
CITY OF MEDINA BUILDING DEPARTMENT  
132 N. ELMWOOD AVE.  
MEDINA, OH 44256  
DAN GLADISH, BUILDING OFFICIAL  
DGLADISH@MEDINAOH.ORG  
(330) 725-0521

- ELECTRIC**  
FIRST ENERGY-OHIO. EDISON  
341 WHITE POND DRIVE  
AKRON, OH 44320  
BRAD COWLING  
BCOWLING@FIRSTENERGYCORP.COM  
(440) 326-3238
- GAS**  
COLUMBIA GAS  
2901 E. MANHATTAN BLVD  
TOLEDO, OH 43611  
JAMIE BRIEHL  
JBRIEHL@NISOURCE.COM  
(419) 539-6049
- COMMUNICATIONS**  
EVERSTREAM  
HALEY SHAW  
HSHAW@EVERSTREAM.NET  
(517) 679-7598
- FIRE**  
CITY OF MEDINA FIRE DEPARTMENT  
CHIEF LARRY WALTERS  
LWALTERS@MEDINAOH.ORG  
(330) 725-1772
- POLICE**  
CITY OF MEDINA POLICE DEPARTMENT  
LIEUTENANT SCOTT MARCUM  
SMARCUM@MEDINAOH.ORG  
(330) 725-7777

VICINITY MAP



**DEVELOPER:**  
MEIJER STORES LIMITED PARTNERSHIP  
MICHAEL FLICKINGER, VICE PRESIDENT – REAL ESTATE & STORE DEVELOPMENT  
2350 THREE MILE ROAD  
GRAND RAPIDS, MI 49544  
(616) 453-9711

**OWNER:**  
POLATSEK BROTHER CO LLC  
400 W 48TH AVE ATT TAX DEPT  
DAYTON, OH 45430  
(937) 531-1691

**ENGINEER:**  
WOOLPERT INC.  
BRIAN L. SMALLWOOD, P.E.  
4454 IDEA CENTER BLVD  
DAYTON, OH 45430  
(937) 531-1691



MEIJER STORE MED2  
NORTH COURT STREET  
MEDINA, OHIO 44256

COVER SHEET

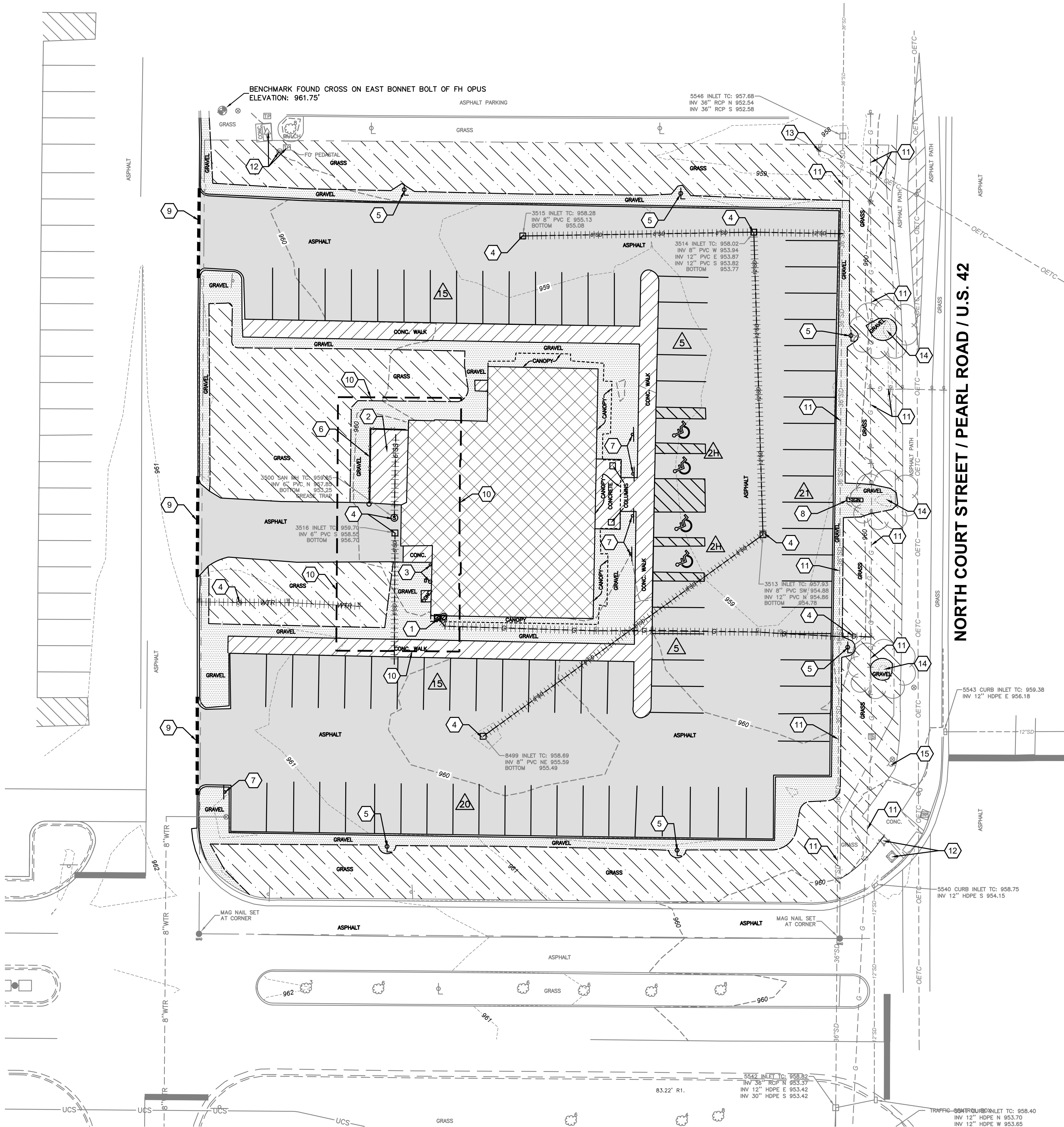
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CONSTRUCTION	MM/DD/YY
PROJECT MANAGER	DESIGNER
BLS	ASJ

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### EXISTING LEGEND

- 901 EXISTING 1" CONTOUR
- 900 EXISTING 6" CONTOUR
- SD STORM SEWER
- SS SANITARY SEWER
- WTR WATER LINE
- G GAS LINE
- OE OVERHEAD ELECTRIC
- OETC OVERHEAD ELECTRIC, TELEPHONE AND CABLE
- FENCE
- WOOD STOCKADE FENCE
- TREE LINE
- CATCH BASIN
- CURB INLET
- STORM MANHOLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- SPRINKLER CONTROL VALVE
- GAS REGULATOR
- GAS VALVE
- ELECTRIC METER
- POWER POLE
- TELEPHONE/POWER/ CABLE POLE
- LIGHT POLE
- GUY POLE
- GUY WIRE
- SIGN
- DECIDUOUS TREE
- CONIFEROUS TREE
- BENCHMARK
- IRON PIN FOUND
- IRON PIPE FOUND

### DEMOLITION LEGEND

- CONTRACTOR SHALL DEMOLISH AND REMOVE EXISTING BUILDING AND ITS CONTENTS IN THEIR ENTIRETY. CONTRACTOR SHALL DEMOLISH AND REMOVE STRUCTURAL SLAB, REMOVE ALL FOUNDATIONS AND UTILITIES BENEATH THE SLAB IN THEIR ENTIRETY.
- REMOVE FULL DEPTH ASPHALT PAVEMENT AND CONCRETE CURB.
- REMOVE FULL DEPTH CONCRETE PAVEMENT, CURB AND WALK.
- REMOVE FULL DEPTH GRAVEL.
- REMOVE VEGETATION IN ENTIRETY.
- UTILITY LINE TO BE REMOVED.
- SAWCUT PAVEMENT/SIDEWALK.

### GENERAL NOTES

- PLANIMETRIC FEATURES SHOWN HEREON ARE BASED UPON A FIELD SURVEY COMPLETED BY WOOLPERT, INC. ON JUNE 14, 2023 AND WILL NOT REFLECT ANY CHANGES TO THE PHYSICAL SITE THROUGH MANMADE OR NATURAL OCCURRENCES BEYOND SAID DATE.
- ANY USE OF THIS DRAWING BY PARTIES NOT CONTRACTED DIRECTLY WITH WOOLPERT OR CERTIFIED TO ON THIS DRAWING IS PROHIBITED WITHOUT PRIOR WRITTEN PERMISSION.
- ONLY THE IMPROVEMENTS THAT WERE VISIBLE FROM ABOVE GROUND AT TIME OF SURVEY, THROUGH A NORMAL SEARCH AND WALK THROUGH OF THE SITE, ARE SHOWN ON THE FACE OF THIS PLAT. THIS SURVEY MAY NOT REFLECT ALL UTILITIES OR IMPROVEMENTS, IF SUCH ITEMS ARE HIDDEN BY LANDSCAPING, OR ARE COVERED BY SUCH THINGS AS DUMPSTERS, TRAILERS, SNOW, ETC.
- ACCORDING TO THE FLOOD INSURANCE RATE MAPS - MAP NUMBER 39103C016D, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY WITH AN EFFECTIVE DATE OF AUGUST 4, 2008, WHICH ARE THE MOST CURRENT FLOOD INSURANCE RATE MAPS AVAILABLE ON FEMA'S WEBSITE, THIS SITE IS LOCATED IN ZONE "X" (NO SHADING) - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- RECYCLED CONCRETE MATERIAL IS DEFINED AS CRUSHED CONCRETE SLAB, FOUNDATIONS, CURBS AND SIDEWALK, ALONG WITH THE GRANULAR BASE MATERIAL ASSOCIATED WITH THESE ITEMS (EXCLUDES CRUSHED CONCRETE BLOCK). THIS MATERIAL SHALL BE CRUSHED AND/OR PROCESSED TO BE IN ACCORDANCE WITH MEIJER SPECIFICATIONS AND CAN BE USED AS FOLLOWS:
  - MASS GRADING AND GENERAL FILL AREAS.
  - UTILITY TRENCH BACKFILL (EXCEPT FOR PIPE BEDDING).
  - SUBGRADE FILL MATERIAL DIRECTLY UNDER THE ASPHALT AND CONCRETE PAVEMENT SECTIONS. (MATERIAL SHALL NOT BE USED AS PART OF THE PAVEMENT SECTIONS).
  - BACKFILL MATERIAL AROUND THE UNDERGROUND DETENTION SYSTEM (MATERIAL SHALL NOT BE USED AS PIPE BEDDING). IF USED IN THIS APPLICATION, CONTRACTOR MUST DEMONSTRATE THAT THE MATERIAL MEETS THE REQUIRED GRADATION SPECIFICATIONS AND THAT THE MATERIAL IS FREE OF CONTAMINATION.

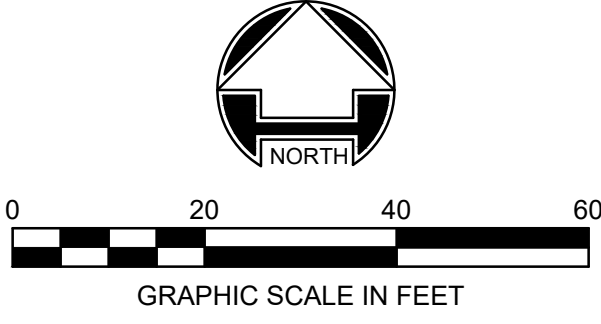
### DEMOLITION NOTES

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO READ AND THOROUGHLY COMPREHEND THE ITEMS IDENTIFIED IN THE PRE-DEMOLITION HAZARDOUS MATERIALS ASSESSMENT CONDUCTED BY EA GROUP DATED APRIL 17, 2023. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE IN A LAWFUL MANNER ALL HAZARDOUS MATERIALS IDENTIFIED WITHIN THIS REPORT IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION DEBRIS IN A LEGAL MANNER IN ACCORDANCE WITH ALL APPLICABLE COVERING CRITERIA. UPON COMPLETION OF DEMOLITION WORK, CONTRACTOR SHALL CLEAR SITE OF ALL DEBRIS.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITY SERVICES TO EXISTING ADJACENT BUILDINGS TO REMAIN. CONTRACTOR TO COORDINATE WITH EXISTING BUILDING OWNER(S) SHOULD ANY SERVICE INTERRUPTIONS BE REQUIRED.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING DISCONNECTION OF ALL UTILITIES WITH APPROPRIATE AGENCY AS NECESSARY.
- CONTRACTOR SHALL CONTACT CITY OF MEDINA WATER DEPARTMENT TO COORDINATE ALL WATER SHUT OFFS. A SEPARATE FEE MAY BE REQUIRED. CONTRACTOR SHALL COORDINATE FEE AMOUNT WITH CITY OF MEDINA. CONTRACTOR IS RESPONSIBLE FOR THIS FEE AND SHALL INCLUDE IN BASE BID.
- CONTRACTOR SHALL ENSURE THAT ALL APPROPRIATE MEASURES ARE IN PLACE SHOULD A RAIN EVENT OCCUR DURING THE REMOVAL AND/OR CONSTRUCTION OF THE STORM AND SANITARY SEWER SYSTEMS TO MAINTAIN FLOW TO THE APPROPRIATE SYSTEMS.
- PROVIDE CAP OR PLUG AT TRANSITION FROM EXISTING TO ABANDONED OR REMOVED UTILITIES PER AGENCY REQUIREMENTS.
- VOIDS CREATED BY REMOVAL OF EXISTING ITEMS, SUCH AS LIGHT POLES, SIGNS, ETC., SHALL BE FILLED IN ACCORDANCE WITH MEIJER SPECIFICATIONS.
- REMOVE ALL STORM LINES AND OTHER UTILITIES ENCOUNTERED ON THE SITE THAT ARE NOT SHOWN ON THE SURVEY. REMOVE UTILITY SERVICE LINES, STRUCTURES (SUCH AS VALVES, ETC.) TO MAIN LINE AND CAP PER AGENCY REQUIREMENTS.
- REMOVE METERS, POLES, AND APPURTENANCES ASSOCIATED WITH REMOVED/ABANDONED UTILITIES ATTACHED/ADJACENT TO EXISTING BUILDINGS TO BE DEMOLISHED IN ACCORDANCE WITH APPROPRIATE AGENCY REQUIREMENTS.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS TO PERFORM WORK ON THE OWNER'S PROPERTY.
- CONTRACTOR RESPONSIBLE FOR COORDINATING TEMPORARY POWER TO SITE.
- FIRE EMERGENCY VEHICLE ACCESS MUST BE MAINTAINED DURING CONSTRUCTION.
- PORTABLE FIRE EXTINGUISHERS MUST BE READILY AVAILABLE TO CONSTRUCTION CREWS DURING CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION TO VERIFY SITE CONDITIONS. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND PLAN DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE MEIJER PROJECT MANAGER IMMEDIATELY.
- OPEN BURNING ON SITE IS PROHIBITED.
- COORDINATE WITH FIRST ENERGY FOR REMOVAL OF ELECTRIC EQUIPMENT ON SITE. CONTACT BRAD COWLING AT 440.328.3208. BCOWLING@FIRSTENERGY.COM.
- COORDINATE WITH COLUMBIA GAS FOR REMOVAL OF GAS EQUIPMENT ON SITE. CONTACT JAMIE BRIEHL AT 419.539.6049. JBRIEHL@NISOURCE.COM.
- SEE SWPPP PLAN SHEETS C-310 THRU C-312 FOR LOCATION OF TEMPORARY CONSTRUCTION FENCE.

### DEMOLITION KEYNOTES

- REMOVE GAS EQUIPMENT. CONTRACTOR TO COORDINATE WITH COLUMBIA GAS FOR ANY NECESSARY GAS SERVICE DISCONNECTION AND EQUIPMENT REMOVAL.
- REMOVE DUMPSTER.
- REMOVE BOLLARD IN ITS ENTIRETY.
- REMOVE UTILITY STRUCTURE IN ITS ENTIRETY.
- REMOVE LIGHT POLE AND BASE IN ITS ENTIRETY.
- REMOVE FENCE AND ANY ASSOCIATED POST FOUNDATIONS.
- REMOVE SIGN, POST, AND ANY ASSOCIATED FOUNDATION IN ITS ENTIRETY.
- REMOVE DEVELOPMENT SIGN INCLUDING FOUNDATION IN ITS ENTIRETY.
- SAWCUT PAVEMENT/CURB/SIDEWALK.
- PROPOSED BUILDING FOOTPRINT.
- EXISTING UTILITY TO BE MAINTAINED DURING CONSTRUCTION.
- EXISTING UTILITY EQUIPMENT TO REMAIN.
- EXISTING UTILITY POLE TO REMAIN.
- EXISTING TREE TO REMAIN.
- CONTRACTOR TO USE CAUTION IN AREA OF EXISTING HYDRANT TO REMAIN.

THE BASIS OF ELEVATIONS HEREON IS NAVD 88 PER OBSERVATIONS OF SELECTED STATIONS IN THE NATIONAL GEODETIC SURVEY CONTINUOUSLY OPERATING REFERENCE STATION (NGS CORS) NETWORK. CROSS ON THE EAST BONNET BOLT OF FIRE HYDRANT - SEE DRAWING FOR LOCATION.  
ELEVATION = 961.75'



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GRAND RAPIDS, MICHIGAN 49544  
(616) 453-6711

REV.	DATE	DESCRIPTION

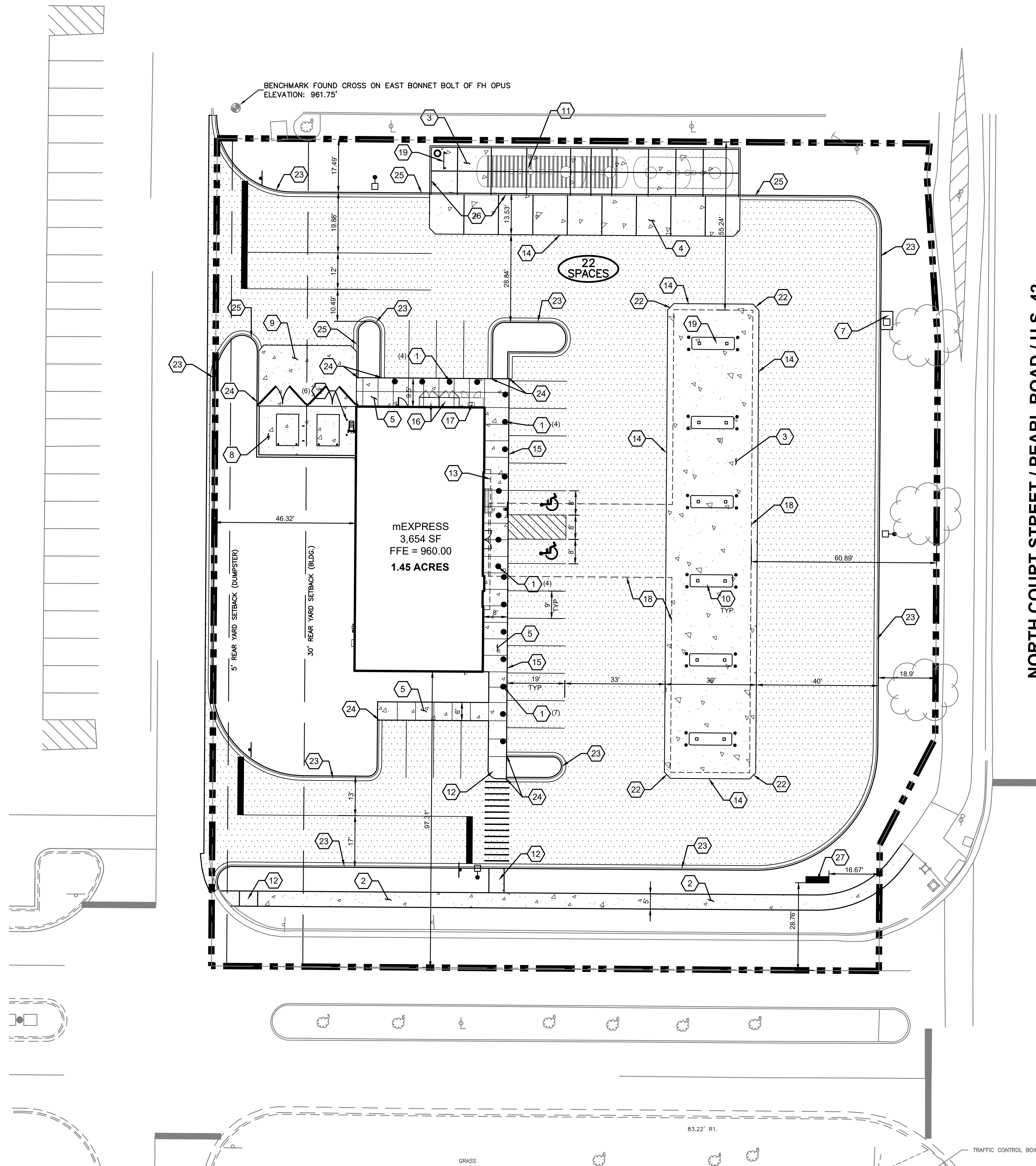
MEIJER STORE MED2  
NORTH COURT STREET  
MEDINA, OHIO 44256  
**EXISTING CONDITIONS - DEMOLITION PLAN**

ISSUED FOR:	
PERMIT	MM/DD/YY
BID	MM/DD/YY
CONSTRUCTION	MM/DD/YY

PROJECT MANAGER	DESIGNER
BLS	ASJ








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**C-100**



**A1** SITE LAYOUT / PAVEMENT PLAN  
SCALE: 1"=20'

## LEGEND

- |   |                      |
|---|----------------------|
|  | MEIJER LIGHT POLE    |
|  | 9'-6" PARKING SPACE  |
|  | BARRIER FREE PARKING |
|  | CONCRETE PAVEMENT    |
|  | HEAVY DUTY ASPHALT   |
|  | LIGHT DUTY ASPHALT   |
|  | MEIJER PROPERTY LINE |

## GENERAL NOTES

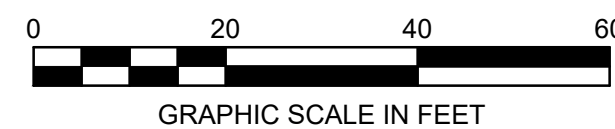
1. NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
2. DIMENSIONS AND/OR COORDINATES ARE TO BACK OF CURB, FACE OF BUILDING (FACE OF PRECAST), EDGE OF PAVEMENT OR CENTER OF STRUCTURE OR SIGN. VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
3. BUILDING SLABS, UNDERBED THICKNESS AND LOCATIONS ARE SHOWN FOR REFERENCE. VERIFY WITH STRUCTURAL DRAWINGS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING TO ACCOMPLISH ALL WORK INDICATED ON PLANS AND PERFORM REQUIRED COMPLETION OPERATIONS.
5. PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS AND FOR PUBLIC SAFETY AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.
6. NO EQUIPMENT OR MATERIAL STORAGE IS PERMITTED IN THE RIGHT-OF-WAY.
7. WORK SHALL CONFORM TO THE REQUIREMENTS OF MEJER STANDARD SPECIFICATIONS, GOVERNING AGENCIES HAVING JURISDICTION, GRADING, PAVING AND MATERIALS SHALL COMPLY WITH THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AS WELL AS PROJECT SPECIFICATIONS AND DRAWINGS. IN CASE OF DISCREPANCIES BETWEEN REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.
8. EXTERIOR CONCRETE SLABS ADJACENT TO BUILDING SHALL BE PLACED ON 4" STRUCTURAL CUSHION, UNLESS NOTED OTHERWISE.
9. RADI ARE 4" UNLESS OTHERWISE NOTED.
10. PROPOSED SITE IS LOCATED IN ZONE X, AREA OF MINIMAL FLOOD HAZARD. REFERENCE FEMA FIRM PLAN, 391303C016D EFFECTIVE DATE 08/04/2008.

SITE DATA TABLE	
ZONING	C-3
PROPOSED LAND USE	MOTOR VEHICLE FILLING STATION W/ CONVENIENCE RETAIL
SITE AREA	1.45 ACRES
BUILDING AREA	3,654 SF = 0.08 ACRES
OPEN SPACE AREA	0.37 ACRES

PARKING SUMMARY	
mEXPRESS	
STANDARD PARKING	20
VAN ACCESSIBLE	2
TOTAL PARKING	22
REQUIRED BY CODE	18

## KEYNOTES

1. BOLLARD/GUARD POST. SEE A-001 FOR mEXPRESS BOLLARD/GUARD POST TYPES.
2. 4" CONCRETE WALK ON 4" AGGREGATE BASE.
3. 6" CONCRETE SLAB ON 4" AGGREGATE BASE.
4. 8" CONCRETE SLAB ON 4" AGGREGATE BASE.
5. 4" CONCRETE SIDEWALK ON 4" AGGREGATE BASE. REFER TO mEXPRESS STRUCTURAL DRAWINGS FOR SIDEWALK DETAILS.
6. NOT USED.
7. CONCRETE PAD FOR AIR COMPRESSOR/VACUUM AND TRASH RECYCLE. 2'-8" X 3'-0" X 8" THICK SLAB WITH (3) #4 EACH EACH MID DEPTH. TOP OF SLAB TO BE LEVEL, 1" MINIMUM ABOVE GRADE. SEE DETAIL A2 ON C-701.
8. TRASH DUMPSTER ENCLOSURE AND PAD. REFER TO mEXPRESS ARCHITECTURAL PLANS FOR DETAILS.
9. CONCRETE APRON FOR DUMPSTER ENCLOSURE. REFER TO mEXPRESS ARCHITECTURAL PLANS FOR DETAILS.
10. DISPENSER ISLANDS AND CONCRETE PAD. CONSTRUCTION TO BE PERFORMED BY FUEL SYSTEM CONTRACTOR. LOCATION ON C-200/C-201 FOR REFERENCE ONLY.
11. FUEL TANKS AND CONCRETE PADS SHOWN AS REFERENCE INFORMATION ONLY. TANKS AND FUELING SYSTEM PROVIDED BY FUEL SYSTEM CONTRACTOR.
12. ADA RAMP WITH TOOLED GROOVES.
13. BUILDING CANOPY ABOVE.
14. THICKENED BITUMINOUS PAVEMENT EDGE.
15. THICKENED BITUMINOUS PAVEMENT EDGE/UNDERDRAIN AT BUILDING FRONT SIDEWALK.
16. PROPANE EXCHANGE BIN AND BOLLARDS. REFER TO mEXPRESS ARCHITECTURAL DRAWINGS.
17. ICE STORAGE CHEST.
18. FUEL ISLAND CANOPY INSTALLED BY FUEL SYSTEM CONTRACTOR. (REFER TO FUEL ISLAND CANOPY DRAWINGS.)
19. DIESEL/GASOLINE DISPENSER CLOSEST TO STORAGE TANKS (BY OTHERS).
20. UST VENT RISER, BY FUEL SYSTEM CONTRACTOR.
21. NOT USED.
22. 2" CHAMFER (TYP.).
23. STRAIGHT CURB AND GUTTER. SEE DETAIL E6 ON C-703.
24. TRANSITION CURB HEIGHT FROM 6" HEIGHT TO 0" IN 2'.
25. CURB TRANSITION IN 2'.
26. CURB ACROSS FUEL STORAGE TANKS PAD TO BE PLACED BY THE FUEL CONTRACTOR. ALL OTHER CURB BY SITE CONTRACTOR.
27. MEJER MONUMENT SIGN WITH GAS PRICER. SEE DETAIL D3 ON SHEET C-501.



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Dayton, OH 45430  
937.461.5660**

**meijer**

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GRAND RAPIDS, MICHIGAN 49544  
(616) 453-6711

[illegible]

MEIJER STORE MED2  
NORTH COURT STREET  
MEDINA, OHIO 44256

# SITE LAYOUT - PAVEMENT PLAN

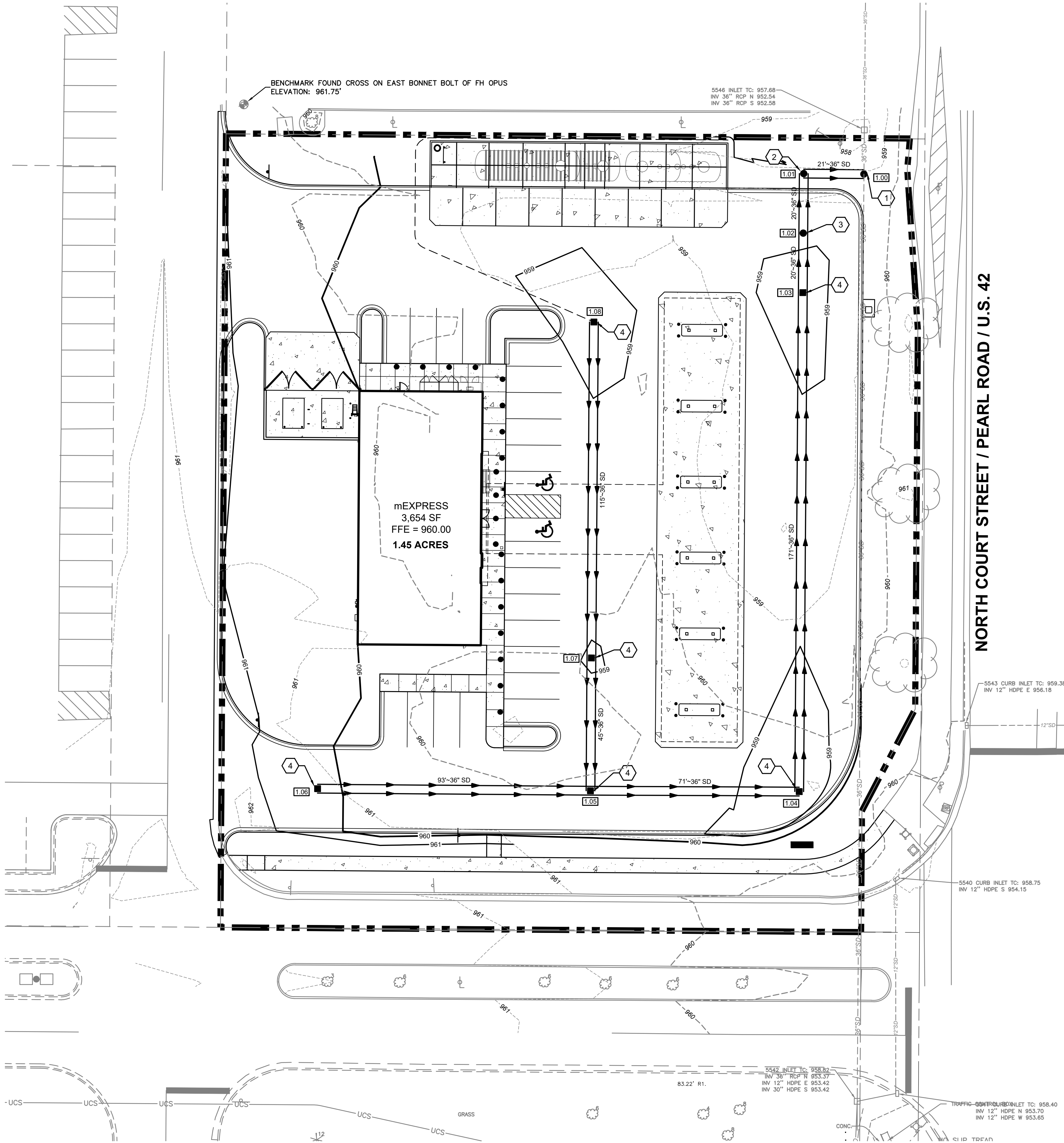
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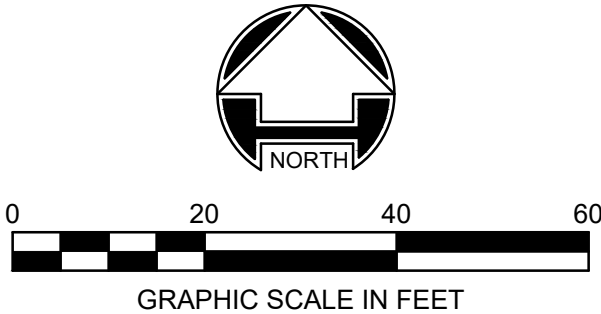
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A1 SITE GRADING - DRAINAGE PLAN

SCALE: 1"=20'

THE BASIS OF ELEVATIONS HEREON IS NAVD 88 PER  
OBSERVATIONS OF SELECTED STATIONS IN THE NATIONAL  
GEODETIC SURVEY CONTINUOUSLY OPERATING REFERENCE  
STATION (NGS CORN) NETWORK.  
CROSS ON THE EAST BONNET BOLT OF FIRE HYDRANT -  
SEE DRAWING FOR LOCATION.  
ELEVATION = 961.75'



GRADING NOTES

1. CONTOURS SHOWN ARE FOR REFERENCE ONLY.
2. PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT, BUILDING PAD, OR GREEN AREAS.
3. FOR ALL CURB ISLANDS, CENTER OF ISLANDS TO BE A MINIMUM OF 6" HIGHER THAN TOP OF CURB.
4. RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH AT A MINIMUM EXISTING CONDITIONS.
5. CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
6. FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.1 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATIONS AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISHED DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION.
7. VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
8. UTILITIES SHALL END 5 FEET FROM THE BUILDING UNLESS NOTED OTHERWISE.
9. PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITIES.
10. ALL MATERIAL SPECIFICATIONS, AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH MEIJER STANDARD SPECIFICATIONS AND THOSE OF THE APPROPRIATE UTILITY COMPANIES.
11. BEFORE COMMENCING WORK, CONTRACTOR SHALL VERIFY ALL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES.
12. PROPOSED SITE IS LOCATED IN ZONE X, AREA OF MINIMAL FLOOD HAZARD. REFERENCE FEMA FIRM PANEL **39103C0161D** EFFECTIVE DATE 08/04/2008.

LEGEND

- PROPERTY LINE
- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- EXISTING STORM SEWER
- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR
- STORM SEWER
- UNDERDRAIN
- MANHOLE
- DRAINAGE BASIN
- CLEANOUT
- STORM STRUCTURE ID NUMBER

KEYNOTES

1. CONNECT TO EXISTING UTILITY PER AGENCY REQUIREMENTS. CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITY IN WHICH TO MAKE CONNECTION.
2. STORMWATER OUTLET CONTROL STRUCTURE.
3. WATER QUALITY HYDRODYNAMIC SEPARATOR.
4. ENVIRONMENTAL CATCH BASIN.

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937.461.5660

meijer  
2929 WALKER AVENUE  
GRAND RAPIDS, MICHIGAN 49544  
(616) 453-6711

REV.	DATE	DESCRIPTION



MEIJER STORE MED2  
NORTH COURT STREET  
MEDINA, OHIO 44256

SITE GRADING - DRAINAGE PLAN

ISSUED FOR:	
PERMIT	MM/DD/YY
BID	MM/DD/YY
CONSTRUCTION	MM/DD/YY

PROJECT MANAGER	DESIGNER
BLS	ASJ

JOB NO.
10025357

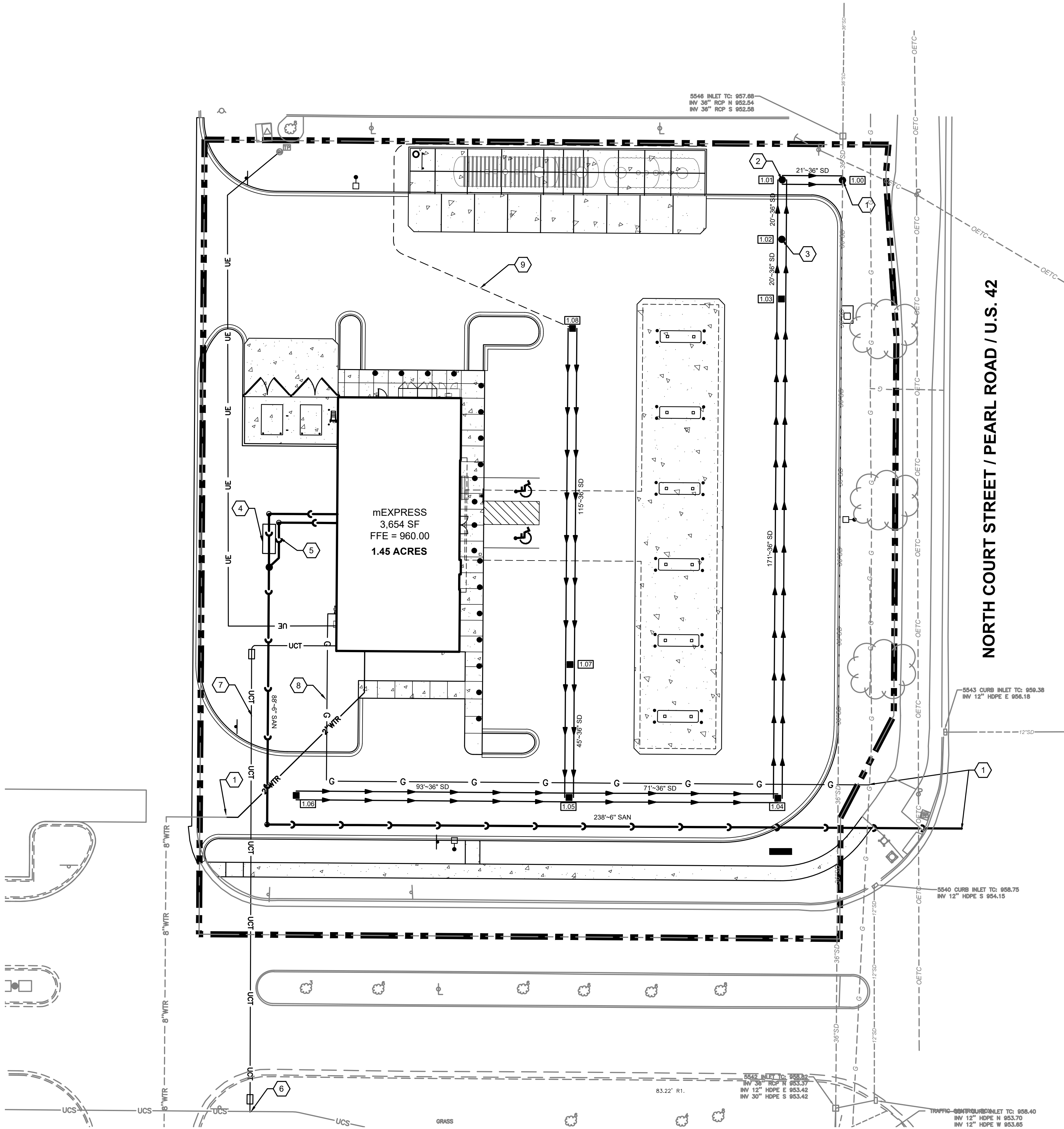
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A1 UTILITY PLAN  
SCALE: 1"=20'

### LEGEND

- CATCH BASIN
- CURB INLET
- MANHOLE
- CLEANOUT
- STORM SEWER
- UNDERDRAIN
- STORM STRUCTURE I.D.
- SANITARY SEWER
- SANITARY SERVICE
- SANITARY SEWER I.D.
- FIRE SERVICE
- 4"WTR
- DOMESTIC WATER SERVICE
- FIRE HYDRANT
- WATER VALVE
- TEE
- WATER BEND
- GAS SERVICE
- UCP
- UCS
- UNDERGROUND COMMUNICATIONS SERVICE
- UE
- UNDERGROUND ELECTRIC SERVICE
- LIGHT POLE

### GENERAL NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR ALL RESTORATION AND CLEAN-UP ASSOCIATED WITH THE INSTALLATION OF THE PROPOSED UTILITIES WITHIN THE PUBLIC RIGHT-OF-WAY AND EASEMENT.
- VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- UTILITIES SHALL END 5 FEET FROM THE BUILDING UNLESS NOTED OTHERWISE.
- PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITIES.
- ALL DIMENSIONS ARE TO COLUMN LINE, CENTERLINE OF PIPE, CENTER OF MANHOLE, EDGE OF PAVEMENT OR BACK OF CURB WHERE APPLICABLE. DIMENSIONS TO COLUMN LINE ASSUME 9" THICK BUILDING WALL.
- ALL MATERIAL, SPECIFICATIONS, AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH MEIJER STANDARD SPECIFICATIONS AND DETAILS AND CITY OF MEDINA AND MEDINA COUNTY.
- CONTRACTOR SHALL PERFORM FULL DEPTH REMOVAL AND REPLACEMENT OF EXISTING PAVEMENT PER MEIJER REQUIREMENTS AT PROPOSED UTILITIES INSTALLATION IN EXISTING PAVED AREAS.
- BEFORE COMMENCING WORK, CONTRACTOR SHALL VERIFY ALL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES.

### UTILITIES SUMMARY

ELECTRIC: SECONDARY SERVICE PREFERRED BASED ON RATE. PAD-MOUNT UTILITY OWNED TRANSFORMER, 600 AMP, 120/208V, 3PH, 4W SECONDARY SERVICE. TRANSFORMER SIZED AND FURNISHED BY UTILITY COMPANY.

PHONE: FED FROM MAIN STORE, TYPICALLY NO DEDICATED SERVICE.

GAS: 394 CFH @ 7" WC

WATER: 2" DIA., 1.5" METET, 50 GPM PEAK USE, 65 PSI AFTER BACKFLOW PREVENTER. 750 GPD SUMMER, 500 GPD NON-SUMMER.

FIRE PROTECTION: NOT REQUIRED.

SANITARY SEWER: 500 GPD AVG, 20 GPM PEAK

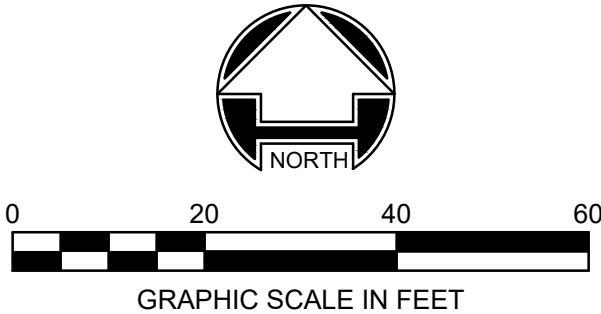
### WATER NOTES

- INSTALL WATER MAIN WITH A MINIMUM OF 5 FEET OF COVER.
- CONTRACTOR TO COORDINATE WITH CITY FOR INSPECTION OF INSTALLATION OF WATER LINES INCLUDING CONNECTIONS TO EXISTING. PROVIDE 48 HOURS NOTICE.
- ON SITE HYDRANTS SHALL FACE THE BUILDING.
- HYDRANTS LOCATED IN CURB ISLAND OR GREEN SPACE SHALL BE LOCATED 5' FROM BACK OF CURB OR EDGE OF PAVEMENT (TYP.).
- HYDRANTS SHALL BE MUELLER SUPERIOR CENTURIAN A 423 AND PAINTED OSHA YELLOW.
- INSTALL CONCRETE PADS FOR ALL HYDRANT VALVES IN NON-PAVED AREAS.
- SERVICES TWO (2) INCHES AND SMALLER SHALL BE TYPE "K" COPPER.
- SERVICES LARGER THAN TWO (2) INCHES SHALL BE C900 SDR 18.
- GATE VALVES SHALL BE USED FOR WATERLINES EIGHT (8) INCHES IN DIAMETER OR SMALLER. GATE VALVES SHALL CONFORM WITH CITY SPECIFICATIONS. FOR WATERLINES GREATER THAN EIGHT (8) INCHES IN DIAMETER, BUTTERFLY VALVES SHALL BE USED. BUTTERFLY VALVES SHALL CONFORM TO CITY SPECIFICATIONS.

### KEYNOTES

- CONNECT TO EXISTING UTILITY PER AGENCY REQUIREMENTS. CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITY IN WHICH TO MAKE CONNECTION.
- OUTLET CONTROL STRUCTURE.
- WATER QUALITY HYDRODYNAMIC SEPARATOR.
- GREASE INTERCEPTOR.
- GREASE INTERCEPTOR SANITARY VENT LINE.
- CONNECT TO (2) 2" SCHEDULE 40 PVC CONDUITS FOR COMM SECONDARY.
- UNDERGROUND COMMUNICATIONS SERVICE. (SEE SHEET C-800.)
- GAS SERVICE.
- 4" HDPE PERFORATED DRAIN WITH NYLON SOCK. INVERT = XXXX XX ADJACENT TO FUEL TANKS. CONNECT TO STRUCTURE 1.08. INSTALLATION AND FINAL DETERMINATION WILL BE DECISION OF FUEL SYSTEM DESIGNER.

THE BASIS OF ELEVATIONS HEREON IS NAVD 88 PER OBSERVATIONS OF SELECTED STATIONS IN THE NATIONAL GEODETIC SURVEY CONTINUOUSLY OPERATING REFERENCE STATION (NGS CORS) NETWORK. CROSS ON THE EAST BONNET BOLT OF FIRE HYDRANT - SEE DRAWING FOR LOCATION.  
ELEVATION = 961.75'



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GRAND RAPIDS, MICHIGAN 49544  
(616) 453-6711

REV.	DATE	DESCRIPTION



MEIJER STORE MED2  
NORTH COURT STREET  
MEDINA, OHIO 44256

UTILITY PLAN

ISSUED FOR:	
PERMIT	MM/DD/YY
BID	MM/DD/YY
CONSTRUCTION	MM/DD/YY
PROJECT MANAGER	DESIGNER
BLS	ASJ

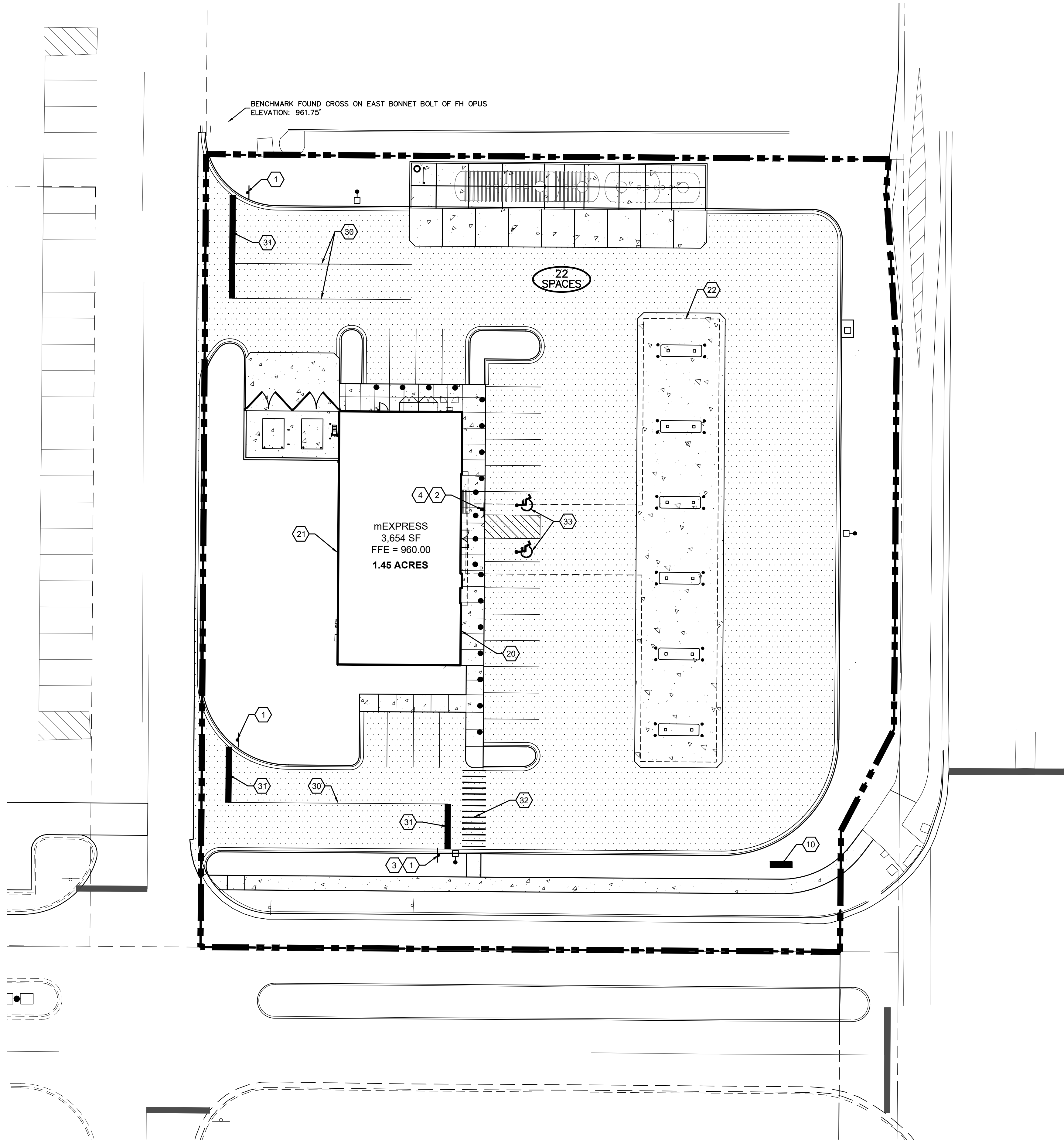
JOB NO.  
10025357

C-400

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A1 SITE LAYOUT / PAVEMENT PLAN

SCALE: 1"=20'



STRIPING LEGEND

- NO PARKING AREAS  
NO PARKING AREAS 4" YELLOW STRIPE  
@ 2' O.C. AT 45° TO PARKING SPACE
- ADA VAN ACCESSIBLE  
PROVIDED PARKING SPACE  
CONTAINS PAINTED MARKING. SEE  
DETAIL C1 ON C-701
- SIGN  
SEE KEYNOTE

PAVEMENT STRIPING NOTES

1. ALL DIMENSIONS MEASURED FROM BACK OF CURB, FACE OF BUILDING, EDGE OF PAVEMENT OR CENTER OF STRUCTURE OR SIGN.
2. ALL PAVEMENT MARKING SHALL BE YELLOW IN COLOR UNLESS NOTED OTHERWISE.
3. CROSSWALK STRIPING TO BE CENTERED ON THE BUILDING AND GARDEN CENTER ENTRANCES.
4. TRANSVERSE STRIPING WITHIN THE OUTDOOR GARDEN CENTER SHALL MATCH "NO PARKING AREA" STRIPING AS INDICATED IN THE SIGNAGE/STRIPING LEGEND.
5. REFER TO SHEET C-701 FOR SIGNAGE/STRIPING DETAILS.

BUILDING AND SITE SIGNAGE NOTES

1. LOCATE FIRE LANE SIGNS AT FRONT OF BUILDING AT THE EDGE OF CONCRETE SIDEWALK.
2. STOP SIGNS AND FIRE LANE SIGNS ALONG FRONT OF THE STORE TO BE ON MOVABLE CONCRETE BASES.
3. LOCATE FIRE LANE SIGNS ALONG THE GARDEN CENTER ATTACHED TO THE FENCE.
4. LOCATE FIRE LANE SIGNS ALONG BACK OF BUILDING AND THE TRUCK DOCK AREAS AT 2 FT. BEHIND PAVEMENT IN THE GRASS AREA.
5. INSTALL CART CORRALS PROVIDED BY OWNER.
6. WHEN TWO SIGNS ARE MOUNTED ON THE SAME POST, STOP SIGN AND TRUCK ROUTE SIGN SHALL BE THE TOP SIGN.

PARKING SUMMARY

mEXPRESS	
STANDARD PARKING	20
VAN ACCESSIBLE	2
TOTAL PARKING	22
REQUIRED BY CODE	18

KEYNOTES - POLE-MOUNTED SIGNAGE

1. "STOP" SIGN, SEE DETAIL B1 ON C-701.
2. "VAN ACCESSIBLE" PARKING SIGN AFFIXED TO CANOPY COLUMN, SEE DETAIL B6 ON C-701.
3. "PEDESTRIAN CROSSING" SIGN, SEE DETAIL XX ON C-501.
4. SIGN MOUNTED TO CANOPY COLUMN.

KEYNOTES - MONUMENT/PYLON SIGNAGE

10. MONUMENT SIGN WITH GAS PRICER, SEE DETAIL A4 ON C-501.

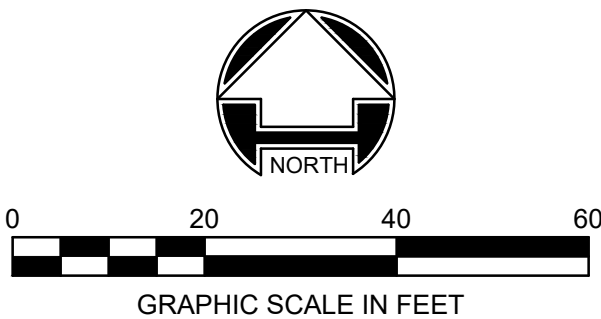
KEYNOTES - BUILDING SIGNAGE

20. mEXPRESS SIGN, SEE DETAIL C5 ON SHEET C-501.
21. mEXPRESS METAL SIGN, SEE DETAIL C4 ON SHEET C-501.
22. GAS CANOPY SIGN, SEE DETAIL E4 ON SHEET C-501.

KEYNOTES - STRIPING

30. 4" SINGLE SOLID LINE, WHITE.
31. 12" STOP LINE, WHITE.
32. CROSSWALK, SEE DETAIL C2 ON C-701.
33. ADA GRAPHIC AT ADA PARKING STALL, SEE C1 ON C-701.

THE BASIS OF ELEVATIONS HEREON IS NAVD 88 PER OBSERVATIONS OF SELECTED STATIONS IN THE NATIONAL GEODETIC SURVEY CONTINUOUSLY OPERATING REFERENCE STATION (NGS CORS) NETWORK. CROSS ON THE EAST BONNET BOLT OF FIRE HYDRANT - SEE DRAWING FOR LOCATION.  
ELEVATION = 961.75'



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REV.	DATE	DESCRIPTION



MEIJER STORE MED2  
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MEDINA, OHIO 44256

TRAFFIC CONTROL  
SIGNAGE-STRIPING PLAN

ISSUED FOR:	
PERMIT	MM/DD/YY
BID	MM/DD/YY
CONSTRUCTION	MM/DD/YY

PROJECT MANAGER	DESIGNER
BLS	ASJ

JOB NO.  
10025357

C-500

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[illegible]

**MEIJER STORE MED2**  
NORTH COURT STREET  
MEDINA, OHIO 44256

## LANDSCAPE PLAN

ISSUED FOR

PERMIT	MM/DD/YY
BID	MM/DD/YY
CONSTRUCTION	MM/DD/YY

PROJECT MANAGER	DESIGNER
BLS	ASJ

JOB NO. \_\_\_\_\_

10025357

# C-600

1. COORDINATE PLACEMENT OF PLANTS WITH UTILITY LOCATIONS AND SIGHT LINES TO BUILDING. MAKE ADJUSTMENTS AS REQUIRED TO AVOID PLANTING OVER THE UTILITIES AND/OR WITHIN SIGHT LINES TO ALL MEIJEER BUILDING SIGNAGE.
2. THE CENTER OF LARGE ISLANDS IS TO BE SIX INCHES HIGHER THAN TOP OF CURB. ENSURE ALL ISLANDS ARE SLOPED FOR POSITIVE DRAINAGE.
3. ALL AREAS THAT REQUIRE SEEDING SHALL RECEIVE 4" MINIMUM TOPSOIL, UNLESS NOTED OTHERWISE.
4. SEED ALL AREAS INDICATED ON THE LANDSCAPE PLAN, THE SOIL EROSION CONTROL PLAN AND ALL DISTURBED AREA. REVIEW AREAS OF SEEDING WITH CONSTRUCTION MANAGER PRIOR TO SEEDING. SEEDING SHALL BE PERFORMED BY THE CONTRACTOR WHICH ARE BEYOND THE LIMITS OF GRADING AND EARTHWORK SHALL BE SEEDDED AT NO ADDITIONAL COST TO THE OWNER.
5. TOPSOIL SHALL BE TESTED AND AMENDED AS NECESSARY DURING FINAL GRADING AND PREPARATION FOR SEEDING.
6. APPLY STRATIFIED FERTILIZER (16-32-4) AT 250 POUNDS/ACRE TO SEEDDED AREAS.
7. ALL LANDSCAPE ISLANDS SHALL BE 3" DEEP SHREDDED HARDWOOD MULCH EXCEPT AS NOTED. PLACE MULCH OVER WEED BARRIER FABRIC AND TREAT WITH PER-EMERGENT HERBICIDE.

MEDINA, OHIO PLANNING AND ZONING CODE

CHAPTER 1149: SCREENING AND LANDSCAPING

1145.09 (B) PARKING LOT LANDSCAPING

5 SF OF LANDSCAPE AREA TO BE PROVIDED PER 100 SF OF PARKING AREA

PARKING AREA: 3,876 SF  
LANDSCAPE AREA REQUIRED: 775 SF  
LANDSCAPE AREA PROVIDED: ~1,250 SF

SEED MIXTURE TYPE A

SHREDDED HARDWOOD MULCH TO 3" DEPTH, UNLESS NOTED OTHERWISE. SEE SPECIFICATIONS

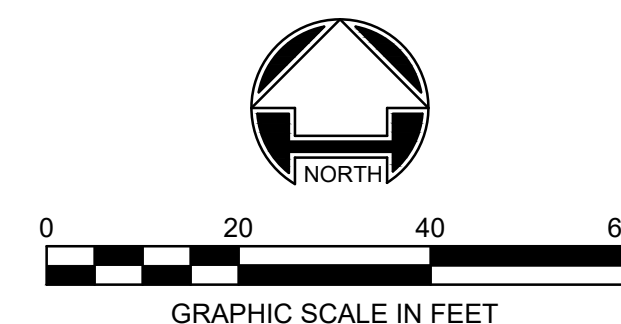
TAG	QTY	SCIENTIFIC NAME	COMMON NAME	COND.	SIZE	REMARKS
<b>TREE</b>						
OV	3	<i>Ostrya virginiana</i>	American Hophornbeam	B&B	2.5" caliper	Full, well-shaped, single-stem
<b>SHRUBS</b>						
JC	7	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	#3 cont.	24" height	Full, vigorous

\* QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES OF PLANTS ON LANDSCAPE PLAN.

## A5

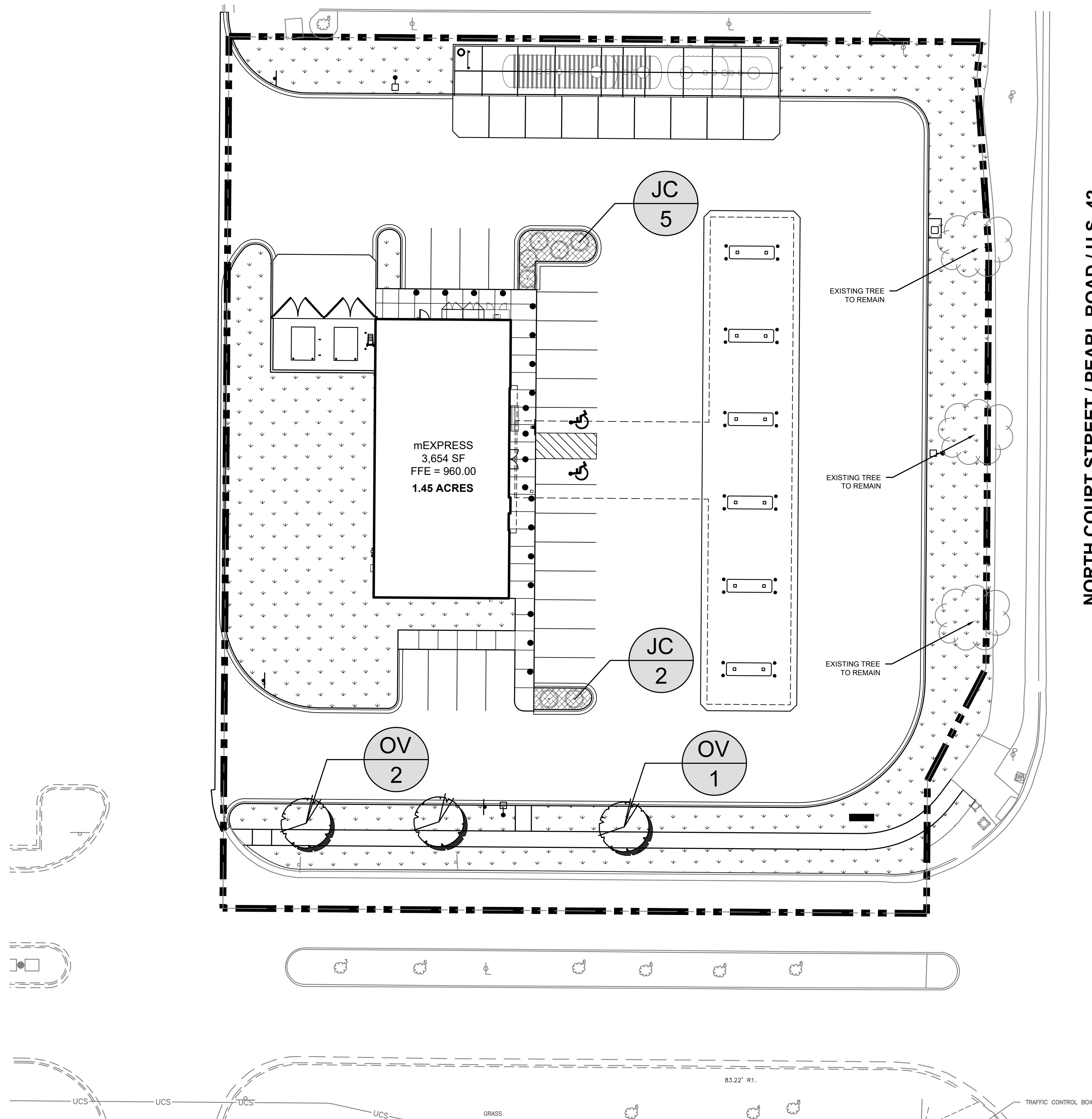
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THE BASIS OF ELEVATIONS HEREON IS NAVD 88 PER  
OBSERVATIONS OF SELECTED STATIONS IN THE NATIONAL  
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STATION (NGS CORS) NETWORK.  
CROSS ON THE EAST BONNET BOLT OF FIRE HYDRANT -  
SEE DRAWING FOR LOCATION.  
ELEVATION = 961.75'



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A1



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Luminaire Schedule					
Label	Qty	Arrangement	Tag	Description	LLF Luminaire Lumens
SB	3	Single		SIYE LIGHT, ARM MOUNTED, TYPE 4, BACKLIGHT CONTROL, 37,000 LUMEN, LED 22.5' POLE	0.900 26929
SM1	3	SINGLE		CANDPY, SURFACE MOUNTED, 8,000 LUMEN LED	0.900 8821
SM2	17	SINGLE		CANDPY, SURFACE MOUNTED, 13,000 LUMEN, LED	0.900 13636
WM3	2	SINGLE		WALL MOUNTED, 4,100 LUMEN, LED	0.900 4270

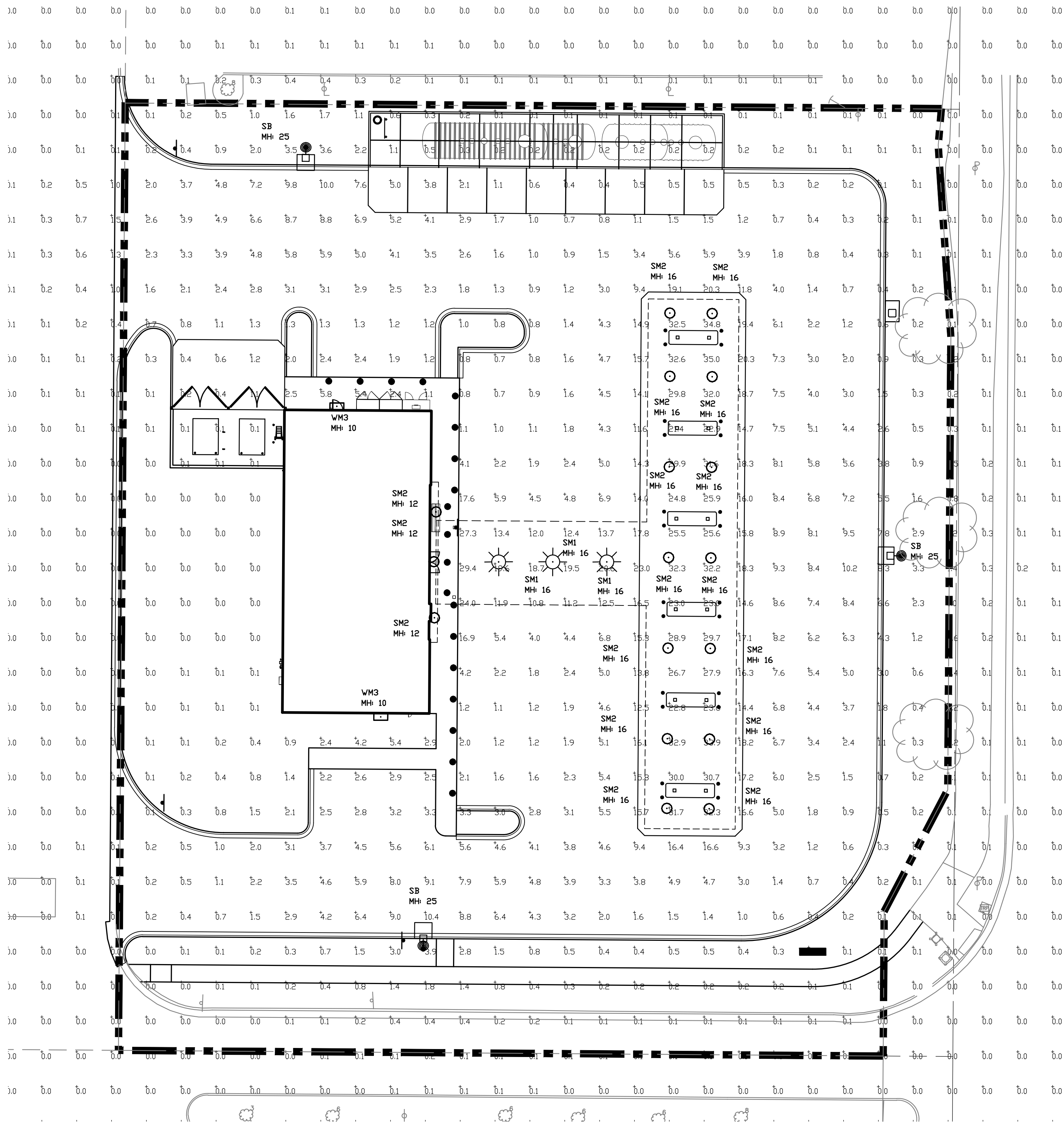
### E1 LUMINAIRE SHCHEDULE

NTS

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
OVERALL	1.52	35.0	0.0	N.A.	N.A.
GAS STATION - ENTRY WAY	13.98	29.4	1.1	12.71	26.73
GAS STATION - FUEL CANDPY	27.62	35.0	14.7	1.88	2.38
GAS STATION - WALK CANDPY	15.37	23.0	10.8	1.44	2.13

### D1 STATISTICAL AREA SUMMARY

NTS



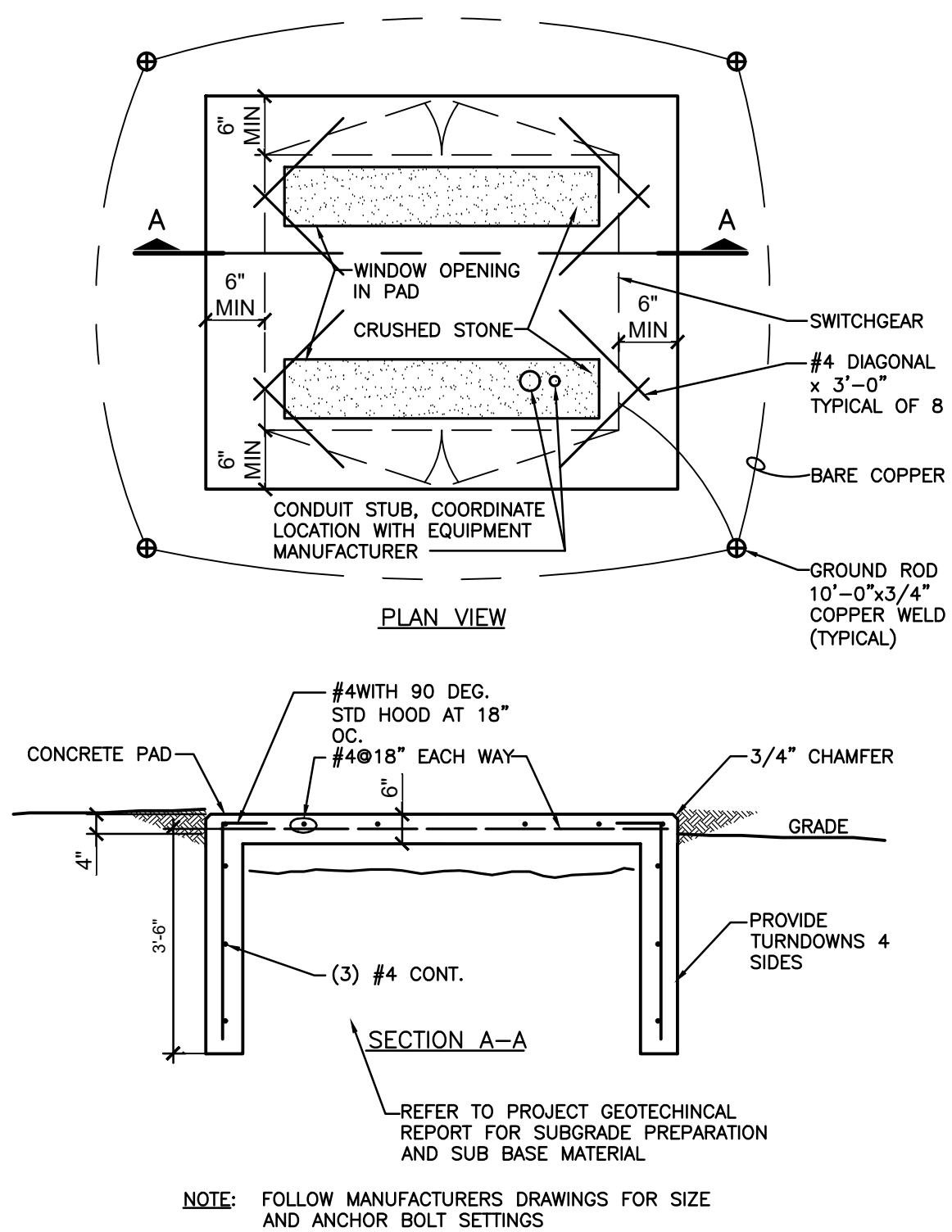
### A1 SITE PHOTOMETRIC PLAN

SCALE: 1"=20'



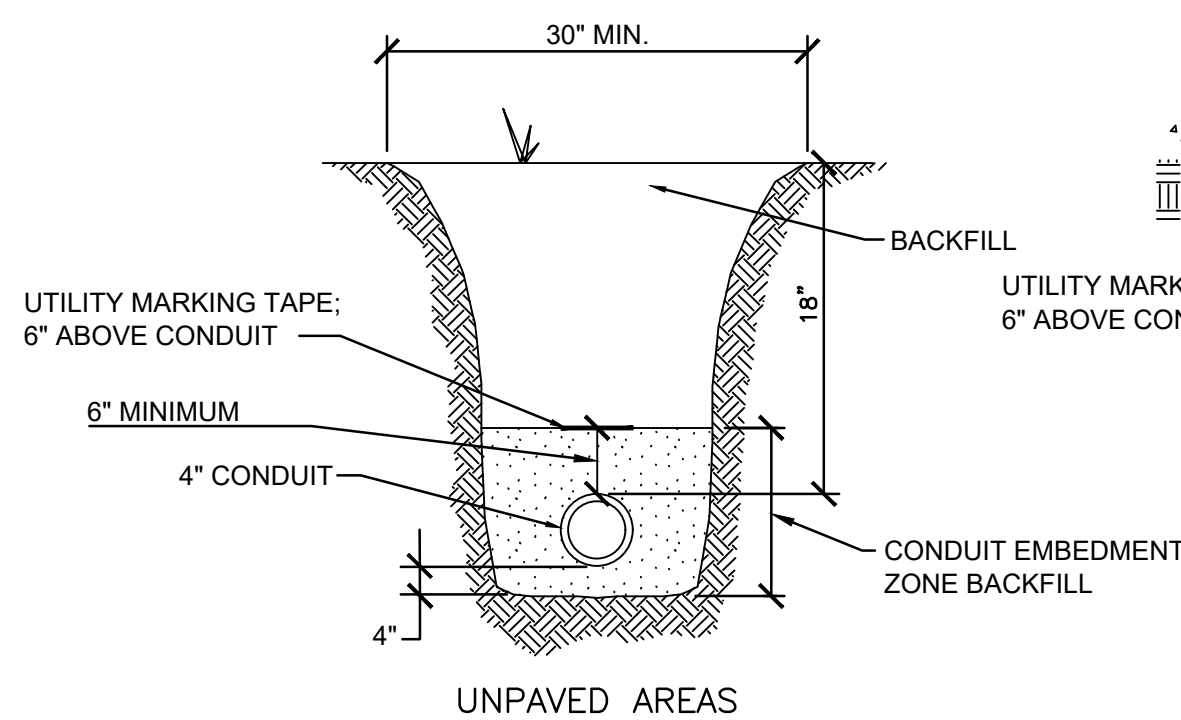
### D5 POLE FIXTURE - TYPE SB

NTS



### C5 TRANSFORMER VAULT DETAIL

NTS



### B5 UTILITY TRENCH

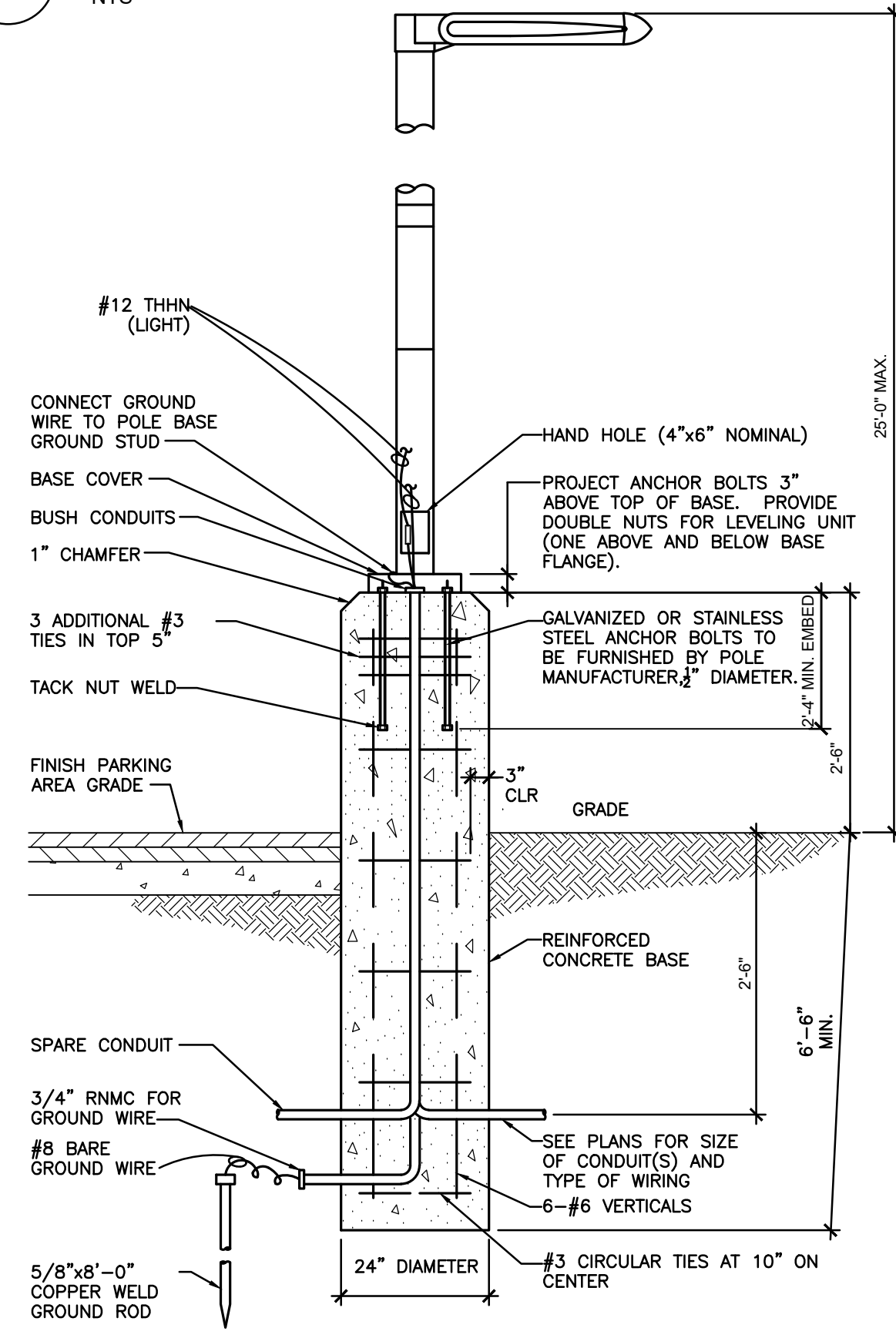
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FOR MAIN POWER SERVICE AND COMMUNICATIONS LINES



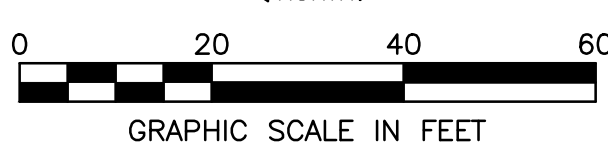
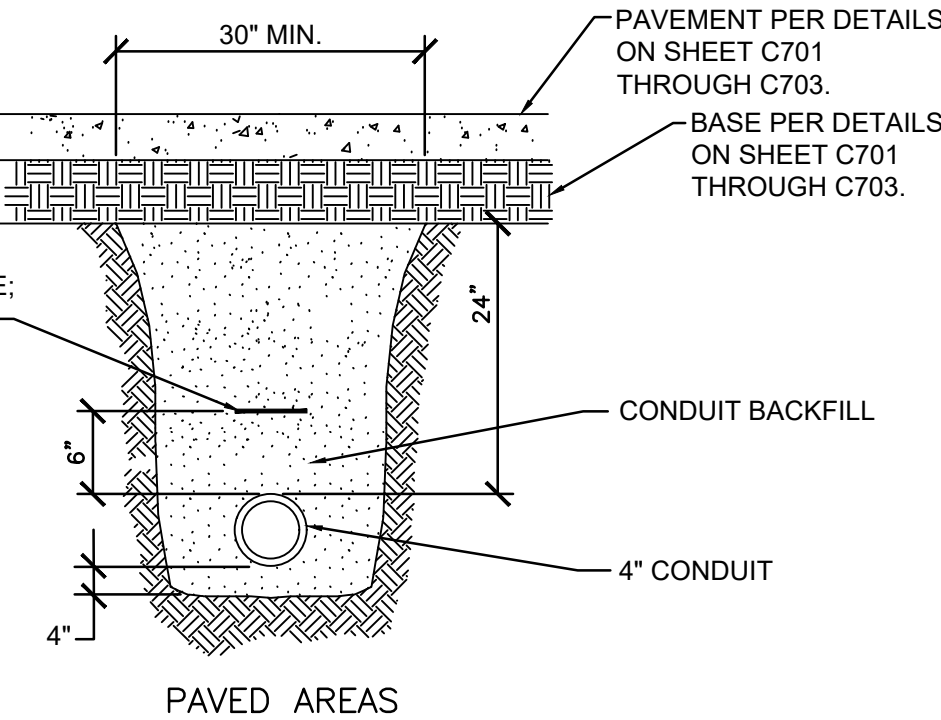
### D6 WALL PACK - TYPE WM3

NTS



### C6 RAISED CONCRETE LIGHTING BASE DETAIL

NTS



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SITE PHOTOMETRIC PLAN

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PERMIT	MM/DD/YY
BID	MM/DD/YY
CONSTRUCTION	MM/DD/YY

PROJECT MANAGER	DESIGNER
BLS	ASJ

10025357

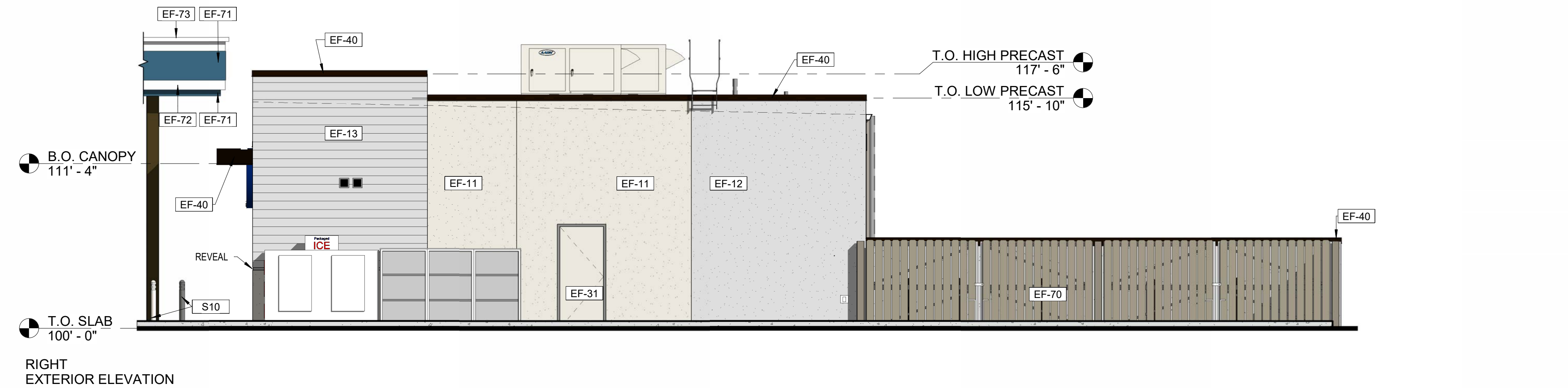
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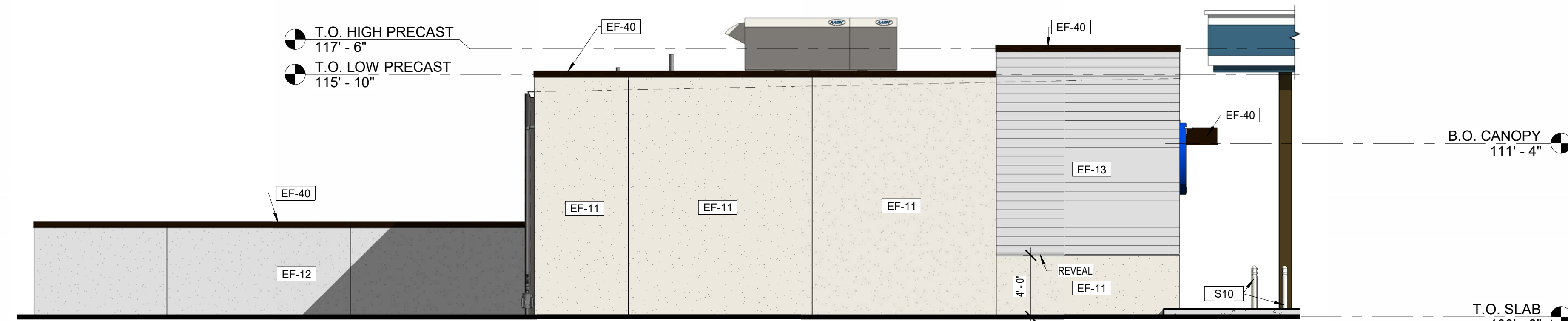


RENDERING FINISH LEGEND			
MARK	ITEM	COLOR / FINISH	MANUFACTURER / NOTES
EF-01	ENTRANCES, DOORS AND STOREFRONTS	DARK BRONZE ANODIZED ALUMINUM FRAME SN88 CRYSTAL GRAY GLAZING	GUARDIAN GLASS GLAZING
EF-02	TINTED SPANDREL PANEL	DARK BRONZE ANODIZED ALUMINUM FRAME SN88 CRYSTAL GRAY GLAZING WITH MEDIUM GRAY CERAMIC SPANDREL #4	GUARDIAN GLASS GLAZING
EF-11	INSULATED PRECAST CONCRETE WALL (TEXTURED CONCRETE)	AP FORMLINER - EIFS #410 SW 7015 REPOSE GRAY	SHERWIN WILLIAMS
EF-12	INSULATED PRECAST CONCRETE WALL (TEXTURED CONCRETE)	AP FORMLINER - EIFS #410 SW 7018 DOVETAIL GRAY	SHERWIN WILLIAMS
EF-13	INSULATED PRECAST CONCRETE WALL (WOOD PLANK PATTERN)	AP FORMLINER - CUSTOM MEIJER WOOD #516 SW 7016 DOVETAIL GRAY	SHERWIN WILLIAMS
EF-31	FIELD PAINTED STEEL *EXTERIOR HOLLOW METAL DOORS AND FRAMES *PAINTED UTILITIES	SW 7015 REPOSE GRAY	SHERWIN WILLIAMS
EF-40	SHEET METAL FLASHING AND TRIM *EDGE FLASHING AND COUNTER FLASHING AT CANOPIES *COOPING AND EDGE FLASHING AT ROOF AND PARAPET *PAINTED UTILITIES	DARK BRONZE ANODIZED ALUMINUM	--

RENDERING FINISH LEGEND			
MARK	ITEM	COLOR / FINISH	MANUFACTURER / NOTES
EF-41	METAL PANELS	DARK BRONZE ANODIZED ALUMINUM	FIRESTONE UC-500 FLUSH PANEL
EF-43	GUTTERS AND DOWNSPOUTS	PREFINISHED ALUMINUM TO MATCH SW 7018 DOVETAIL GRAY	SHERWIN WILLIAMS
EF-70	WOOD GATE	PREMIUM SOLID STAIN - BEACHWOOD SATIN	PPG PROLUXE SK 710
EF-71	FUEL CANOPY GRAPHIC FILM	SHADOW BLUE 177	3M
EF-72	FUEL ISLAND CANOPY	SOG GREY	ALPOLIC
EF-73	EYEBROW LIGHTING	SOG GREY	ALPOLIC
EF-75	FUEL CANOPY COLUMNS AT FUEL PUMPS	SW CUSTOM BLUE	SHERWIN WILLIAMS PRO INDUSTRIAL MULTI SURFACE ACRYLIC



RIGHT EXTERIOR ELEVATION



LEFT EXTERIOR ELEVATION



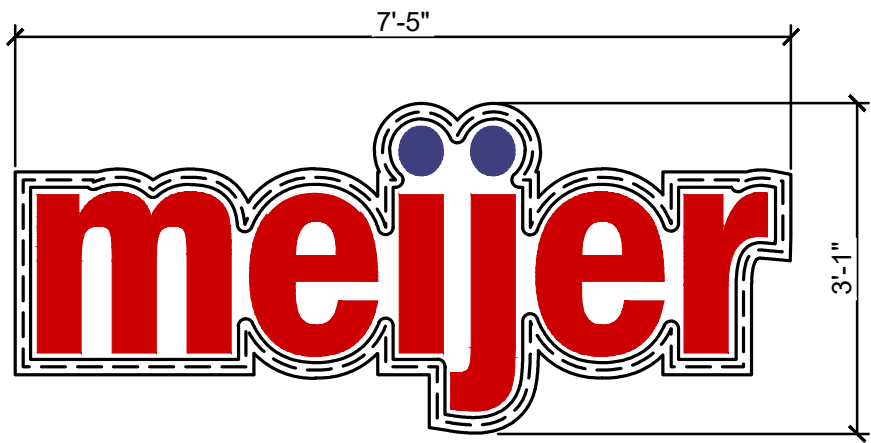
FRONT EXTERIOR ELEVATION



REAR EXTERIOR ELEVATION

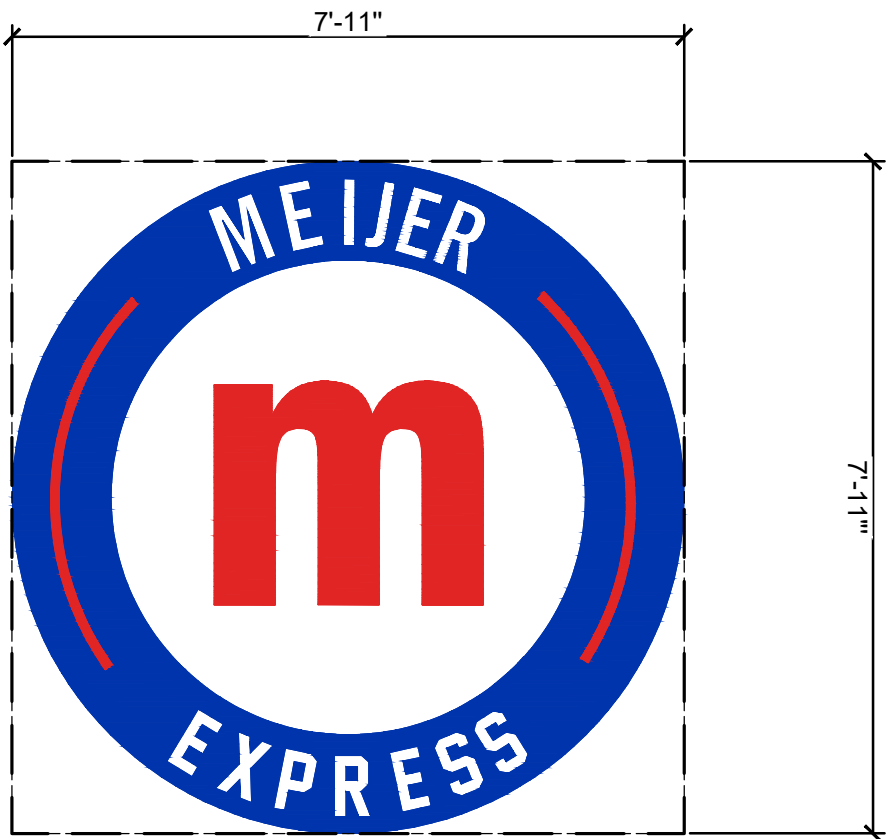


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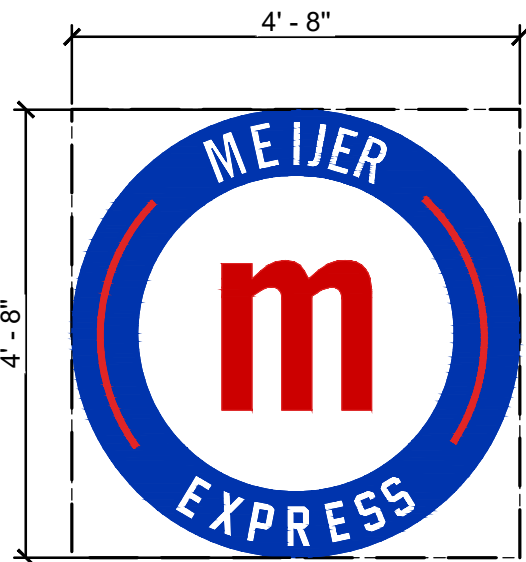
D3 GAS CANOPY SIGN LAYOUT  
NTS TOTAL 22.9 S.F.

INTERNALLY ILLUMINATED (FLORESCENT) 2" DEEP PAN FORMED AND EMBOSSED CLOUD-CUT PUSH THRU LOGO WITH TRANSLUCENT POLYCARBONATE BODY. 2ND SURFACE TO BE DIGITALLY PRINTED VINYL TO MATCH. COLOR BLUE (PMS 286C) RED (485C)



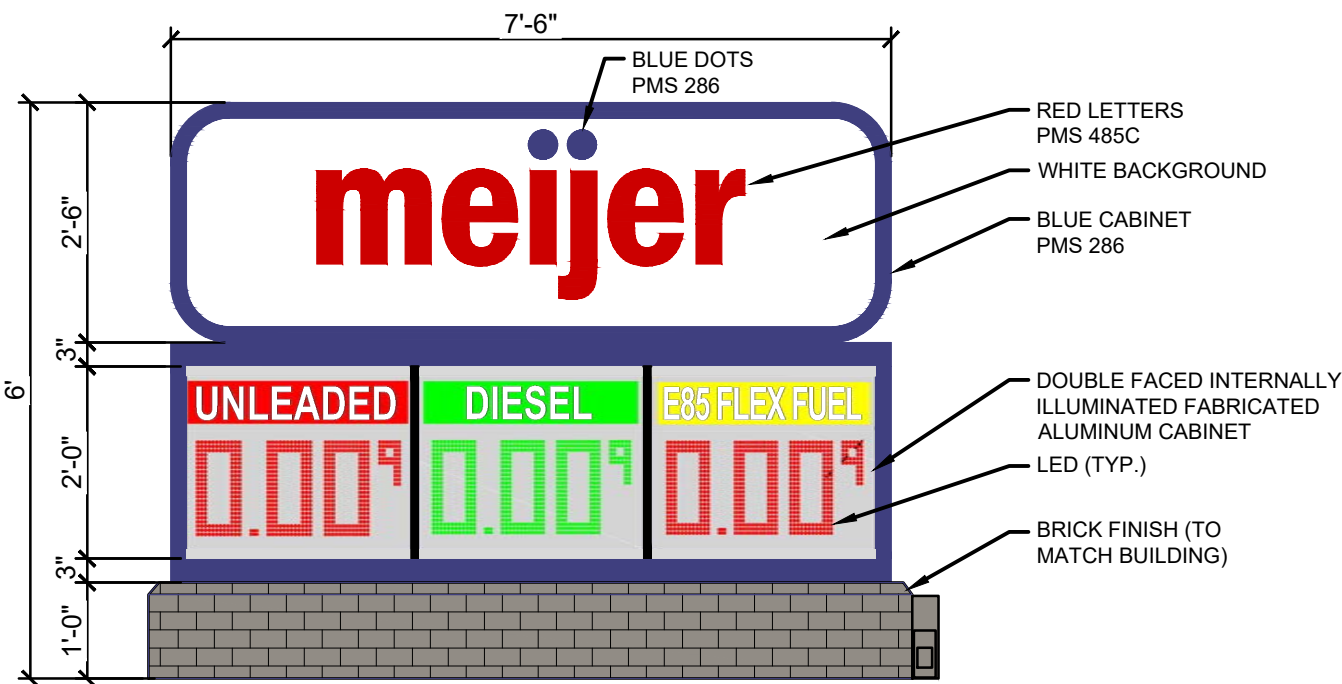
C3 mEXPRESS WALL SIGN - REAR  
NTS TOTAL 62.7 S.F.

FLUSH MOUNTED 1/2" THICK FLAT CUT OUT ALUMINUM FACES AND RETURNS PAINTED TO MATCH. RED LINES ON CIRCLE TO BE SURFACE APPLIED OPAQUE RED COLOR: BLUE (PMS 286C) & RED (PMS 485C)



C4 mEXPRESS WALL SIGN FLUSH MOUNTED  
NTS TOTAL 21.8 S.F.

INTERNALLY ILLUMINATED LED, 5" DEEP POLY-CARBONATE SIGN TO BE FLUSH MOUNTED. ALUMINUM SIDES TO MATCH FACE COLOR. COLOR: BLUE (PMS 286C) & RED (PMS 485C)



A4 mEXPRESS MONUMENT SIGN WITH GAS PRICER  
NTS TOTAL 32.25 S.F.

GENERAL NOTES

- SIGNAGE DETAILS ARE NOT TO SCALE. SIGNAGE VENDOR SHALL FABRICATE ALL SIGNAGE ACCORDING TO THE DIMENSIONS AND SQUARE FOOTAGE VALUES PROVIDED ON SHEETS C-501 FOR THE RESPECTIVE SIGNS.
- ALL WIRING FOR EXTERIOR SIGNAGE SHALL BE INSTALLED WITHIN CONDUIT PER SPECIFICATIONS.
- FOR BUILDING SIGNAGE INSTALLATION INFORMATION, REFER TO ARCHITECTURAL PLANS.

mEXPRESS STORE SIGNAGE (PRIMARY FRONTAGE)

DETAIL	QTY.	DESCRIPTION	AREA REQUESTED	AREA ALLOWED
E4	1	Canopy Logo	22.9 SF	
C5	1	mExpress Flush Mounted (Front)	21.8 SF	
Total			44.7 SF	86.8 SF

mEXPRESS STORE SIGNAGE (SECONDARY FRONTAGE)

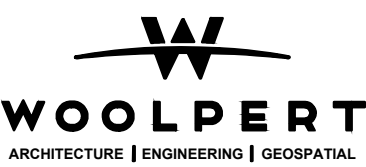
C4	1	mExpress Flush Mounted (Rear)	62.7 SF	21.7 SF
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mEXPRESS STORE SIGNAGE (TOTAL)

107.4 SF	108.5 SF
----------	----------

mEXPRESS SITE SIGNAGE

DETAIL	QTY.	DESCRIPTION	AREA REQUESTED	AREA ALLOWED
A5	1	mEXPRESS MONUMENT LOGO PRICE		
TOTAL			32.25 SF	40 SF



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EXTERIOR SIGNAGE DETAILS

ISSUED FOR:	
PERMIT	MM/DD/YY
BID	MM/DD/YY
CONSTRUCTION	MM/DD/YY

PROJECT MANAGER	DESIGNER
BLS	ASJ

JOB NO.  
10025357

C-501